# Architect:

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# Proposed Additions to the:

# JOARDER/HANKOWITZ RESIDENCE

164 Highland Street Boston, Massachusetts



**ABBREVIATIONS** 

ALUMINUM

COLUMN

DRAWING

ELEVATION

ELECTRICAL

CONTINUOUS

DROP INLET

CLOTHES DRYER

EXPANSION JOINT

FINISHED FLOOR

FIRE EXTINGUISHER

BITUMINOUS

BOTTOM OF

ABOVE FINISHED FLOOR

CONCRETE MASONRY UNIT

EQUAL ELECTRIC WATER COOLER

GALVANIZED

G.L. GYP.BD.

NOM. N.T.S.

GENERAL CONTRACTOR

GLUED-LAMINATED

GYPSUM BOARD

HOLLOW METAL

LINEAL FOOT

NOT TO SCALE

ON CENTER

PART.BD. PARTICLE BOARD

PLAS.LAM. PLASTIC LAMINATE

INVERT

POUND

INSIDE DIAMETER

MASONRY OPENING

NOT IN CONTRACT

LINEAL FOOT STL.
ELECTRIC LIGHT FIXTURE T.O.

PRESSED METAL

REFERIGERATOR

VAPOR BARRIER

W.H. WALL HYDRANT W.P. WATERPROOF OUTLET

W.W.M. WELDED WIRE MESH

CLOTHES WASHER

ROUGH OPENING

SQUARE TONGUE AND GROOVE STEEL TOP OF

PAINTED

SIMILAR

TRANS. TRANSPARENT

WOOD

V.B.

SYMBOLS

CONCRETE

EARTH

STEEL

PLYWOOD

BATT INSULATION

RIGID INSULATION

STUCCO or PLASTER

FINISH CARPENTRY

ROUGH CARPENTRY: CONTINUOUS

COMPACTED GRANULAR FILL

CONCRETE MASONRY UNIT

ROUGH CARPENTRY: NON-CONTINUOUS (BLOCKING, ETC.)

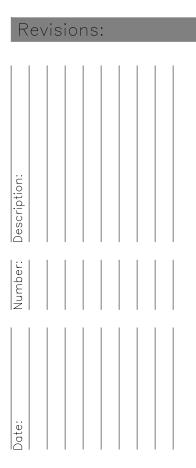
# LIST OF DRAWINGS T-1 TITLE SHEET ARCHITECTURAL A-1 GROUND FLR. CONSTRUCTION PLAN GN-1 GENERAL NOTES SECOND FLR. CONSTRUCTION PLAN GN-2 GENERAL NOTES A-3 THIRD FLR. CONSTRUCTION PLAN GN-3 GENERAL NOTES A-4 GROUND FLR. RCP GN-4 GENERAL NOTES A-5 SECOND FLR. RCP A-6 BUILDING ELEVATIONS D-1 DEMOLITION PLANS A-7 BUILDING ELEVATIONS D-2 DEMOLITION PLANS A-8 BUILDING & WALL SECTIONS CERTIFIED PLOT PLAN A-9 BATHROOM DETAILS STRUCTURAL A-10 FINISH/DOOR/WINDOW SCHEDULES & DETAILS S--1 GENERAL NOTES Project Number: CAD File: S--2 TYPICAL DETAILS S--3 GARAGE ADDITION PLANS S--4 SUNROOM ADDITION PLANS & SECTIONS S--5 GARAGE SECTIONS



Joarder Hankowitz Residence

Boston, MA

164 Highland St.



TITLE

Construction Documents

Description:

T-1

- . ALL WORK SHALL COMPLY WITH THE MASSACHUSETTS STATE BUILDING PAINTING AND FINISHING. CODE AND ALL OTHER AGENCIES HAVING JURISDICTION.
- 2. THE GENERAL CONTRACTOR IS TO SUBMIT TO THE OWNER ALL NECESSARY INSURANCE FORMS AND AFFIDAVITS PRIOR TO THE COMMENCEMENT OF WORK.
- 3. ALL WORK, MATERIAL, STANDARDS AND OPERATIONS SHALL CONFORM WITH THE CONSTRUCTION STANDARDS. PROCEDURES AND SPECIFICATIONS
- 4. THE CONTRACTOR SHALL GIVE THE OWNER A WRITTEN GUARANTEE COVERING ALL EQUIPMENT, MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER (CONFIRMED IN WRITING), AND HE SHALL, UPON NOTICE, PROMPLY MAKE GOOD AT HIS OWN EXPENSE ALL DEFECTS IN MATERIAL AND WORKMANSHIP A. PROVIDE ONE FULL GALLON OF EACH PAINT TYPE. DURING THIS PERIOD WITHOUT ANY COST TO THE OWNER.
- 5. UPON THE OWNER'S ACCEPTANCE OF THE GENERAL CONTRACTOR'S BID, THE CONTRACTOR SHALL PREPARE AND DELIVER A CONTRACT IN THE C. PROVIDE 1 GALLON OF ALL FLOOR FINISH CLEANERS, SEALERS, ETC. FORM OF AIA A105 STANDARD FORM OF AGREEMENT BETWEEN OWNER & CONTRACTOR FOR A SMALL PROJECT.
- 6. THE GENERAL CONTRACTOR SHALL CHECK BUILDING OPENING CLEARANCES FOR DELIVERY OF EQUIPEMENT AND/OR MATERIALS — I.E. SIZE OF ELEVATORS, CORRIDORS, ETC.
- 7. THE GENERAL CONTRACTOR SHALL ARRANGE FOR PARKING AND/OR ELEVATOR OR OTHER HOISTING FACILITIES FOR THEIR MATERIALS, WITH THE CERTIFICATE OF PAYMENT, IN ACCORDANCE WITH THE PROVISIONS OF THE OWNER/BUILDING MANAGER AS REQUIRED.
- 8. THE GENERAL CONTRACTOR SHALL NOTIFIY THE ARCHITECT OF ANY DISCREPANCIES, FIELD CONDITIONS OR DIMENSIONAL INCONSISTENCIES OR NEED FOR CLARIFICATION PRIOR TO OR DURING CONSTRUCTION.
- 9. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FINISHED DIMENSIONS.
- 10. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST DIRT AND DAMAGE, AND SHALL BE RESPONSIBLE FOR 4. OPERATION AND MAINTENANCE MANUALS: FURNISH THREE (3) SETS OF KEEPING PUBLIC CORRIDORS. STAIRS AND ELEVATOR CLEAN AND FREE OF MATERIALS AT ALL TIMES.
- 11. THE GENERAL CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN TEMPORARY DUST BARRIERS, PARTITIONS AND OTHER ITEMS REQUIRED FOR SPECIFICALLY REQUIRED UNDER THE VARIOUS SECTIONS OF THE PROPER PROTECTION OF PURILO AREAS ADJACENT TO THE WORK. PROPER PROTECTION OF PUBLIC AREAS ADJACENT TO THE WORK.
- 12. ALL PERTINENT PRECAUTIONS FOR ACCIDENT PREVENTION RECOMMENDED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC. OSHA, OR BY STATE AND LOCAL LAWS AND REGULATIONS, SHALL BE CONSIDERED TO FORM A PART OF THE CONTRACT WORK.
- 13. ALL WOOD BLOCKING, STUDS, CABINET WORK, WOOD DOORS, PLYWOOD UNDERLAYMENT, ETC. ARE TO BE CONSTRUCTED IN THIER ENTIRETY USING "FIRE RETARDANT" LUMBER AND/OR PLYWOOD AS REQUIRED BY STATE AND LOCAL LAWS AND REGULATIONS.
- 14. SCHEDULING:
- A. BEFORE COMMENCING ANY ALTERATION OR DEMOLITION WORK, SUBMIT 18. WORK INCLUDED IN THIS CONTRACT: FOR REVIEW BY THE ARCHITECT AND APPROVAL OF THE OWNER THE ORDER, STAGING SEQUENCE, BEGINNING AND COMPLETION DATES FOR THE .DEMOLITION & REMOVALS VARIOUS PORTIONS OF THIS WORK.
- B. BEFORE STARTING ANY WORK RELATING TO EXISTING UTILITIES (ELECTRICAL, HEAT, GAS, ETC.) THAT WILL TEMPORARILY DISCONTINUE OR DISRUPT SERVICES TO THE EXISTING BUILDING, NOTIFY THE ARCHITECT AND .CLAD WOOD DOORS, WINDOWS AND FRAMES THE OWNER/ BUILDING MANAGER 72 HOURS IN ADVANCE AND OBTAIN THE OWNER/BUILDING MANAGER'S APPROVAL IN WRITING BEFORE PROCEEDING WITH THIS PHASE OF THE WORK.
- C. COORDINATE WITH THE OWNER/BUILDING MANAGER SO THAT THE WORK IS DONE IN A MANNER THAT WILL CAUSE THE LEAST INTERFERENCE WITH THE OPERATION OF THE BUILDING OR ANY PART THEREOF.
- 15. CLEANING UP:
- A. THE PREMISES AND THE JOB SITE SHALL BE MIANTINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATION OF DUST, WASTE MATERIALS AND RUBBISH DURING THE ENTIRE CONSTRCTION PERIOD. REMOVE CRATES, CARTONS AND OTHER FLAMMABLE WASTE MATERIALS OR TRASH ROM THE WORK ARES AT THE END OF EACH WORKING DAY.

- C. UPON COMPLETION OF THE WORK, REMOVE TEMPORARY SCAFFOLDING, 1. CLAD WOOD DOORS, WINDOWS & FRAMES. BARRICADES, SURPLUS MATERIALS AND RUBBISH OF EVERY KIND FROM THE SITE.
- D. UPON COMPLETION DAMP MOP, POLISH, VACUUM AND DUST ENTIRE JOB. READY FOR OWNER'S OCCUPANCY.
- OF THE CONDOMINIUM ASSOCIATION FOR THE BUILDING WHERE APPLICABLE. E. UPON COMPLETION CLEAN ALL INTERIOR AND EXTERIOR GLAZING, MIRRORS, ETC. WORK SHALL BE PERFORMED BY A PROFESSIONAL WINDOW CLEANER.
  - 16. PROJECT CLOSE OUT:

  - B. PROVIDE ONE BOX OF EACH TYPE OF TILE.
  - FOR CONTINUED FLOOR MAINTENANCE.
  - D. LAMP ALL FIXTURES AND PROVIDE 2 ADDITIONAL LAMPS FOR EACH LAMP TYPE.
  - 17. DOCUMENTS REQUIRED PRIOR TO FINAL PAYMENT:
  - A. PRIOR TO FINAL PAYMENT AND BEFORE THE ISSUANCE OF THE FINAL
  - 1. GUARANTEES: THE GUARANTEE REQUIRED BY THE GENERAL CONDITONS AND ANY OTHER EXTENDED GUARANTEES STATED IN THE TECHNICAL SPECIFICATIONS.
  - 2. RELEASE OR WAIVER OF LIENS: AS REQUIRED BY THE GENERAL CONDITIONS.
  - 3. BUILDING DEPARTMENT APPROVAL
  - MANUALS CONTAINING THE MANUFACTURER'S INSTRUCTIONS FOR MAINTENANCE AND OPERATION OF EACH ITEM OF EQUIPMENT AND APPARATUS FURNISHED UNDER THE CONTRACT AND ANY ADDITIONAL DATA
  - 5. FILE REQUIRED CERTIFICATES OF APPROVAL WITH ARCHITECT AND OWNER.
  - 6. COPY OF PROOF OF PURCHASE FOR ALL "ENERGY SAVING" FIXTURES LAMPS & BALLASTS AS REQUIRED BY THE OWNER AND BUILDING DEPARTMENT.
  - 7. CONTRACTOR'S GUARANTEE FOR WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF SUBSTANTIAL COMPLETION.

  - .REINFORCED CONCRETE FOOTINGS, FOUNDATIONS & SLABS .DIMENSION LUMBER FRAMING .EXTERIOR SIDING & TRIMS .MISCELLANEOUS METAL CONNECTORS .GYPSUM BOARD PARTITIONS, FASCIAS, SOFFITS & CEILINGS. .PAINTING
  - .TILE & WD. LAMINATE FLOORING .TILE WALLS
  - .ARCHITECTURAL WOODWORKING: BATH VANITIES WOOD DOORS WOOD BASE AND TRIMS
  - ELECTRICAL SYSTEM ADDITIONS/MODIFICATIONS: (DESIGN BUILD)
  - MECHANICAL SYSTEM ADDITIONS/MODIFICATIONS: (DESIGN BUILD)
  - PLUMBING & FIRE PROTECTION WORK: (DESIGN BUILD)
- B. AREAS OF THE BUILDING IN WHICH PAINTING AND FINISHING WORK IS 19. SHOP DRAWINGS, SAMPLE SUBMISSIONS & CATALOGUE CUTS:

- TO BE PERFORMED SHALL BE MAINTAINED IN SATISFACTORY CONDITION FOR A. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR THE FOLLOWING
  - 2. MECHANICAL AND PLUMBING SYSTEM LAYOUTS
  - B. SHOP DRAWINGS AND SAMPLES FOR THE ARHCITECTURAL WOOD WORKING. SEE ARCHITECTURAL WOOD WORK NOTE FOR EXTENT.
  - C. NOT USED
  - D. THE CONTRACTOR SHALL SUBMIT MISCELLANEOUS FINISH MATERIAL SAMPLES ON THE FOLLOWING:

  - 2. WOOD LAMINATE FLOORING & STAIR TREADS
  - 3. COUNTERS
  - 4. PAINT SAMPLES INSTALLED AT JOB SITE PAINT ONE FULL WALL OF EACH COLOR FOR APPROVAL OF THE COLOR AND FINISH.
  - F. THE CONTRACTOR SHALL SUBMIT CATALOGUE CUTS/MANUFACTURER'S INFORMATION ON THE FOLLOWING:
  - 1. DOOR HARDWARE (INCLUDE SCHEDULE)
  - 2. HVAC MATERIALS, GRILLES, DIFFUSERS & CONTROLS
  - 3. LIGHT FIXTURES, OUTLET, SWITCHES & CONTROL DEVICES
  - 4. PLUMBING FIXTURES AND APPLIANCES CUTS
  - 20. DEMOLITION REMOVALS CUTTING PROTECTION:
- GENERAL CONDITIONS, FILE THE FOLLOWING PAPERS WITH THE ARCHITECT: A. WHERE DEMOLITION, REMOVAL OR CUTTING OF NEW OPENINGS OCCUR THE GENERAL CONTRACTOR IS TO PATCH AND REPAIR ALL SURFACES, READY TO RECEIVE NEW FINISHES OR TO MATCH EXISTING FINISHES INCLUDING MOULDINGS (BASE, CROWN, ETC.) AND CEILINGS.
  - B. DO ALL WORK SO AS NOT TO ENDANGER BUILDING STRUCTURE. PROVIDE TEMPORARY BRACES AND OTHER SUPPORTS AS MAY BE REQUIRED TO ASSURE THE SAFETY OF THE EXISTING CONSTRUCTION, WORKMEN, OCCUPANTS AND FINISHES. DO SUCH WORK WITH CARE INCLUDING SHORING, BRACING, DUST PROTECTION, ETC. BE RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION AND NEW WORK AS REQUIRED.
  - C. BEFORE STARTING ANY WORK RELATING TO EXISTING UTILITES (ELECTRICAL, HVAC, WATER, ETC.) THAT WILL TEMPORARILY DISCONTINUE OR DISRUPT SERVICES TO THE EXISTING BUILDING, NOTIFY THE ARCHITECT IN ADVANCE AND OBTAIN THE OWNER/BUILDING MANAGER'S APPROVAL IN WRITING. DO NOT OBSTRUCT WALKWAYS, PASSAGEWAYS OR STAIRWAYS. DO NOT STORE OR PLACE MATERIALS IN PASSAGEWAYS, STAIRS OR OTHER MEANS OF EGRESS. CONDUCT OPERATIONS WITH MINIMUM INTERFERENCE. SEE NOTE NO. 14 B FOR UTILITY SHUT DOWNS.
  - D. DO NOT LOAD OR PERMIT ANY PART OF ANY STRUCTURE TO BE LOADED TO SUCH AN EXTENT AS TO ENDANGER ITS SAFETY.
  - E. ENFORCE ALL REQUIREMENTS REGARDING SIGNS, SECURITY, FIRES, DANGER SIGNALS, BARRICADES, SAFETY LIGHTING OR SMOKING.
  - F. MAINTAIN CONTINUOUS UNOBSTRUCTED PUBLIC ACCESS TO MAIN BUILDING CORRIDORS AND ELEVATORS.
  - G. PROVIDE AND MAINTAIN TEMPORARY PROTECTION OF THE EXISTING STRUCTURE DESIGNATED TO REMAIN WHERE DEMOLITION REMOVAL AND NEW WORK IS BEING DONE, CONNECTIONS BEING MADE, MATERIALS HANDLED OR EQUIPMENT MOVED.
  - H. PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARMENT REGULATIONS.
  - I. BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR CONTENTS BY REASON OF THE INSUFFICIENCY OF PROTECTION PROVIDED.
  - J. NO STRUCTURAL PARTS OF THE EXISTING BUILDING SHALL BE DAMAGED OR REMOVED. ANY DAMGE TO FIREPROOFING IN THE EXISTING STRUCTURE SHALL BE REPAIRED WITH SIMILAR MATERIALS AS THE ORIGINAL FIREPROOFING, AND IMPART A FIRE RATING EQUIVALENT TO THE ORIGINAL FIREPROOFING.
  - 21. MATERIAL SPECIFICATIONS:
  - GYPSUM BOARD PARTITIONS:
  - 1. TYPICAL GYPSUM BOARD PARTITIONS 2X4 STUDS @ 16" O.C. WITH

- CONTINUOUS 2X4 SILL & DOUBLE 2X4 TOP PLATE TO EXTEND STRUCTURAL DECK TO STRUCTURAL DECK WITH 1/2" GYPSUM BOARD FIRE CODE "C" EACH SIDE. INSTALL 3" THICK ACOUSTICAL BATT INSULATION IN ALL INTERIOR PARTITIONS.
- 2. DOUBLE STUDS AT ALL DOOR FRAMES AND TRIMMED OPENINGS.
- 3. ALL WALLS TO BE TAPED AND READY FOR PAINTING. BASE WILL BE MIN. 3½" HIGH.
- 4. PARTIAL HEIGHT WALLS CONSTRUCT PER NOTE 1 ABOVE WITH HEIGHT AS SPECIFIED ON DRAWINGS. PROVIDE BRACING TO STRUCTURAL DECK AS INDICATED ON DRAWINGS.
- 5. WHERE INDICATED ON DRAWINGS PROVIDE AND INSTALL 1/2" GYPSUM BOARD FIRECODE "C" ON FURRING OR LAMINATE DIRECTLY TO EXISTING WALL SURFACE. FURRING TO EXTEND STRUCTURAL DECK TO STRUCTURAL
- 6. NOTE: WHERE NEW GYPSUM BOARD PARTITION OR FURRING OCCURS IN TOILETS, PANTRIES OR WET AREAS SCHEDULED FOR TILE WALL FINISH, USE ¼" THICK DURROCK CEMENT BOARD OR APPROVED EQUAL.
- 7. ALL GYPSUM BOARD PARTITIONS AND CEILINGS TO USE TAPING MOULDINGS, USG SERIES 200. WHERE INDICATED ON THE DRAWINGS INSTALL MILGO BUFKIN BUILT-IN WALL TRIMS.
- 8. WHERE ACCESS DOORS ARE REQUIRED AT GYPSUM BOARD PARTITIONS, PROVIDE AND INSTALL FLUSH METAL WALL ACCESS PANELS. ALL EDGES TO BE TAPED AND SPACKLED FLUSH TO WALL. ACCESS PANELS TO BE PAINTED TO MATCH WALL FINISH. LOCATIONS TO BE CONFIRMED WITH ARCHITECT IN THE FIELD.
- 9. TAPING: JOINT SYSTEM TO BE AS FOLLOWS:
- ONE: APPLY PERF-A-TAPE AND COVER TAPE WITH COMPOUND. TWO: APPLY SECOND COAT OF COMPOUND 2" BEYOND FIRST COAT.
- THREE:APPPLY THIRD COAT OF COMPOUND 2" BEYOND SECOND COAT. FOUR: APPLY FOURTH COAT OF
- THIRD COAT. <u>five</u>: sand and polish.

COMPOUND 2" BEYOND

- GYPSUM BOARD CEILINGS:
- 1. GYPSUM BOARD CEILINGS, SOFFITS AND LIGHT COVES: 1/2" GYPSUM "BLUE BOARD" SECURED TO FURRING ON STRUCTURAL FRAMING.
- 2. WHERE ACCESS DOORS ARE REQUIRED AT GYPSUM BOARD CEILINGS, PROVIDE AND INSTALL FLUSH METAL CEILING ACCESS PANELS. ALL EDGES TO BE TAPED AND SPACKLED FLUSH TO CEILING. ACCESS PANELS TO BE PAINTED TO MATCH CEILING FINISH. LOCATIONS TO BE CONFRIMED WITH ARCHITECT IN THE FIELD.

# <u>PAINTING</u>:

- 1. ALL NEW AND EXISTING WALLS INCLUDING COLUMNS, WINDOW PILASTERS, SOFFITS, FASCIAS, WINDOW POCKETS, ETC. AND GYPSUM BOARD CEILINGS ARE TO BE PROPERLY PREPARED PRIOR TO PAINTING. PREPARATION TO INCLUDE THE FOLLOWING:
- A. REMOVE ALL EXISTING APPURTANCES INCLUDING: NAILS, SCREWS, WOOD BLOCKING, WINDOW BLIND HARDWARE, DRAPERY HARDWARE, WALL COVERING, ETC.
- B. TO OBTAIN SMOOTH CONDITIONS PRIOR TO PAINTING SCRAPE ALL LOOSE, SPALLED OUT PAINT AND PLASTER FROM ALL SURFACES. IF REQUIRED, CHOP OUT SEVERELY SPALLED AREAS AND APPLY APPROPRIATE BONDING AGENTS AND PLASTER PATCH AS OUTLINED - SEE NOTE NO. 5 THIS SECTION.
- C. SAND ALL SURFACES PRIOR TO PAINTING. AFTER APPLICATION OF PRIME COAT REPEAT ABOVE PROCEDURES AND PLASTER PATCH AND REPEAT SANDING.
- D. APPLY PAINT IN THIN EVEN LAYERS. STRAIN PAINT AS REQUIRED TO AVOID LUMPS, HAIRS, DUST PARTICLES, ETC. APPLY ONE BASE COAT AND THREE FINISH COATS. PAINT TO SATIN ENAMEL BENJAMIN MOORE OR APPROVED EQUAL "DULAMEL EGGSHELL" ALKYD ENAMEL.



Project Name:

# Joarder Hankowitz Residence

164 Highland St. Boston, MA

GENERAL NOTES

Drawing Title:

rawing Information

8/11/2019

Date of Issue: Construction Documents

Description:

N.A.

Scale: Drawn By:

Project Number: CAD File:

GN-1

- 2. ALL NEW AND EXISTING WALLS AND GYPSUM BOARD CEILINGS, SOFFITS AND FASCIAS TO BE PREPARED TO RECEIVE SATIN ENAMEL PAINT. WALLS TO RECEIVE ONE BASE COAT AND THREE FINISH COATS. PAINT TO BE BENJAMIN MOORE - ALKYD ENAMEL "DULAMEL EGGSHELL." CEILINGS TO RECEIVE ONE BASE COAT AND THREE FINISH COATS, ALKYD ENAMEL, FLAT FINISH. ALL PAINT TO BE BENJAMIN MOORE OR APPOVED EQUAL. ARCHITECT TO SUBMIT COLORS.
- 3. PAINTED METAL OR WOOD DOORS, FRAMES, TRIMS, ETC. ONE BASE COAT, THREE FINISH COATS - DEEP TONE ACCENT COLOR - SEMIGLOSS ALKYD ENAMEL. SAND AND FILL BETWEEN PRIME COAT AND FINISH COAT. STEEL WOOL BETWEEN FINSH COATS. NOTE: APPLY PAINT IN THIN EVEN LAYERS - STRAIN PAINT TO AVOID LUMPS, HAIRS, DUST PARTICLES, ETC. CAULK WITH ACRYLIC LATEX CAULKING (COLOR TO MATCH WALL COLOR) ALONG EDGES WHERE WOOD OR METAL ELEMENT MEET GYPSUM BOARD SURFACES.
- 4. THE PAINTING CONTRACTOR SHALL INCLUDE IN HIS PRICE THE COST TO RETURN TO THE JOB SITE AFTER THE INSTALLATION OF FINISH FLOORING TO TOUCH UP ALL WALLS DAMAGED DURING THE INSTALLATION.

#### WOOD LAMINATE FLOORING:

1. WOOD LAMINATE FLOORING TO BE AS SELECTED BY OWNER.

# DOORS AND FRAMES:

- 1. H.M./STEEL DOOR FRAME TO BE CUSTOM SHOP FABRICATED, FULL-WELDED, UNIT TYPE CONSTRUCTION JOINTS. FORM FROM STEEL. PROVIDE RUBBER SILENCER ON STOP SIDE OF JAMB.
- 2. NOT USED
- 3. NOT USED
- 4. PAINT GRADE WOOD DOORS & FRAMES:
- TO BE FIRE RATED "C" LABEL. WHERE INDICATED ON THE DRAWINGS -WOOD DOORS & FRAMES INCLUDING REVEALS TO BE BIRCH OR POPLAR, SOLID CORE, PAINT GRADE, "C" LABEL SANDED AND FILLED. (SEE PAINTING NOTES C-3). PROVIDE AND INSTALL WOOD DOORS AND FRAMES AS SHOWN AND AS DETAILED ON THE DRAWINGS. INSTALLATION TO BE DONE IN A NEAT WORKMANLIKE MANNER (SEE ARCHITECTURAL WOODWORKING SEPARATE SPEC. SECTION) WHERE NATURAL FINISH IS INDICATED WOOD DOORS AND FRAMES TO BE MADE FROM "CLEAR" MATERIAL.
- 5. COMPLETE DOOR HARDWARE SETS TO BE SUPPLIED AND INSTALLED AS B. BATH VANITY INDICATED ON DRAWINGS AND/OR SEPARATE TYPEWRITEN SPECIFICATIONS.

# FIRE RETARDANT/TREATED WOODS:

ALL WOOD BLOCKING, FRAMING SUPPORTS, BRACING PLYWOOD, ROUGHING, ETC. TO BE TREATED LUMBER AND PLYWOOD TO HAVE FACTORY TREATMENT OF RETARDANT AS REQUIRED BY LOCAL AND STATE CODES. TREATMENT TO MEET U.L. STANDARDS.

# FLOOR, WALL & BASE TILE:

- 1. PROVIDE MATCHING STONE SADDLES FOR FULL LENGTH OF OPENINGS (NO JOINTS) X MIN OF 3/4" THICK OR AS NOTED AND DETAILED ON THE DRAWINGS. LONG EDGES TO BE BEVELED AS REQUIRED TO MEET ADJACENT FLOOR SURFACES.
- 2. PROVIDE FOUR RANGE SAMPLES OF ALL NATURAL STONE/MARBLE MATERIALS SPECIFIED FOR ARCHITECT'S SELECTION AND REVIEW. RANGE SAMPLES ARE TO INDICATE THE FULL EXTENT OF COLOR, GRAINING AND APPEARNACE CHARACTERISTICS OF EACH MATERIAL. THE RANGE SAMPLES ARE TO MATCH THE ARCHITECT'S OWN MATERIAL SAMPLE, WHICH MAY BE VIEWED IN THE ARCHITECT'S OFFICE.
- 3. SURFACE PREPARATION AND INSTALLATIONS:
- A. INSTALLATION OF THE TILE FLOORING SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE MARBLE INSTITUTE OF AMERICA AND WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS INCLUDING SURFACE PREPARATION, MIXING, APPLICATION, GROUTING AND PROTECTION.
- B. REMOVE ALL EXISTING FLOOR FINISHES TO EXISTING WOOD DECK. PATCH LOOSE OR ROTTED SECTIONS WITH MATCHING NEW MATERIALS. INSTALL ¼" DURROCK UNDERLAYMENT.
- C. SUPPLY ALL NECESSARY LEVELING AND SETTING GROUTS. FLOORING SETTING TO BE THIN SET METHOD WITH A MORTAR BED OF 3/8", IN ACCORDANCE WITH THE M.I.A. AND THE MANUFACTURER'S RECOMMENDATIONS. USE LIGHT COLORED MORTAR TO MATCH THE COLORED STONE. JOINTS BETWEEN TILE SHALL BE MINIMIZED (MAXIMUM ALLOWABLE) ₩ WIDTH 1/8") AND UNIFORM.

- D. GROUT ALL JOINTS WITH A CEMENT CROUT AS MANUFACTURED BY LATICRETE INTERNATIONAL, INC. GROUT COLOR TO BE AS SELECTED BY ARCHITECT TO MATCH THE TILE COLOR. JOINT GROUT TO BE APPLIED AFTER RECOMMENDED WAITING TIME (48 HOURS MINIMUM) HAS ELAPSED. GROUT TO BE APPLIED TO THE JOINTS ONLY. INSTALLER TO USE A GROUT RELEASE OR WORK CLEAN. DO NOT ALLOW GROUT TO SET UP ON PANELS SHALL BE MATCHED TO EACH OTHER BY THE "BOOK MATCHED" THE FACE OF THE TILE.
- E. AFTER INSTALLATION OF TILE PROTECT AND KEEP FLOORING FREE FROM GENERAL TRAFFIC FOR AT LEAST 72 HOURS. FINISH FLOOR PER MANUFACTURER'S RECOMENDATIONS.
- F. AFTER FINISHING APPLY KRAFT PAPER OVER THE ENTIRE TILE AREA. TAPE THE PROTECTIVE PAPER IN PLACE CONTINUOUSLY.
- 5. ALL TILE AND ASSOCIATED TILING MATERIALS SHALL BE SUPPLIED AND INSTALLED BY:

### <u>CARPET</u>:

- 1. PREPARE CONCRETE SLAB/WOOD DECK AS REQUIRED FOR INSTALLATION OF CARPET. PERFORM FLASH PATCHING AS REQUIRED TO OBTAIN SMOOTH, LEVEL CONDITIONS PRIOR TO INSTALLATION.
- 2. CARPET TO BE BY MANUFACTURERS AND IN COLORS AS NOTED IN THE CONSTRUCTION DOCUMENTS/SPECIFICATIONS.
- 3. INSTALLATION METHOD TO BE "PADDED" METHOD COMPLETE WITH TACKLESS EDGE STRIPS, 400Z. HYPO-ALERGENIC, MILDEW RESISTANT PREMIUM PADDING BY HEALTHY CHOICE, BLUE GRADE.
- 4. CONTRACTOR TO USE "HOT MELT SEAM TAPE" AT ALL JOINTS.
- 5. PROVIDE VINYL EDGE STRIPS AT ALL JOINTS WITH VINYL FLOORING.
- 6. PROVIDE FLASH PATCHING AS REQUIRED TO RAISE LEVEL OF CARPETING AT ALL EDGES ABUTTING STONE OR CERAMIC TILE FLOORING.

### ARCHITECTURAL WOODWORKING:

- 1. PROVIDE ALL MATERIALS, LABOR, EQUIPMENT AND SERVICES NECESSARY TO FURNISH, DELIVER AND INSTALL THE ARCHTECTURAL WOODWORKING AS SPECIFIED, AND AS REQUIRED BY THE JOB CONDITIONS FOR INSTALLATION. AS FOLLOWS:
- A. NOT USED
- C-E. NOT USED
- F. WOOD DOORS
- G. WOOD BASE AND TRIMS
- 2. WORK SHALL BE DONE IN ACCORDANCE WITH THE "QUALITY STANDARDS OF THE ARCHITECTURAL WOOD WORK INDUSTRY," PUBLISHED BY THE ARCHITECTURAL WOOD WORK INSTITUTE (AWI), LATEST EDITION — PREMIUM GRADE.
- 3. FABRICATE ALL MILLWORK COMPLETELY IN THE SHOP, IN COMPLETE AND/OR AS LARGE UNUTS AS POSSBLE AND PRACTICAL, LEAVING ONLY FITTING, ASSEMBLY, INSTALLATION AND A MINIMUM OF FABRICATION AND FINISHING TO BE DONE AT THE SITE. HARDWARE TO BE INSTALLED IN SHOP. ASSEMBLED WORK SHALL BE RIGIDLY SECURED AND PERMANENTLY FASTENED TOGETHER. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING LARGEST SIZES FOR CABINET WORK AND MILL WORK AND FOR ALL MEANS OF TRANSPORTING TO AND INTO ITS FINAL PLACEMENT. INSTALLATION TO BE ATTACHED TO WALL/FLOOR/CEILING SURFACES IN A CONCEALED MANNER. WOOD TO FINISH ACCURATELY TO DETAIL, WITH CLEAN CUTS, PROFILES AND LINES; MACHINE, SAND, JOINT, AND ASSEMBLE IN BEST POSSIBLE MANNER; PROVIDE FOR SWELLING AND SHINKAGE, AND TO ASSURE THE WORK REMINS IN PLACE WITHOUT WARPING, SPLITTING OR OPENING OF JOINTS. USE COUNTERSUNK SCREWS, NOT NAILS, FOR FASTENING. WORK WICH ADJOINS GYPSUM BOARD, EXISTING PLASTER WALLS OR OTHER SURFACES OR OTHER FINISHES SHALL BE FITTED AND SCRIBED IN A CAREFUL MANNER IN FIELD.
- 4. CONTRACTOR SHALL MAKE ALL NECESSARY FIELD MEASURING AND VERIFICATION OF ALL CONDITIONS AT INTENDED LOCATIONS OF INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE WORK SPECIFIED HEREIN FOR ARCHITECTS REVIEW AND APPROVAL INCLUDING DETAIL DRAWINGS AT SUCH SCALE WICH WILL SHOW METHODS OF JOINERY, FASTENING, ASSEMBLY AND RELATIONSHIP TO ABUTTING WORK. CONTRACTOR SHALL ALSO SUBMIT SAMPLES OF MATERIAL AND FINISH FOR ARCHITECT'S APPROVAL PRIOR TO FABRICATION AND INSTALLATION.
- 5. GUARANTEE: FABRICATION AND INSTALLATION OF ALL UNITS SHALL BE GUARANTEED FOR A ONE YEAR PERIOD AGAINST MATERIAL DEFECTS AND FAULTY WORKMANSHIP.

- 6. ALL WOOD VENEER PANELS SHALL HAVE A CORE OF PARTICLE BOARD WITH A BALANCING VENEER ON THE BACK SIDE TO PREVENT WARPAGE. FACE AND EDGE VENEER TO BE 1/32" RIFT CUT MAPLE AS INDICATED ON THE DRAWINGS. THIS INCLUDES THE SURFACE APPLIED WOOD TRIMS. VENEER MATCHING WITH EACH PANEL SHALL BE BALANCED MATCHED. METHOD. PERFORM ALL LOCK MITRE JOINTS AT EXPOSED END CONDITIONS TO MAINTAIN DIRECTION AND ALIGNMENT OF PANEL GRAINING. EXTEND VENEER INTO EACH REVEAL TO ASSURE THAT NO PARTICAL BOARD IS VISIBLE. PROVIDE SAMPLES OF ALL SPECIFIED VENEERS FOR THE ARCHITECT'S REVIEW AND APPROVAL. ALL VENEERS TO MATCH THE ARCHITECT'S CONTROL SAMPLES, WHICH ARE AVAILABLE FOR INSPECTION IN THE ARCHITECT'S OFFICE. WHERE SOLID LUMBER STOCK MATERIAL IS REQUIRED USE SOLID MAPLE MATERIAL.
- 7. NOT USED
- 8. PLASTIC/METAL LAMINATE MILLWORK:
- A. FABRICATE AND INSTALL PLASTIC/METAL LAMINATE CABINETS, SHELVING, VANITIES, COAT SHELVES, ETC. INCLUDING ALL HARDWARE AS SHOWN AND AS DETAILED ON THE DRAWINGS.
- B. ALL LOCATIONS FOR PLASTIC/METAL LAMINATE UNIT INSTALLATIONS ARE TO BE FIELD MEASURED. SHOP DRAWINGS FOR ALL UNITS ARE TO BE SUBMITTED FOR ARCHITECTS APPROVAL PRIOR TO ANY FABRICATION OR INSTALLATION.
- C. ALL MILLWORK UNITS ARE TO BE SHOP FABRICATED AND SHOP FINISHED ALL WOOD COMPONENTS INCLUDING PARTICLE BOARD, BLOCKING, ETC. TO BE FIRE RETARDANT. PLASTIC /METAL LAMINATE COLORS TO BE AS INDICATED ON DRAWINGS OR TO BE SELECTED BY ARCHITECT.
- D. FABRICATION AND INSTALLATION OF ALL UNITS SHALL BE GUARANTEED FOR A ONE YEAR PERIOR AGAINST MATERIAL DEFECTS AND FAULTY WORKMANSHIP.

## TOILET ACCESSORIES:

TOILET ACCESSORIES SHALL BE SUPPLIED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR. PROVIDE CONCEALED WOOD BLOCKING AS REQ'D

# MIRROR:

MIRROR PANES TO BE ¼" THICK CLEAR, SILVERED, SIZED AS SHOWN ON DRAWINGS. PROVIDE ADHESIVE AND SOLID MAPLE FRAME AS INDICATED ON DRAWINGS.

# ELECTRICAL DEVICES/ LIGHT FIXTURES:

LIGHT FIXTURES SHALL BE AS SELECTED BY ARCHITECT. ELECTRICAL DEVICES, AND SWITCHES TO BE LEVITON DECORA AND LUTRON, COLOR AS SELECTED BY ARCHITECT.



Project Name:

# Joarder Hankowitz Residence

164 Highland St. Boston, MA

Drawing Title: GENERAL

NOTES

Drawing Information 8/11/2019

Date of Issue:

Construction Documents

Description: N.A.
Scale: Drawn By:





STRUCTURAL NOTES: GENERAL

1. REFER TO THE PROJECT SPECIFICATIONS FOR GENERAL CONTRACT REQUIREMENTS FOR MATERIALS, WORKMANSHIP, AND SHOP DRAWINGS.

2. REFER TO ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, APPROVED SHOP DRAWINGS FOR LOCATION AND DIMENSIONS OF CHASES, REGLETS, INSERTS, OPENINGS, SLEEVES, DEPRESSIONS, AND REQUIREMENTS FOR ATTACHMENT OF FINISHES.

3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD. THE CONTRACTOR SHALL ALSO PERFORM A SURVEY OF THE FRAMING OF THE EXISTING STRUCTURES AT THOSE AREAS WHERE NEW CONSTRUCTION IS SHOWN. REMOVE FINISHES FROM WALLS AND CEILINGS AND INSPECT BEARING WALLS AND FLOOR FRAMING. NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY, IN WRITING, OF ANY FIELD CONDITION UNCOVERED DURING CONSTRUCTION THAT IS NOT CONSISTENT WITH THE PLANS, THAT IS STRUCTURALLY INADEQUATE, OR THAT WILL IMPAIR ARCHITECTURAL LAYOUTS OR ATTACHMENT OF FINISHES.

DEMOLITION, SHORING AND NEEDLING WORK

. BEFORE PROCEEDING WITH ANY DEMOLITION, THE AREAS MUST BE SURVEYED TO ENSURE THAT NO DAMAGE WILL BE MADE TO ANY STRUCTURE BEYOND THE ONE ADJACENT TO THE DEMOLITION.

2. PROVIDE TEMPORARY SHORING AND BRACING FOR FLOORS, COLUMNS, AND WALLS DURING DEMOLITION AND MAINTAIN THIS TEMPORARY CONSTRUCTION IN PLACE UNTIL THE NEW STRUCTURAL WORK IS COMPLETED AND TIED TO THE REMAINING EXISTING CONSTRUCTION. REMOVE DEMOLISHED ITEMS PROMPTLY FROM THE BUILDING. DO NOT OVERLOAD EXISTING FLOORS WITH CONSTRUCTION DEBRIS.

3. PROTECT ADJACENT BUILDING FOUNDATIONS DURING EXCAVATIONS BY SHEET PILING, BRACING, SHORING, ETC. AS REQUIRED BY FIELD CONDITIONS.

FOUNDATIONS, BACKFILL AND DRAINAGE

1. ALL FOOTINGS SHALL BE CARRIED DOWN 6" INTO THE UNDISTURBED INORGANIC LAYER HAVING A MINIMUM BEARING CAPACITY OF 2.0 TONS PER SQUARE FOOT.

2. NO FOOTING SHALL BE PLACED IN WATER.

3. ALL EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN A MINIMUM OF 4.0 FEET BELOW FINISHED EXTERIOR GRADE, UNLESS OTHERWISE SHOWN ON THE PLANS.

4. ALL FOOTING EXCAVATIONS ARE TO BE FINISHED BY HAND.

5. ALL FOOTING EXCAVATIONS SHALL BE INSPECTED BY THE ARCHITECT/ENGINEER BEFORE THE FOOTINGS ARE POURED IN ORDER TO CONFIRM THAT THE FOUNDATION MATERIAL IS ADEQUATE TO SUSTAIN THE DESIGN BEARING PRESSURE.

6. MATERIAL ADJACENT TO AND BELOW FOOTING SHALL BE REMOVED AND REPLACED WITH CONCRETE. IF ANY FROZEN MATERIAL SHOULD BE FOUND BELOW SLAB ON GRADE IT SHALL BE REMOVED AND REPLACED 95% COMPACTED GRANULAR MATERIAL.

7. UNLESS OTHERWISE NOTED ALL FOOTINGS SHALL BE CENTERED UNDER SUPPORTED MEMBERS.

8. BACKFILL AGAINST FOUNDATION WALLS INSIDE AND OUTSIDE THE BUILDING WITH LAYER COMPACTED TO 95% MODIFIED PROCTOR DENSITY.

9. ALL FOUNDATION WALLS AND RETAINING WALLS, SHALL BE BRACED DURING THE OPERATIONS OF BACKFILLING AND TAMPING. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.

10. SEE ARCHITECTURAL DRAWINGS FOR PERIMETER INSULATION.

CONCRETE CAST IN PLACE

1. ALL CONCRETE WORK SHALL COMPLY WITH THE STANDARD "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS" ACI 301-99. THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318-99.

2. ALL CONCRETE SHALL HAVE A 4,000-PSI MINIMUM 28-DAY COMPRESSIVE STRENGTH.

3. CONTROLLED CONCRETE SHALL BE USED, PROPORTIONED, MIXED AND 🔊 PLACED UNDER THE SUPERVISION OF AN APPROVED CONCRETE CONTROL ENGINEER.

4. PLACEMENT OF CONCRETE WORK SHALL COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE". CONCRETE SHALL BE DEPOSITED IN A WAY TO PREVENT SEGREGATION AND SHALL BE THOROUGHLY COMPACTED BY MEANS OF VIBRATORS TO PRODUCE A QUALITY AND DURABLE SURFACE.

5. DO NOT INTERRUPT SUCCESSIVE PLACEMENT; DO NOT PERMIT COLD FOLLOWING NOTES OR IN THE SPECIFICATIONS. JOINTS TO OCCUR.

GRADE USING A TROWEL.

7. ALL VOIDS, FINS, PROJECTIONS, AND HONEYCOMB AREAS SHALL BE REMOVED DOWN TO SOUND CONCRETE AND REPAIRED IMMEDIATELY WITH AN APPROVED PATCHING MATERIAL.

REINFORCING

1. ALL REINFORCING BAR DETAILING SHALL BE AS SPECIFIED IN THE AMERICAN CONCRETE

INSTITUTE "MANUAL OF STANDARD PROACTIVE FOR DETAILING REINFORCED INTERIOR WALLS: 2X4 AT 16" O.C. CONCRETE

STRUCTURES" ACI 315, AMENDED TO DATE.

2. ALL REINFORCING STEEL EXCEPT AS OTHERWISE NOTED SHALL BE ASTM A615 BILLET STEEL DEFORMED BARS GRADE 60.

3. WHERE CONTINUOUS BARS ARE CALLED FOR, INDICATED, OR REQUIRED THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTING WALLS, LAPPED AT NECESSARY SPLICES, SPLICES STAGGERED WHEREVER POSSIBLE, AND HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE 36 DIAMETERS OF THE BAR UNLESS OTHERWISE NOTED.

4. UNLESS OTHERWISE NOTED, AT ALL FOUR SIDES OF OPENINGS PROVIDE 2 - #5 AT TOP AND BOTTOM IN SLABS, AND 1 - #5 AT EACH FACE IN WALLS, ALL BARS EXTENDING 2'-0" BEYOND OPENING OR AND SHALL BE APA C-D INTERIOR WITH EXTERIOR GLUE. HOOKED IF NECESSARY. IN WALL AND GRADE BEAMS WHERE OPENING IS 4'-0" OR OVER, OPENING FACES SHALL BE REINFORCED.

5. PROVIDE AND SCHEDULE WITH SHOP DRAWINGS ALL NECESSARY ACCESSORIES TO HOLD THE REINFORCING SECURELY AND ACCURATELY IN POSITION. HIGH CHAIRS SHALL BE SPACED 4'-0" O.C. MAXIMUM AND WIRED TO BOTTOM SLAB REINFORCING. SUPPORT BARS ON HIGH CHAIRS SHALL BE #5 MINIMUM. SLAB BOLSTERS SHALL BE SPACED AT 3'-0" MAXIMUM.

6. CLEARANCE OF MAIN REINFORCING BARS FROM ADJACENT CONCRETE SURFACES SHALL BE:

a. WHERE UNFORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH, 11. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS.

b. WHERE FORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH OR 12. REFER TO THE MASSACHUSETTS STATE BUILDING NAILING SCHEDULE WHERE EXPOSED TO WEATHER. 2".

7. ALL REINFORCING SHALL BE APPROVED BY THE ARCHITECT/ENGINEER.

STRUCTURAL STEEL

1. STRUCTURAL STEEL DESIGN, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF AISC "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL BUILDINGS" FINISHES. LATEST EDITION.

2. STRUCTURAL STEEL SHALL BE NEW STRUCTURAL CARBON STEEL CONFORMING TO THE FOLLOWING ASTM DESIGNATION:

- ASTM A36 FOR ROLLED SHAPES AND PLATES

- ASTM A53 FOR STEEL PIPES

- ASTM A500 GRADE B FOR COLD FORMED STEEL TUBING

3. ALL SHOP AND FIELD CONNECTIONS SHALL BE BY WELDING OR HIGH AND THEN BONDED TOGETHER BY HEAT WITH PRESSURE APPLIED. STRENGTH BOLTS, AND SHALL DEVELOP THE FULL STRENGTH OF THE MEMBER TO BE CONNECTED UNLESS OTHERWISE SHOWN ON THE DRAWINGS.

4. WELDING SHALL CONFORM TO AWS D1.1-94 AND SHALL BE DONE BY CERTIFIED WELDERS AND SHALL BE UNDERTAKEN BY A FABRICATOR QUALIFIED BY THE AWS.

5. ALL BOLTED CONNECTIONS SHALL BE HIGH STRENGTH CONFORMING

- ASTM A325N BOLTS STEEL TO STEEL CONNECTIONS. - A307 BOLTS FOR ALL WOOD TO STEEL AND STEEL TO CONCRETE OR WITH THE "DESIGN SPECIFICATION FOR LIGHT GAUGE METAL PLATE MASONRY CONNECTIONS.

THE MINIMUM NUMBER OF BOLTS PER CONNECTION SHALL BE TWO

6. ALL STEEL SHALL RECEIVE ONE COAT OF ZINC-RICH PRIMER.

CARPENTRY

1. ALL WOOD MEMBERS TO BE USED FOR NEW FRAMING SHALL BE NEW MATERIAL OR EXISTING STOCK AND OF MATERIAL SPECIFIED IN THE

2. ALL NEW LUMBER AND PLYWOOD SHEATHING MUST HAVE A GRADE 6. ALL EXCESS MATERIAL SHALL BE TRIMMED, SLICED OR SCRAPED TO STAMP FROM THE ASSOCIATIONS HAVING JURISDICTION WHICH INDICATES SPECIE, MILL NUMBER, MOISTURE CONTENT WHEN SURFACES AND GRADE OR STRESS RATING.

> 3. WOOD STUBS SHALL BE KILN-DRIED. SPRUCE-PINE-FIR NO. 2 WITH A MAXIMUM MOISTURE CONTENT OF 19% AT THE TIME OF DRESSING.

4. WOOD STUD WALLS SHALL BE AS FOLLOWS (EXCEPT AS NOTED ON THE DRAWINGS):

EXTERIOR WALLS: 2X6 AT 16" O.C.

5. NEW POSTS SHALL BE DF NO. 2 GRADE OR BETTER, SURFACED DRY WITH A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF DRESSING.

6. NEW DIMENSION LUMBER SHALL BE SPF NO. 2 OR BETTER, SURFACE DRY WITH A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF DRESSING.

7. FRAMING ANCHORS, DRILLED-IN ANCHORS AND OTHER ACCESSORIES SHALL BE APPROVED BY THE ENGINEER.

8. FLOOR SHEATHING SHALL BE APA RATED PLYWOOD SHEATHING TONGUE-IN-GROOVE STURD-I-FLOOR GLUES-NAILED TO FLOOR JOISTS. ROOF SHEATHING SHALL BE APA RATED C-D INTERIOR WITH EXTERIOR GLUE NAILED TO JOISTS. WALL SHEATHING SHALL BE 1/2" SHEATHING

9. MEMBER TO MEMBER CONNECTIONS SHALL BE AS FOLLOWS:

a. JOIST HANGERS FOR JOISTS TO BEAM CONNECTIONS. b. BEAM HANGERS FOR BEAM-TO-BEAM CONNECTION. c. POST CAPS FOR BEAM-TO-POST CONNECTION. d. STEEL ANGLE OR PLATES FOR WOOD BEAMS TO STEEL POST

CONNECTION. ALL CONNECTOR ITEMS SHALL BE APPROVED BY THE

10. SHIM STRAPPING AS NECESSARY TO PRODUCE A LEVEL CEILING.

FOR NAILING AND BOLTING NOT OTHERWISE SPECIFIED ON THE DRAWINGS.

13. WOOD STUD WALL OPENING HEADERS SHALL BE 3-2" X 8" AT 2X6 STUD WALLS AND 2-2 X 8 AT 2X4 STUD WALLS EXCEPT AS NOTED ON THE PLANS.

14. ALL REFRAMING SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT/ENGINEER OR HIS DESIGNATED PRIOR TO APPLYING NEW

15. PROVIDE SOLID WALL BRIDGING SPACED AT 4'-0 O.C. VERTICAL.

16. AT OPENINGS IN BEARING PARTITIONS BLOCK SOLID BETWEEN POSTS ABOVE AND BELOW WITH 4" BLOCKING.

17. ALL WALL STUDS SHALL BE LOCATED UNDER FLOOR JOISTS.

18. MICRO-LAM MEMBERS SHALL BE LAMINATED VENEER LUMBER ITEM.

DESIGN PROPERTIES  $E = 2.0 \times 106 \text{ PSI}$ FB = 2800 PSIFV = 285 PSI

TRUSS NOTES:

ARCHITECT/ENGINEER.

1. SEE GENERAL NOTES FOR PROJECT REQUIREMENTS.

2. TRUSS SPACING SHALL BE 2'-0" O.C. UNLESS OTHERWISE NOTED. 3. TRUSS MANUFACTURER SHALL DESIGN AND DETAIL ALL TRUSSES AND SUBMIT CALCULATIONS FOR APPROVAL. TRUSS DESIGN SHALL COMPLY CONNECTORS WITH WOOD TRUSSES.

4. DESIGN LOADS SHALL BE AS FOLLOWS:

TOP CHORD

A. LIVE LOAD = 30 PSF + SNOWDRIFTB. DEAD LOAD = 10 PSF + TRUSS WEIGHT

BOTTOM CHORD A. LIVE LOAD = 10 PSF OR 150 LB CONCENTRATED LOAD B. DEAD LOAD = 7 PSF

WIND LOADS A. NET UPLIFT = 10 PSF

5. PROVIDE WEB BRACES AS REQUIRED BY DESIGN, COORDINATE WITH MECHANICAL REQUIREMENTS. 6. DOUBLE TRUSSES SHALL BE NAILED TOGETHER WITH 2-12d NAILS

AT 12" O.C.

7. PROVIDE 2X4 WOOD BLOCKING AT ALL BOTTOM CHORDS AT 8'-0" O.C. MAXIMUM. PROVIDE HORIZONTAL TRUSS AT BOTTOM CHORD ELEVATION AT ENDS OF BUILDINGS.

DESIGN LOADS

1. THE VARIOUS PORTIONS OF THE STRUCTURE ARE DESIGNED TO CARRY THE FOLLOWING LIVE LOADS IN ADDITION TO SPECIFIC MACHINERY AND EQUIPMENT LOADS:

ROOF 30 PSF + ALLOWANCE FOR SNOW DRIFTING DWELLING AREAS 40 PSF EXCEPT 30 PSF AT UPPER FLOORS BEDROOMS

2. LATERAL LOADS:

- WIND DESIGN LOADS: ZONE 3, EXPOSURE B PER MASSACHUSETTS

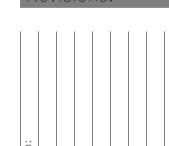
BUILDING CODE. - SEISMIC DESIGN LOADS: IN ACCORDANCE WITH ARTICLE 16 OF THE MASSACHUSETTS STATE BUILDING CODE.

ERIC NELSON ARCHITECT 123 Wildwood St. Winchester, MA 01890 T. (617)320-2290

roject Name:

Joarder Hankowitz Residence

> 164 Highland St. Boston, MA



**GENERAL** 

rawing Title:

NOTES

)rawing Informatior 8/11/2019

Date of Issue:

Construction Documents

Description: Scale: Drawn By:



MECHANICAL, PLUMBING & FIRE PROTECTION NOTES:

- 1. ALL MATERIALS INSTALLED IN THIS PROJECT SHALL BE NEW UNLESS NOTED FOR RE-USE.
- 2. MECHANICAL, PLUMBING & FIRE PROTECTION CONTRACTORS SHALL BE RESPONSIBLE FOR SUPPLYING THE G.C. WITH ALL REQUIRED PENETRATION SIZES. THE G.C. SHALL BE RESPONSIBLE FOR THE PROPER CUTTING AND PATCHING OF ALL FLOOR AND WALL PENETRATIONS THAT THIS WORK REQUIRES. EACH CONTRACTOR IS RESPONSIBLE FOR PROPER FIRE STOPPING ALL PENETRATIONS THEIR WORK CREATES.
- 3. ALL METERIALS USED MUST BE APPROVED BY THE ARCHITECT OR MECHANICAL ENGINEER. SUBMIT CATALOGUE CUTS FOR ALL EQUIPMENT, INSULATION, DUCTWORK, PIPING AND VALVES. SHOP DRAWINGS ARE REQUIRED FOR ALL PIPING AND DUCTWORK LAYOUTS PRIOR TO INSTALLATION.
- 4. REFER TO THE WORK SCHEDULE AND/OR GENERAL NOTES. ALL WORK IN THE CONSTRUCTION AREA SHALL BE PERFORMED DURING SCHEDULED HOURS. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY COMPLETION OF THEIR WORK AND SHALL PAY ALL EXTRAS AS REQUIRED FOR FAST DELIVERY ON ANY LONG LEAD ITEMS THAT AFFECT THE CONSTRUCTION SCHEDULE. EXTRAS SHALL BE CLEARLY QUALIFIED (MATERIALS & LABOR) IN BIDS.
- 5. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EQUIPMENT, MATERIALS AND LABOR REQUIRED FOR A COMPLETE JOB.
- 6. REQUIRED FIRE DAMPERS, FIRE STOPPING, ETC. WITH RATINGS CORRESPONDING TO THE WALL/CEILING ASSEMBLY IN WHICH THEY ARE LOCATED SHALL BE PROVIDED BY EACH CONTRACTOR FOR ALL THEIR WORK.
- 7. PROVIDE PRODUCT WARRANTEE AND OPERATION MANUALS COMPLETE WITH PARTS LISTS, MAINTENANCE CHARTS AND TROUBLE SHOOTING. THREE COPIES OF EACH MANUAL SHALL BE SUBMITTED FOR APPROVAL. PROVIDE AS BUILT DRAWINGS WHEN REQUIRED IN THE SPECIFICATION OR BID INVITATION.
- 8. SECURE ALL EQUIPMENT TO BUILDING STRUCTURE AS REQUIRED. FURNISH ALL SUPPLEMENTARY STEEL AND SUPPORTS AS REQUIRED.
- 9. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. FURNISH AND INSTALL ALL NECESSARY EQUIPMENT FOR A COMPLETE AND PROPER WORKING SYSTEM.
- 10. ALL DUCTWORK SHALL BE DESIGNED AND INSTALLED PER SMACNA LOW PRESSURE SPECIFICATIONS. ALL MAIN TRUNKS FROM THE UNIT UP TO THE ZONE CONTROL DEVICES (SUCH AS VAV BOXES, REHEAT COILS, ZONE DAMPERS, INDUCTION UNITS, ETC.) SHALL BE PER SMACNA MEDIUM PRESSURE RATED FOR 3" MIN. STATIC PRESSURE WITH SEAL CLASS "A". ALL BRANCHES AFTER ZONE CONTROL DEVICE SHALL BE PER SMACNA LOW PRESSURE RATED FOR 2" MIN. STATIC PRESSURE WITH SEAL CLASS "B". ALL JOINTS, SEAMS AND SCREWS SHALL BE SEALED AIR TIGHT WITH A COATING OF SEALING COMPOUND APPLIED ALL OVER AND AROUND EACH POTENTIAL POINT OF LEAKAGE.
- 11. FLEXIBLE DUCTS SHALL BE BUCKLEY MODEL FABRIFLEX 4, INSULATED HEAVY COATED FIBERGLASS CLOTH FABRIC. FLEXIBLE DUCT SHALL NOT EXCEED 4 FEET IN LENGTH. NO FLEXIBLE DUCT SHALL BE USED ON RETURN OR EXHAUST DUCTWORK. FLEXIBLE DUCTS SHALL NOT BE USED IN INSTITUTIONAL BUILDINGS UNLESS THE BUILDING IS FULLY SPRINKLERED. PROVIDE FLEXIBLE CONNECTION TO ANY EQUIPMENT WITH MOVING PARTS.
- 12. ALL SUPPLY, FRESH AIR DUCTS AND PLENUM BEHIND LOUVERS SHALL BE INSULATED WITH 1 1/2" FSK FACED FIBERGLASS INSULATION WITH A MINIMUM DENSITY OF 3/4 PCF. ALL JOINTS SHALL BE SEALED. ALL DUCTWORK EXXPOSED TO OUTSIDE OR UNHEATED CONDITIONS SHALL BE INSULATED WITH 2" INSULATION AND SHALL BE WEATHERPROOFED (LIGHT COLORED COATING). ALL PIPING EXPOSED TO OUTSIDE CONDITIONS SHALL BE INSULATED WITH 2" INSULATION AND ALUMINUM WEATHERPROOF COVERING.
- 13. VOLUMN DAMPERS SHALL BE ADDED AT ALL TAKE OFFS, RETURN AIR DUCTWORK AND AS REQUIRED FOR PROPER AIR BALANCE AND OPERATION OF THE SYSTEM.
- 14. THE SYSTEM SHALL BE BALANCED BY A CERTIFIED BALANCE CONTRACTOR. A COMPLETE BALANCE REPORT SHALL BE SUBMITTED TO THE ARCHITECT OR MECHANICAL ENGINEER FOR APPROVAL. AFTER THE SYSTEM IS BALANCED ALL BALANCE DAMPERS SHALL BE SECURED WITH A SHEET METAL SCREW. ANY MODIFICATIONS TO THE SYSTEM REQUIRED

FOR PROPER BALANCING SHALL BE PERFORMED BY THE MECHANICAL CONTRACTOR.

WITHIN WALLS AND BEHIND FINISH SURFACES UNLESS OTHERWISE NOTED. NOTED FOR RE-USE.

IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER/MANAGER.

17. COORDINATE ALL MOTOR, STARTER AND DISCONNECT WITH THE ELECTRICAL CONTRACTOR FOR ALL EQUIPMENT.

18. ALL EXPOSED EQUIPMENT (RADIATORS, DIFFUSERS, GRILLES, UNIT HEATERS, ETC.) SHALL HAVE COLORS AS SELECTED BY ARCHITECT UNLESS OTHERWISE NOTED.

19. EXPOSED EQUIPMENT SHALL BE LOCATED AS SHOWN ON THE PLANS AND REVIEWED BY ARCHITECT IN THE FIELD. COORDINATE LOCATIONS WITH STRUCTURAL AND ELECTRICAL WORK.

ELECTRICAL NOTES:

- 15. ALL PIPING AND DUCTWORK SHALL BE RUN ABOVE THE CEILINGS OR 1. ALL MATERIALS INSTALLED IN THIS PROJECT SHALL BE NEW UNLESS
- 16. ALL WORK PERFORMED SHALL BE GUARANTEED FREE FROM DEFECTS 2. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING ALL REQUIRED PENETRATIONS, CUTTING & PATCHING FOR THEIR WORK. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR PROPER FIRE STOPPING ALL PENETRATIONS THEIR WORK CREATES.
  - 3. ALL METERIALS USED MUST BE APPROVED BY THE ARCHITECT OR ELECTRICAL ENGINEER. SUBMIT CATALOGUE CUTS FOR ALL EQUIPMENT, INSULATION, WIRING, CONDUITS, ETC. LAYOUT REVIEW BY ARCHITECT IS REQUIRED PRIOR TO INSTALLATION.
  - 4. REFER TO THE WORK SCHEDULE AND/OR GENERAL NOTES. ALL WORK IN THE CONSTRUCTION AREA SHALL BE PERFORMED DURING SCHEDULED HOURS. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY COMPLETION OF THEIR WORK AND SHALL PAY ALL EXTRAS AS REQUIRED FOR FAST DELIVERY ON ANY LONG LEAD ITEMS THAT AFFECT THE CONSTRUCTION SCHEDULE. EXTRAS SHALL BE CLEARLY QUALIFIED (MATERIALS & LABOR) IN BIDS.
  - 5. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EQUIPMENT, MATERIALS AND LABOR REQUIRED FOR A COMPLETE JOB.
  - 6. REQUIRED FIRE STOPPING, ETC. WITH RATINGS CORRESPONDING TO THE WALL/CEILING ASSEMBLY IN WHICH THEY ARE LOCATED SHALL BE PROVIDED BY EACH CONTRACTOR FOR ALL THEIR WORK.
  - 7. PROVIDE PRODUCT WARRANTEE AND OPERATION MANUALS COMPLETE WITH PARTS LISTS, MAINTENANCE CHARTS AND TROUBLE SHOOTING. THREE COPIES OF EACH MANUAL SHALL BE SUBMITTED FOR APPROVAL. PROVIDE AS BUILT DRAWINGS WHEN REQUIRED IN THE SPECIFICATION OR BID INVITATION.
  - 8. SECURE ALL EQUIPMENT TO BUILDING STRUCTURE AS REQUIRED. HORIZONTAL CONDUIT RUNS TO BE SUPPORTED AT 10 FOOT INTERVALS. FURNISH ALL SUPPLEMENTARY STEEL AND SUPPORTS AS REQUIRED.
  - 9. INSTALL ALL EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. FURNISH AND INSTALL ALL NECESSARY EQUIPMENT FOR A COMPLETE AND PROPER WORKING SYSTEM.

10. ELECTRICAL DRAWINGS ARE DIAGRAMMATIC. FINAL LOCATION OF OUTLETS, LIGHTING AND EQUIPMENT SHALL BE AS APPROVED BY ARCHITECT IN THE FIELD.

- 11. BIDS SHALL INCLUDE ALL POWER, GROUNDING AND EMPTY CONDUIT REQUIREMENTS NECESSARY FOR THE INSTALLATION OF THE FOLLOWING SYSTEMS AS INDICATED ON THE CONSTRUCTION DRAWINGS:
  - a. TELEPHONE
  - b. DATA
  - c. SECURITY
- d. AUDIO

12. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL REQUIRED WIRING FOR EQUIPMENT FURNISHED BY OTHERS.

13. VERIFY ALL LOCATIONS OF ELECTRICAL EQUIPMENT WITH ARCHITECTURAL DRAWINGS. IN CENTERINGT OUTLETS AND LOCATING BOXES ALLOW FOR OVERHEAD PIPES, DUCTS, EQUIPMENT, ETC.

14. LOCATE JUNCTION AND PULL BOXES TO BE CONCEALED IN FINISH SPACES AS APPROVED BY ARCHITECT. COORDINATE ALL BOX LOCATIONS WITH OTHER TRADES. COVERS OF JUNCTION & PULL BOXES SHALL BE FLUSH METAL TYPE AND FULLY ACCESSIBLE.

15. UPON COMPLETION OF ALL ELECTRICAL WORK, ELECTRICAL CONTRACTOR SHALL TEST AND ADJUST ALL CIRCUITS, OUTLETS, LIGHTS, SWITCHES, MOTORS AND ANY OTHER ELECTRICAL ITEMS INSTALLED. ANY DEFECTIVE ITEMS SHALL BE IMMEDIATILY REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.



Project Name:

# Joarder Hankowitz Residence

164 Highland St. Boston, MA

Drawing Title:

GENERAL NOTES

Drawing Information 8/11/2019

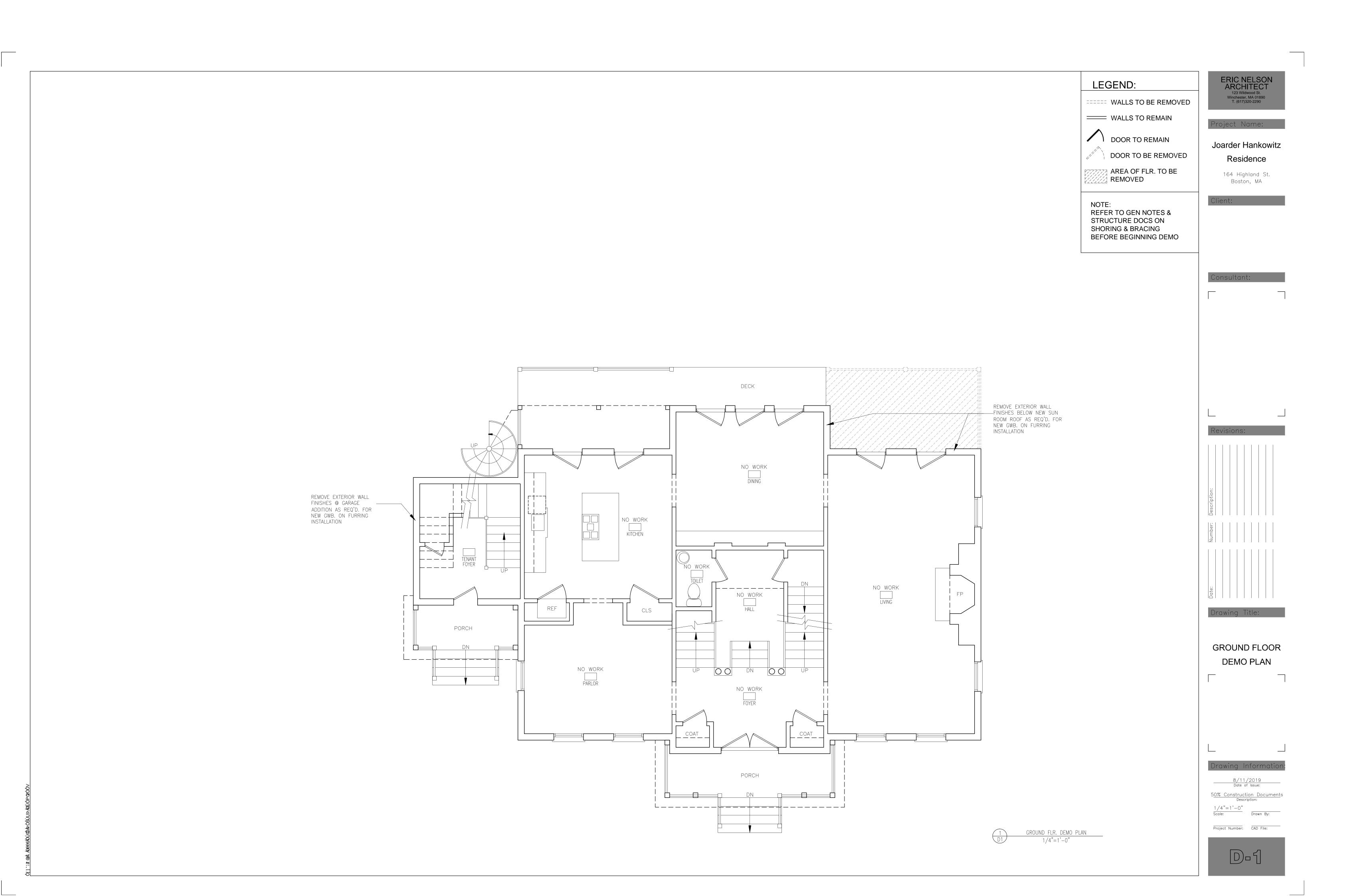
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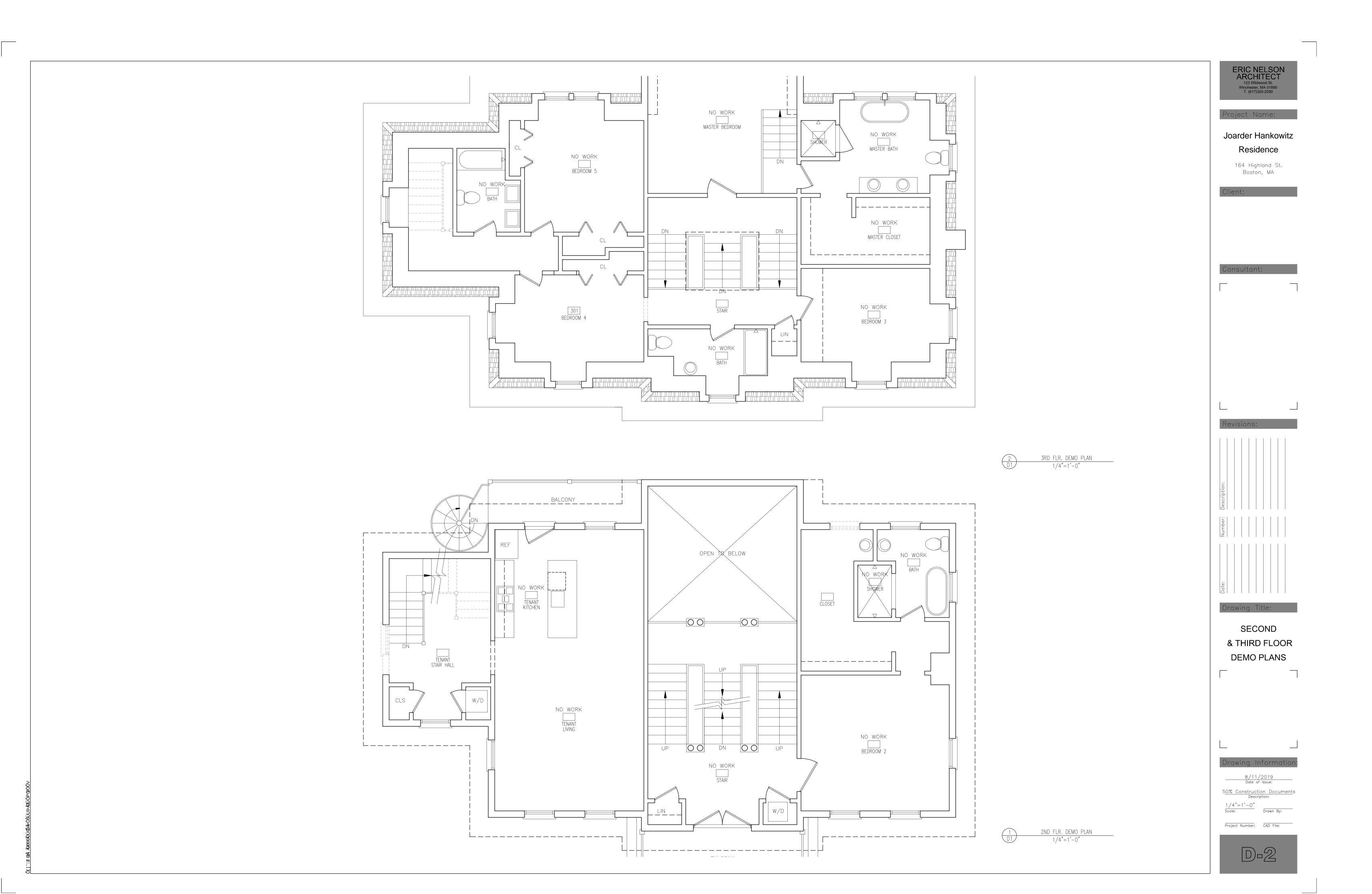
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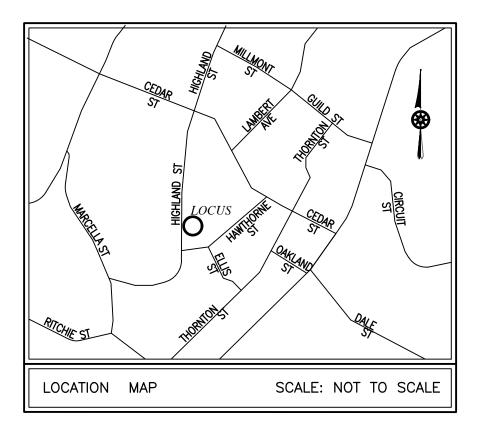
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N.A.
Scale: Drawn By:









RECORD OWNER:
ASSESSORS PARCEL I.D. No. 1100169001
164 HIGHLAND STREET

J. ERIC HANKWITZ & BANDITA JOARDER 164 HIGHLAND STREET BOSTON, MA 02119 DEED BOOK 59460 PAGE 66

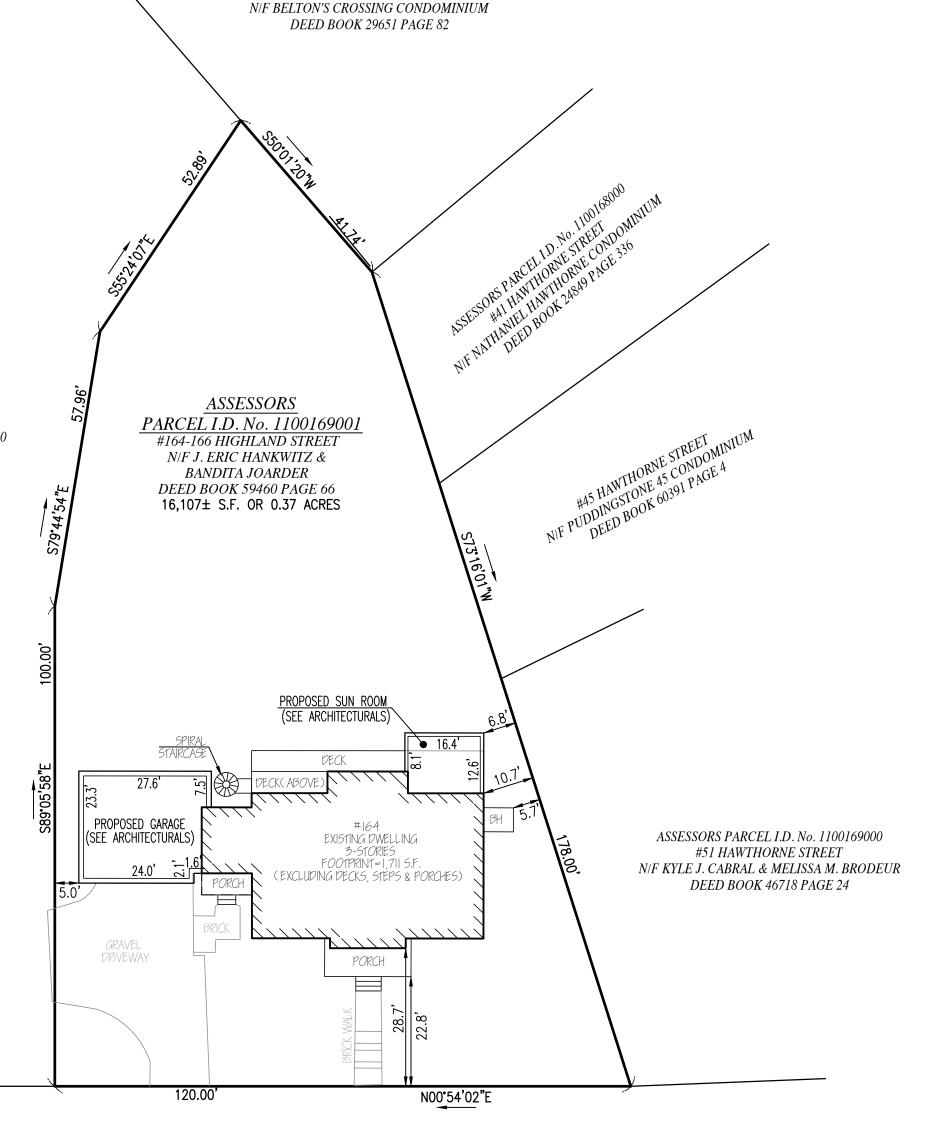
#### NOTES:

- PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE SUFFOLK COUNTY REGISTRY OF DEEDS AND THE CITY OF BOSTON ASSESSORS DEPARTMENT.
- 2. DETAIL INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS ON DECEMBER 11, 2019.
- 3. SUBJECT SITE IS IN THE "3F-4000" ZONE AS DEPICTED ON THE CITY OF BOSTON 6A/6B ROXBURY NEIGHBORHOOD DISTRICT MAP.

#### FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON COMMUNITY MAP No. 25025C0079J, WHICH BEARS AN EFFECTIVE DATE OF MARCH 16, 2016, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ASSESSORS PARCEL I.D. No. 1100170000 #164 HIGHLAND STREET N/F MARCELO C. CAMPOS & JASON L. PATRICK DEED BOOK 59455 PAGE 280



ASSESSORS PARCEL I.D. No. 1100167002 #31-35 HAWTHORNE STREET

HIGHLAND STREET

~ PUBLIC - VARIABLE WIDTH ~



REVISIONS

7/27/20 SHIFT GARAGE

DOUGLAS
L.
AABERG
No. 35382

DRAWN BY: BKL

DESIGNED BY:

CHECKED BY: DLA

Land Surveyors
MA 02339 / T: (781) 826-9200

Engineers and Land 427 COLUMBIA ROAD, HANOVER, MA 02339 , 26 UNION STREET, PLYMOUTH MA 02360 /

CERTIFIED PLOT PLAN

164-166 HIGHLAND STREET

BOSTON, MASSACHUSETTS

SANT
BANDITA JOARDER
164 HIGHLAND STREET
BOSTON, MA 02119

DECEMBER 13, 2019

SCALE: 1"=20'

JOB NO. 19-307

LATEST REVISION:

CERTIFIED PLOT PLAN

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#### <u>GENERAL</u>

- 1. REFER TO THE PROJECT SPECIFICATIONS FOR GENERAL CONTRACT REQUIREMENTS FOR MATERIALS, WORKMANSHIP, AND SHOP DRAWINGS.
- 2. REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL DRAWINGS, AND APPROVED SHOP DRAWINGS FOR LOCATIONS AND DIMENSIONS OF CHASES, REGLETS, OPENINGS, SLEEVES, DEPRESSIONS, AND REQUIREMENTS FOR ATTACHMENT OF FINISHES.
- 3. ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE FIELD COORDINATED BY THE CONTRACTOR WITH THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, AND ANY INCONSISTENCIES REPORTED TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE AFFECTED WORK.
- 4. ALL CONSTRUCTION WORK SHALL COMPLY WITH THE COMMONWEALTH OF MASSACHUSETTS STATE BUILDING CODE, 9th EDITION AND IBC 2015.
- 5. THE STRUCTURAL DESIGN OF THE BUILDING IS BASED ON THE FULL INTERACTION OF ALL ITS COMPONENT PARTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR FURNISHING & INSTALLING TEMPORARY SUPPORTS AND BRACING NECESSARY TO PREVENT ANY INSTABILITIES AND/OR UNDUE STRESSES DURING ERECTION. REFER TO AISC "CODE OF STANDARD PRACTICE" FOR FURTHER INFORMATION.

#### FOUNDATION, BACKFILL AND DRAINAGE

- 1. ALL FOOTINGS SHALL BE CARRIED DOWN TO THE SAND AND GRAVEL BEARING LAYER.
- 2. ALL TOP SOIL AND FILL MATERIALS SHALL BE REMOVED FROM WITHIN THE BUILDING FOOTPRINT AND THEY SHALL BE REPLACED WITH A STRUCTURAL FILL MATERIAL ACCEPTABLE TO THE ARCHITECT/ENGINEER.
- 3. DEWATER DURING CONSTRUCTION AS APPROVED BY GEOTECHNICHAL ENGINEER.
- 4. BACKFILL AGAINST FOUNDATION WALLS AND UNDER SLAB ON GRADE WITH AN APPROVED GRANULAR MATERIAL PLACED IN 6 INCH HIGH LAYERS AND EACH LAYER COMPACTED AS APPROVED BY THE GEOTECHNICAL ENGINEER ON SITE. ENTIRE FILLING AND COMPACTING OPERATION TO BE BY A TESTING LABORATORY RETAINED BY THE OWNER. CLEAN EXCAVATED MATERIAL MEETING THE SPECIFICATIONS MAY BE USED FOR GRANULAR BACKFILL OUTSIDE THE BUILDING.
- 5. THE ARHITECT/ENGINEER ASSUMES NO RESPONSIBILITY FOR THE VALIDITY OF THE SUBSURFACE CONDITIONS DESCRIBED ON THE DRAWINGS. THESE DATA ARE INCLUDED ONLY TO ASSIST THE CONTRACTOR DURING BIDDING AND SUBSEQUENT CONSTRUCTION.
- 6. NO FOOTING SHALL BE PLACED IN WATER.
- 7. ALL EXTERIOR CONSTRUCTION SHALL BE CARRIED DOWN 4 FT (MIN) BELOW EXTERIOR GRADE, UNO.
- 8. MATERIAL ADJACENT TO AND UNDER THE FOOTING SHALL BE KEPT FROM FREEZING AT ALL TIMES. IF ANY MATERIAL IS FOUND TO BE FROZEN IT SHALL BE REMOVED & REPLACED W/ CONCRETE. IF ANY FROZEN MATERIAL SHOULD BE FOUND BELOW GRADE IT SHALL BE REMOVED & REPLACED WITH 95% COMPACTED GRANULAR MATERIAL.
- 9. ALL FOUNDATION WALLS, RETAINING WALLS AND GRADE BEAMS SHALL BE BRACED DURING THE OPERATIONS OF BACKFILLING AND TAMPING. BRACING SHALL BE LEFT IN POSITION UNTIL PERMANENT RESTRAINTS HAVE BEEN INSTALLED.
- 10. INSTALL SLAB UNDERDRAINAGE AS REQUIRED BY FIELD CONDITIONS.
- 11. NO FOOTINGS SHALL BE CAST UNTIL AFTER INSPECTIION OF THE SOIL BEARING LAYER BY THE STRUCTURAL ENGINEER OR HIS REPRESENTATIVE.

#### CAST IN PLACE CONCRETE

- 1. ALL CONCRETE WORK SHALL COMPLY WITH THE STANDARD "SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS" ACI 301 AND THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" ACI 318 LATEST EDITIONS.
- 2. ALL CONCRETE SHALL HAVE A 4,000 PSI MINIMUM 28 DAY COMPRESSIVE STRENGTH EXCEPT 3,000 PSI AT FOOTINGS.
- 3. CONTROLLED CONCRETE SHALL BE USED, PROPORTIONED, MIXED, AND PLACED UNDER THE SUPERVISION OF AN APPROVED CONCRETE CONTROL ENGINEER.
- 4. PLACEMENT OF CONCRETE WORK SHALL COMPLY WITH ACI 304 "GUIDE FOR MEASURING, MIXING, TRANSPORTING, AND PLACING CONCRETE". CONCRETE SHALL BE DEPOSITED IN SUCH A WAY TO PREVENT SEGREGATION AND SHALL BE THOROUGHLY COMPACTED BY MEANS OF VIBRATORS TO PRODUCE A QUALITY AND DURABLE SURFACE.
- 5. ENSURE REINFORCEMENT, INSERTS, EMBEDDED PARTS AND JOINT DEVICES ARE NOT DISTURBED DURING CONCRETE PLACEMENT.
- 6. PLACE CONCRETE CONTINUOUSLY BETWEEN PREDETERMINED CONTROL AND CONSTRUCTION JOINTS. MAXIMUM SPACING OF CONSTRUCTION JOINTS SHALL BE 60'-0". SUBCONTRACTOR TO SUBMIT A PLAN FOR APPROVAL PRIOR TO START OF WORK INDICATING LOCATIONS OF ALL PROPOSED CONSTRUCTION JOINTS. ALL SLABS AND WALLS SHALL BE POURED WITHOUT HORIZONTAL CONSTRUCTION JOINTS.
- 7. DO NOT INTERRUPT SUCCESSIVE PLACEMENT; DO NOT PERMIT COLD JOINTS TO OCCUR.
- 8. ALL EXCESS MATERIAL SHALL BE TRIMMED, SLICED OR SCRAPED TO GRADE USING A TROWEL.
- 9. ALL VOIDS, FINS, PROJECTIONS, AND HONEYCOMB AREAS SHALL BE REMOVED DOWN TO SOUND CONCRETE AND REPAIRED IMMEDIATELY WITH AN APPROVED PATCHING MATERIAL.

### REINFORCING

- 1. ALL REINFORCING BAR DETAILING SHALL BE AS SPECIFIED IN THE AMERICAN CONCRETE INSTITUTE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315, AMENDED TO DATE.
- 2. ALL REINFORCING STEEL SHALL BE ASTM A516 BILLET STEEL DEFORMED BARS GRADE 60, UNO.
- 3. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. LAP SPLICES SHALL BE 8" (MIN), EMBED 4" (MIN) AT END SUPPORTS.
- 4. WHERE CONTINUOUS BARS ARE CALLED FOR, INDICATED, OR REQUIRED, THEY SHALL BE RUN CONTINUOUSLY AROUND CORNERS, DOWELED INTO INTERSECTING WALLS, LAPPED AT NECESSARY SPLICES, SPLICES STAGGERED WHEREVER POSSIBLE, AND HOOKED AT DISCONTINUOUS ENDS. LAPS SHALL BE PER CONCRETE REINFORCING SPLICE SCHEDULE ON DWG SO.2.
- 5. UNLESS NOTED OTHERWISE, AT ALL FOUR SIDES OF OPENINGS PROVIDE 2#5 AT TOP AND BOTTOM IN SLABS, AND 1#5 AT EACH FACE IN WALLS, ALL BARS EXTENDING 2'-0" BEYOND OPENING OR HOOKED IF NECESSARY. IN WALL AND GRADE BEAMS WHERE OPENING IS 4'-0" OR OVER, OPENING FACES SHALL BE REINFORCED.
- 6. PROVIDE AND SCHEDULE WITH SHOP DRAWINGS ALL NECESSARY ACCESSORIES TO HOLD THE REINFORCING SECURELY AND ACCURATELY IN POSITION. HIGH CHAIRS SHALL BE SPACED 4'-0" O.C. MAXIMUM AND WIRED TO BOTTOM SLAB REINFORCING. SUPPORT BARS ON HIGH CHAIRS SHALL BE #5 MINIMUM. SLAB BOLSTERS SHALL BE SPACED AT 3'-0" O.C. MAXIMUM.

WHERE UNFORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH, 3"; EXCEPT SLABS, 2".

- B. WHERE FORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH, 2"; WHERE EXPOSED TO WEATHER, 2" FOR BAR SIZE LARGER THAN #5, 1½" FOR #5 AND SMALLER BARS.

  C. THE MAXIMUM ALLOWABLE DEVIATION FROM THE FIGURES ABOVE, WHEN PLACING REINFORCING
- IN THE FORMS SHALL BE  $\frac{1}{4}$ " FOR CONCRETE SHAPES 10" IN DEPTH OR WIDTH.
- D. AT COLUMNS: 2" AT BEAMS:  $1\frac{1}{2}$ ". E. IN SLABS:  $1\frac{1}{2}$ ". AT INTERIOR EXPOSED FACES OF WALLS:  $1\frac{1}{2}$ ".

7. CLEARANCE OF MAIN REINFORCING BARS FROM ADJACENT SURFACES SHALL BE:

- 8. ALL REINFORCING SHALL BE APPROVED BY THE ARCHITECT/ENGINEER. DO NOT CUT OR DISPLACE ANY REINFORCING STEEL TO ACCOMODATE THE INSTALLATION OF MECHANICAL OR ELECTRICAL EMBEDDED ITEMS WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE ARCHITECT. COORDINATE THE INSTALLATION OF PIPES AND CONDUIT IN THE SLAB WITH THE PLACING OF THE REINFORCING STEEL AND MESH, TO ENSURE THAT THE TOP BARS AND MESH ARE IN THEIR PROPER POSITION AT THE TOP OF THE SLAB AND ARE NOT CUT OR DISPLACED BY CONDUIT OR PIPES.
- 9. NOTIFY THE ARCHITECT AT LEAST 24 HOURS IN ADVANCE OF ANY CONCRETING SO THAT HE MAY INSPECT THE ARRANGEMENT OT REINFORCING STEEL. CAST NO CONCRETE UNTIL THE INSPECTION HAS BEEN MADE OR WAIVED BY THE ARCHITECT.

#### **CARPENTRY**

- 1. ALL WOOD MEMBERS TO BE USED FOR NEW FRAMING SHALL BE NEW MATERIAL AS SPECIFIED IN THE FOLLOWING NOTES OR IN THE SPECIFICATIONS.
- 2. ALL NEW LUMBER AND PLYWOOD MUST HAVE A GRADE STAMP FROM THE ASSOCIATIONS HAVING JURISDICTION WHICH INDICATES SPECIE, MILL NUMBER, MOISTURE CONTENT WHEN SURFACED, AND GRADE OR STRESS RATING.
- 3. LUMBER MATERIALS:
  - A. LUMBER GRADING RULES: NFPA OR WWPA.

    B. FRAMING MEMBERS FOR SUPPORTING FLOORS AND ROOF MEMBERS: SPF #2 15 PERCENT MAXIMUM MOISTURE CONTENT AT FLOORS, 19 PERCENT AT ROOF. MINIMUM BEARING LENGTH OF FLOOR
  - JOISTS ON WOOD LEDGERS SHALL BE  $1\frac{1}{2}$ ". C. WOOD STUDS FOR BEARING/SHEAR WALLS: SPF #2 WITH A MAXIMUM MOISTURE CONTENT OF 15 PERCENT.
  - C. WOOD STUDS FOR BEARING/SHEAR WALLS: SPF #2 WITH A MAXIMUM MOISTURE CONTENT OF 15 PERCENT D. MISCELLANEOUS STUD—INFILL AND BLOCKING IN PARTITION WALLS: SPRUCE—PINE—FIR SPECIES, STUD
- GRADE, 19 PERCENT MAXIMUM MOISTURE CONTENT.

  E. MICRO-LAM MEMBERS SHALL BE LAMINATED VENEER LUMBER ITEM. THE VENEER MATERIAL SHALL BE COATED WITH A WATERPROOF ADHESIVE AND THEN BONDED TOGETHER BY HEAT WITH PRESSURE APPLIED. DESIGN PROPERTIES: E=2.0 x 10<sup>6</sup> PSI, FB=2,800 PSI, FV=285 PSI.
- F. ALL LUMBER IN CONTACT WITH CONCRETE OR EXTERIOR AND BASEMENT MASONRY SHALL BE PRESSURE TREATED IN ACCORDANCE WITH CURRENT AMERICAN WOOD PRESERVERS ASSOCIATION (AWPA) STANDARDS. THE RETENTION SHALL BE 0.40 LBS PER CUBIC FOOT.
- G. RIM JOISTS SHALL CONFORM TO TIMBERSTRAND JOISTS WITH A MODULUS OF ELASTICITY OF 1.3×10<sup>6</sup>. H. I—JOIST FLOOR FRAMING SHALL BE BY TRUS JOIST WITH SIZE AND SPACING AS INDICATED ON THE PLANS. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- 4. AT FLOOR AREAS USE  $\frac{3}{4}$ " TONGUE—IN—GROOVE, INTERIOR TYPE WITH EXTERIOR GLUE, EXPOSURE I, UNDERLAYMENT GRADE PLYWOOD. PLYWOOD SHALL BE GLUED—NAILED TO THE FRAMING SYSTEM. FASTEN ALL PLYWOOD DIAPHRAGM CONSTRUCTION WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 10" O.C. AT INTERMEDIATE FRAMING.
- 5. ALL NEW MEMBER TO MEMBER CONNECTIONS SHALL BE JOIST OR BEAM HANGERS; LAG BOLTED OR THRU-BOLTED CONNECTIONS SHALL BE USED WHERE INDICATED ON THE DRAWINGS. ALL CONNECTOR ITEMS SHALL BE USED IN ACCORDANCE WITH THE "TIMBER CONSTRUCTION MANUAL" (AITC, LATEST EDITION) RECOMMENDATIONS.
- 6. IN AREAS TO RECEIVE NEW CEILINGS, STRAP THE UNDERSIDE OF ALL JOISTS WITH 1x3 MERCHANTABLE SPRUCE. SHIM STRAPPING AS NECESSARY TO PRODUCE A LEVEL CEILING. NOTCHING IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED 1/6 THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN THE JOISTS SHALL NOT BE WITHIN 3" OF THE TOP OR BOTTOM OF THE JOIST AND THE HOLE DIAMETER SHALL NOT EXCEED 1/3 THE DEPTH OF THE JOIST.
- 7. REFER TO THE MASSACHUSETTS STATE BUILDING CODE NAILING SCHEDULE FOR NAILING AND BOLTING NOT OTHERWISE SPECIFIED ON THE DRAWINGS.
- 8. ALL REFRAMING SHALL BE INSPECTED AND APPROVED BY THE ARCHITECT/ENGINEER OR HIS DESIGNATE PRIOR TO APPLYING NEW FINISHES.
- 9. PROVIDE SOLID WALL BRIDGING/BLOCKING SPACED AT 4'-0" O.C VERTICAL AT BEARING AND SHEAR WALLS.
- 10. BLOCK SOLID BETWEEN POSTS ABOVE AND BELOW OPENINGS IN BEARING PARTITIONS WITH 4" BLOCKING.
- 11. ALL WALL STUDS SHALL BE LOCATED UNDER FLOOR JOISTS.
- 12. FLOOR FRAMING SHALL BE TJI JOISTS; THE ROOF FRAMING SHALL BE 2x JOISTS. SIZE AND SPACING AS CALLED FOR ON THE PLANS, UNLESS NOTED OTHERWISE. SUBMIT SHOP DRAWINGS FOR REVIEW AND APPROVAL.
- 13. ALL PLYWOOD WALL SHEATHING SHALL BE  $\frac{1}{2}$ " AND FASTENED TO STUDS w/ 8d NAILS AT 4" O.C. AT PANEL EDGES AND 10" O.C. AT INTERMEDIATE FRAMING.
- 14. FOR SHEAR WALL CONSTRUCTION SEE DRAWING S-5.

#### DESIGN LOADS

```
BASIC WIND SPEED (3 SEC GUST)............Vult = 128 MPH
 DESIGNED WIND PRESSURE .....21.00 PSF
LIVE LOAD
SLAB ON GRADE......100 PSF
 DWELLINGS ..... 40 PSF
 CORRIDORS . . . . . . . . . . . . . 50 PSF
 STAIRS..... 50 PSF
 PORCHES . . . . . . . . . . . . . . . . . 50 PSF
GROUND SNOW LOAD (Pg)......40.00 PSF
 SNOW IMPORTANCE FACTOR (Is)...........1.100
 THERMAL FACTOR (Ct)......1.000
 SLOPED FACTOR (Cs) . . . . . . . . . . . . . . . . . . 0.750
SEISMIC LOAD
SEISMIC IMPORTANCE FACTOR (Ie) ...........1.000
SPRECTRAL RESPONSE COEFFICIENTS......Sds = 0.23 Sd1 = 0.11
 BASIC FORCE RESISTING SYSTEMS USED......LIGHT FRAMED WALLS WITH PLYWOOD SHEATHING
                       R = 6.1/2
```

### FLOOR BEAM DEFLECTION CRITERIA

- 1. MAXIMUM DEFLECTION UNDER WET CONCRETE:  $\frac{3}{4}$ ".
- 2. MAXIMUM LIVE LOAD DEFLECTION: L/360.
- 3. HORIZONTAL GIRT DEFLECTION UNDER WIND LOADS: L/360.

### MISCELLANEOUS

- 1. WHEREVER SLEEVES ARE INSERTED IN CONCRETE SLABS, BEAMS, OR WALLS, THEY SHALL CONSIST OF STEEL OR CAST IRON PIPE.
- 2. CONTRACTOR SHALL CARRY OUT CONTINUOUS PUMPING OF GROUND WATER UNTIL SUFFICIENT DEAD LOAD HAS ACCUMULATED TO PREVENT FLOATATION OF ANY PART OF THE STRUCTURE.
- 3. ALL COMPACTED FILL UNDER SLAB ON GRADE SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95%.



#### Project Name:

# Joarder Hankowitz Residence

164 Highland St. Boston, MA

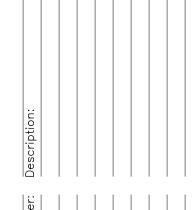
lient:

Consultant:

Roger Hobeika Assoc Inc Structural Engineers

85 Main Street Watertown MA 02472 617.924.5257

Revisions:



Numb

Drawing Title:

GENERAL NOTES



### Drawing Information:

16 JANUARY 2020

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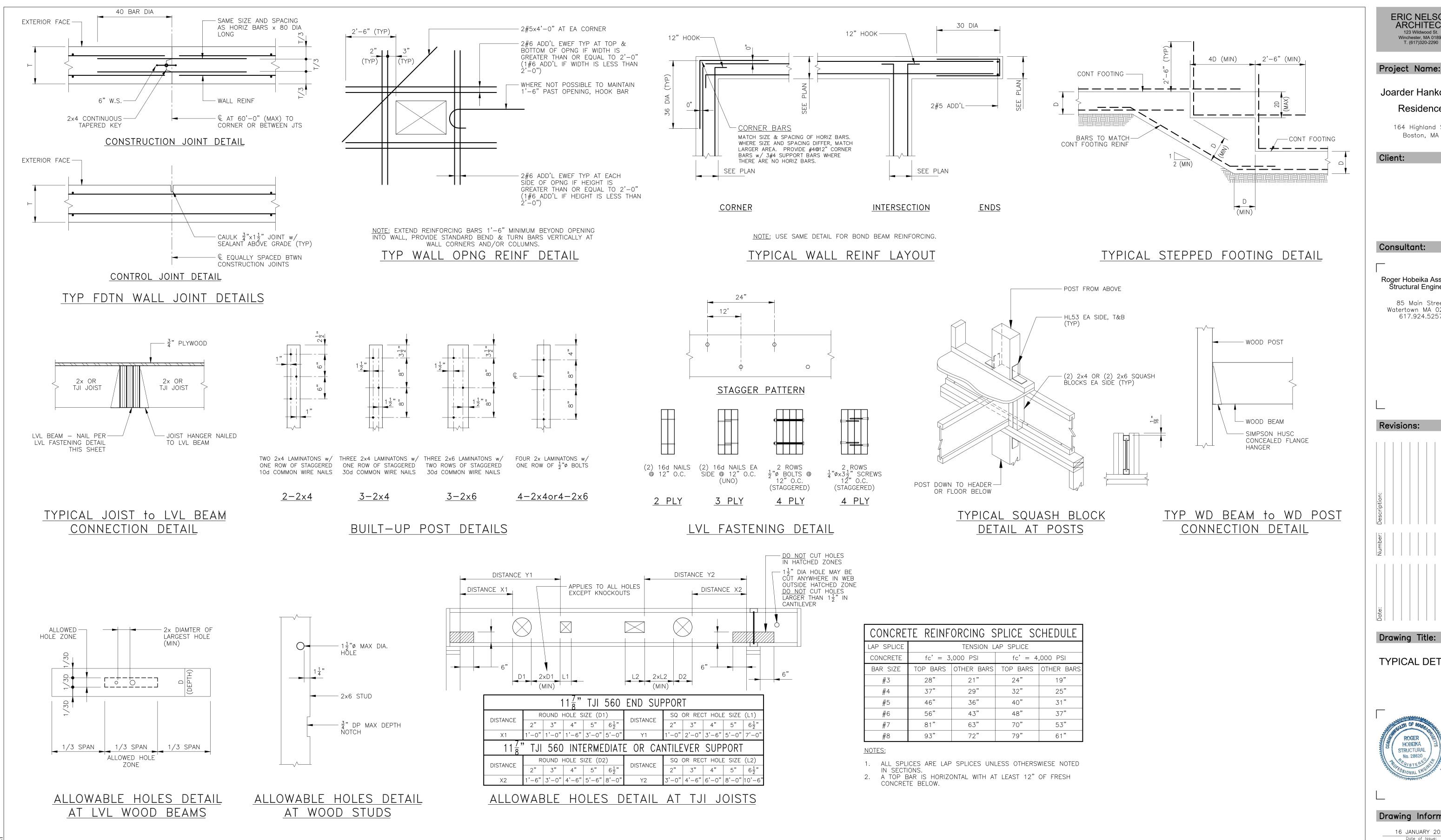
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AS NOTED RGC

Scale: Drawn By:

Project Number: CAD File:

S-1



**ERIC NELSON** ARCHITECT 123 Wildwood St. Winchester, MA 01890 T. (617)320-2290

Project Name:

Joarder Hankowitz Residence

> 164 Highland St. Boston, MA

Consultant:

Roger Hobeika Assoc Inc Štructural Engineers

85 Main Street Watertown MA 02472 617.924.5257

Revisions:

TYPICAL DETAILS



Drawing Information:

16 JANUARY 2020

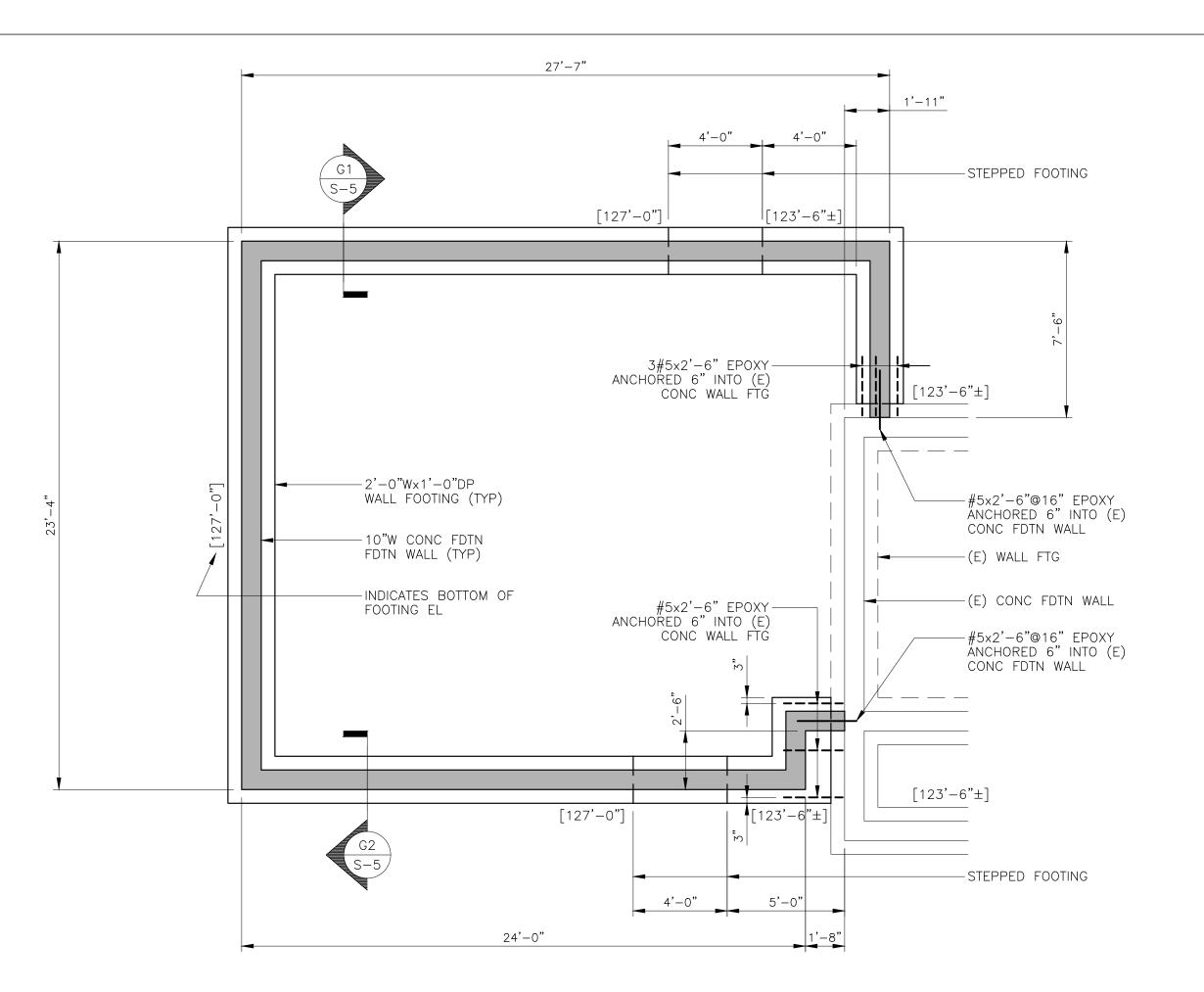
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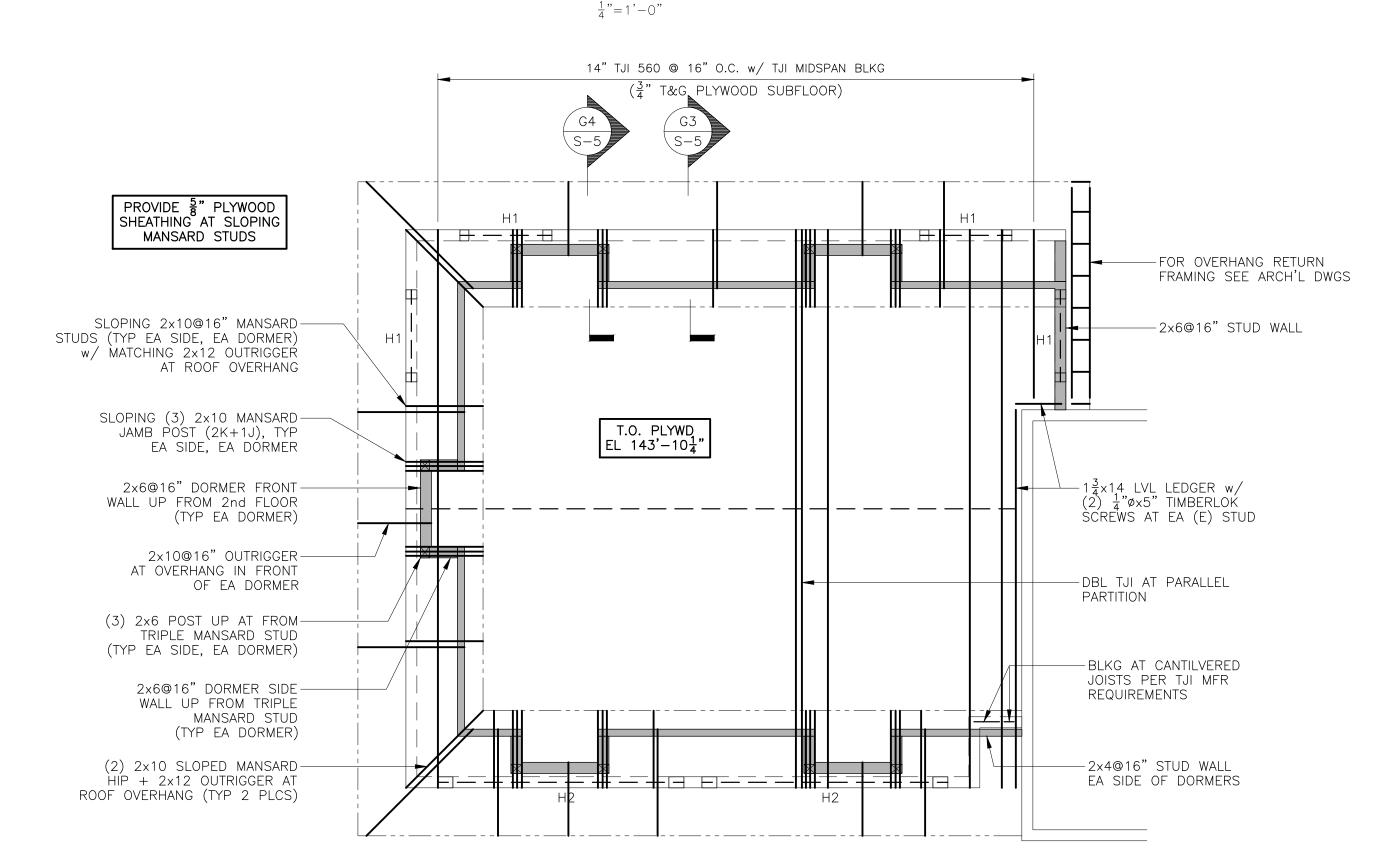
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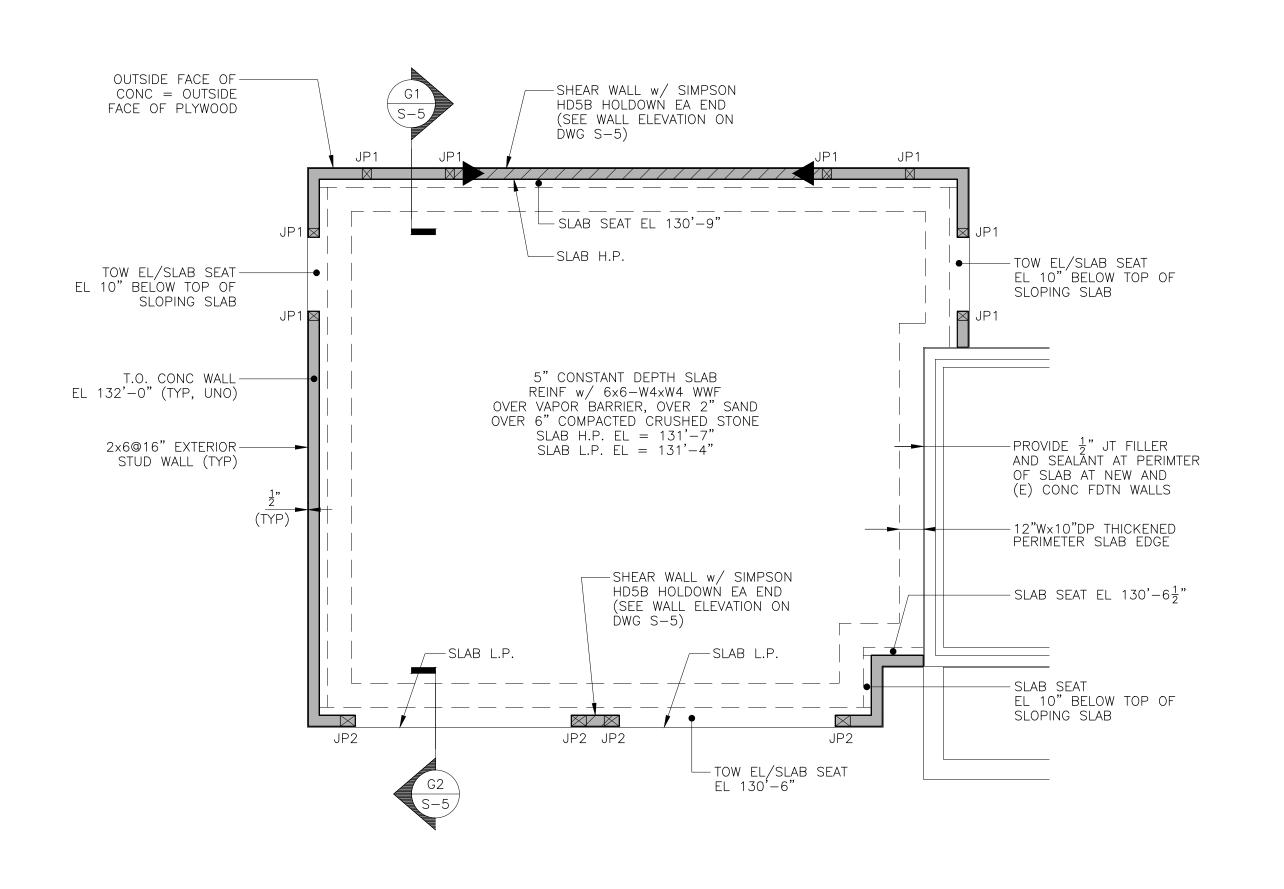
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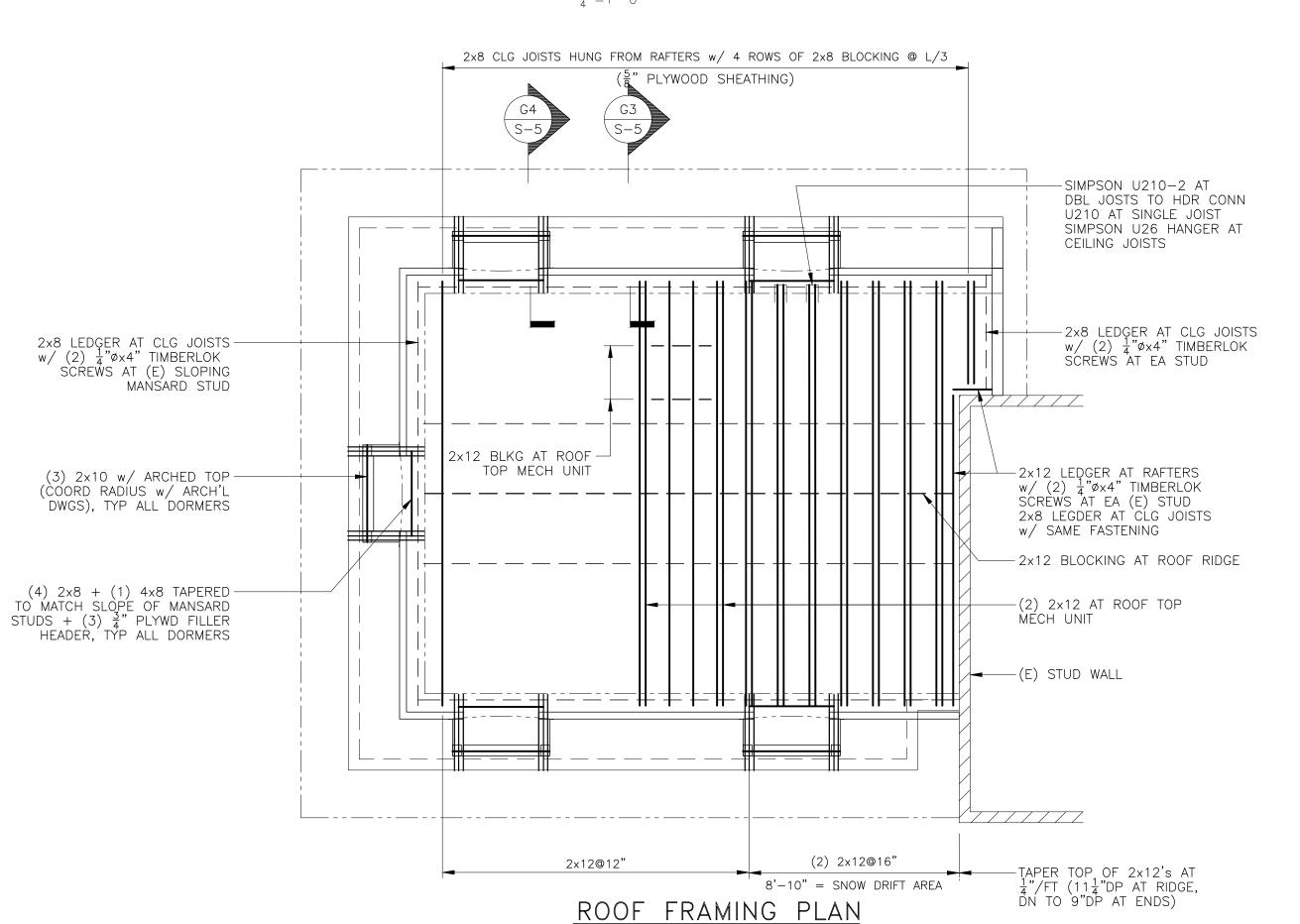
H1 = (3) 2x6 + (2)  $\frac{1}{2}$ " PLYWD FILLER HEADER

H2 = (3)  $1\frac{3}{4}$ x9 $\frac{1}{2}$  LVL HEADER

SECOND FLOOR FRAMING PLAN  $\frac{1}{4}$ "=1'-0"



# JP1 = (3) 2x6 JAMB POST (2K+1J) JP2 = (5) 2x6 JAMB POST (2K+3J) $\frac{\text{GARAGE SLAB PLAN}}{\frac{1}{4}\text{"}=1\text{'}-0\text{"}}$



 $\frac{1}{4}$ "=1'-0"

ERIC NELSON ARCHITECT 123 Wildwood St. Winchester, MA 01890 T. (617)320-2290

Project Name:

Joarder Hankowitz Residence

> 164 Highland St. Boston, MA

Client:

Consultant:

Roger Hobeika Assoc Inc Structural Engineers

85 Main Street Watertown MA 02472 617.924.5257

Revisions:

escription:

Date:

Drawing Title:

GARAGE ADDITION PLANS



Drawing Information:

16 JANUARY 2020

Date of Issue:

CONSTRUCTION DOCUMENTS

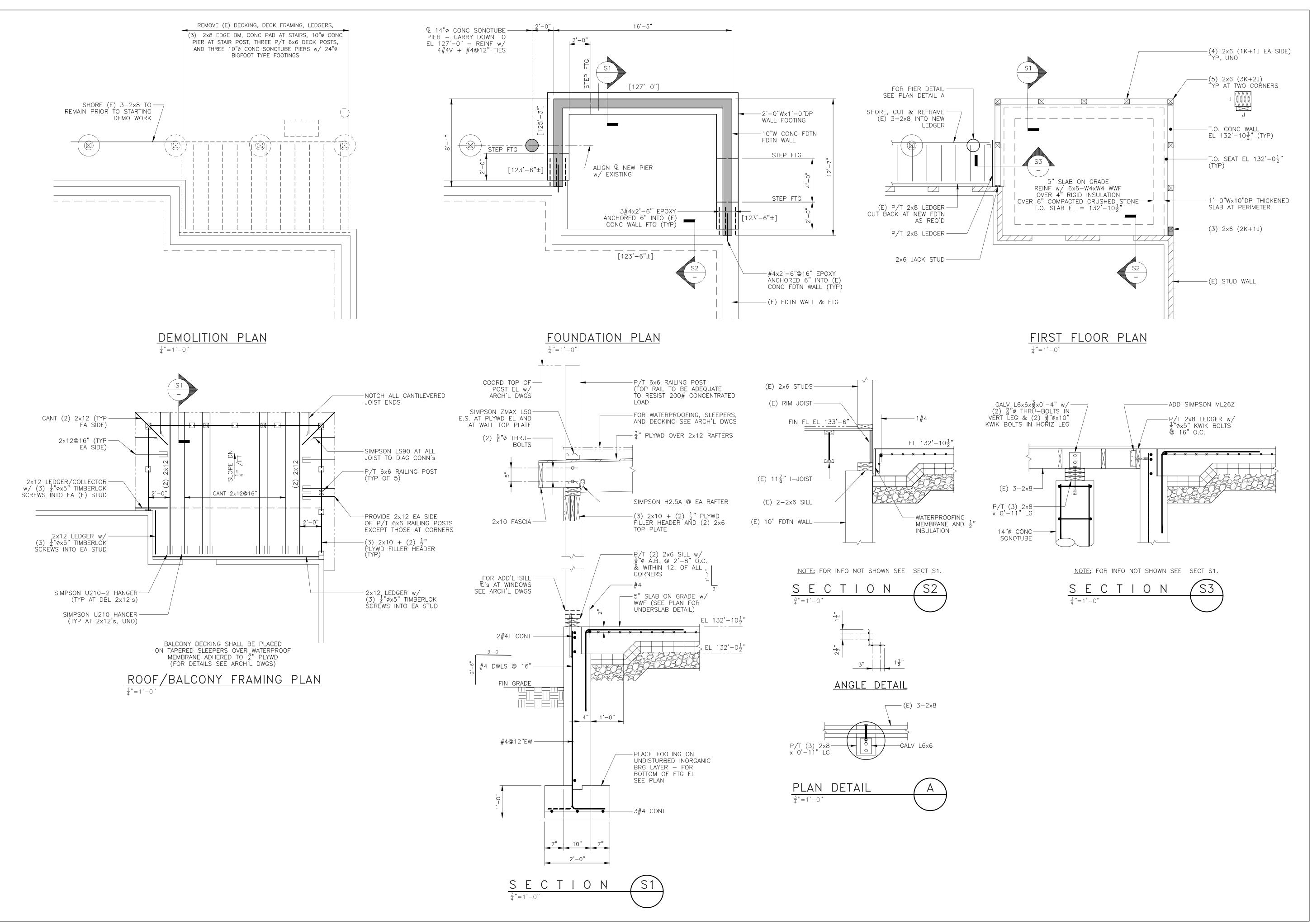
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Drawn By:

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ERIC NELSON ARCHITECT 123 Wildwood St. Winchester, MA 01890 T. (617)320-2290

Project Name:

Joarder Hankowitz
Residence

164 Highland St. Boston, MA

Client:

Consultant:

Roger Hobeika Assoc Inc Structural Engineers

85 Main Street Watertown MA 02472 617.924.5257

Revisions:

ription:

Date:

Drawing Title:

SUN ROOM ADDITION PLANS AND SECTIONS



Drawing Information:

16 JANUARY 2020
Date of Issue:

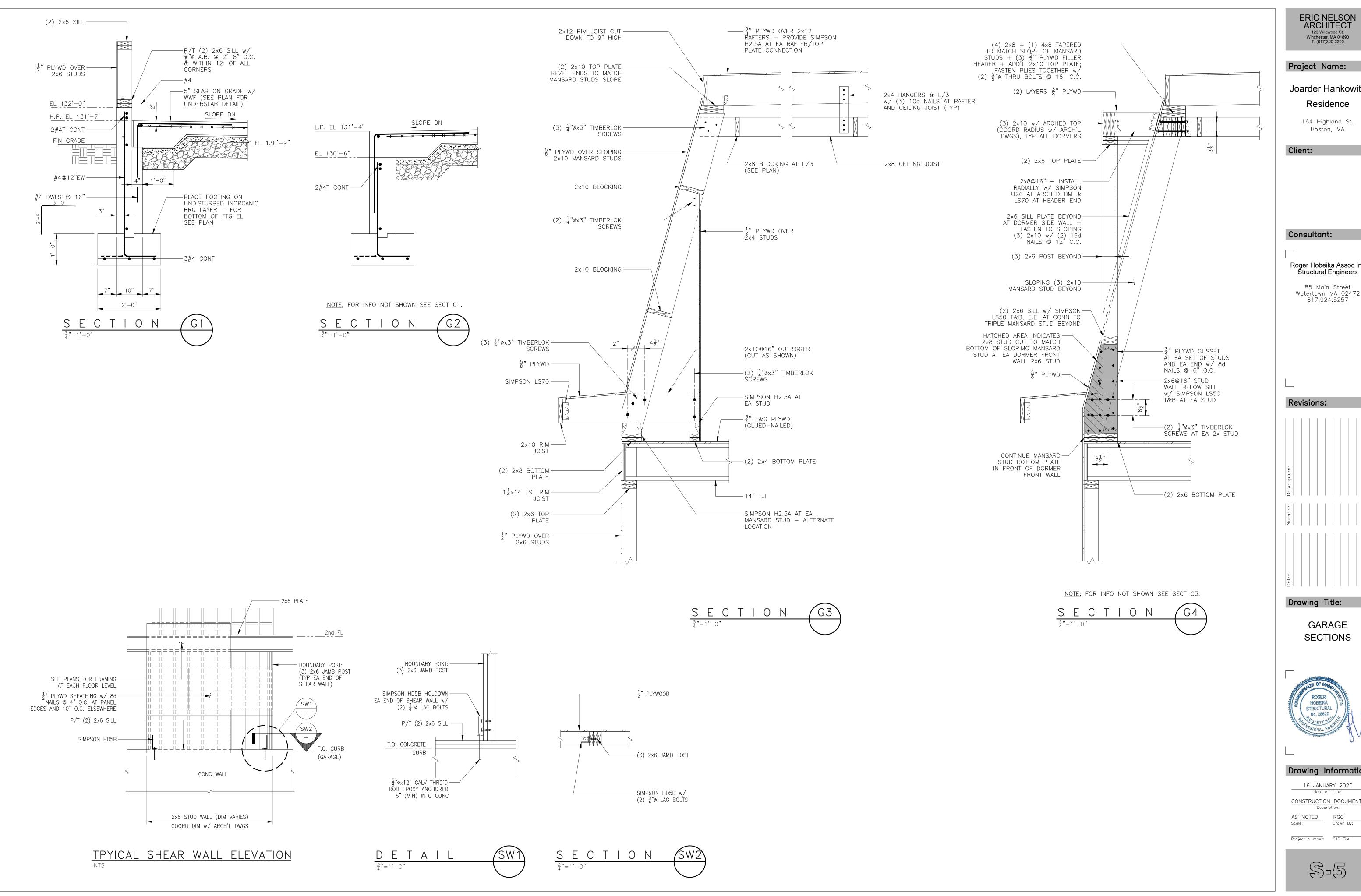
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AS NOTED RGC

Scale: Drawn By:





**ERIC NELSON** ARCHITECT 123 Wildwood St. Winchester, MA 01890 T. (617)320-2290

Project Name:

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> 164 Highland St. Boston, MA

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Roger Hobeika Assoc Inc Štructural Engineers

85 Main Street Watertown MA 02472 617.924.5257

Revisions:

Drawing Title:

GARAGE SECTIONS



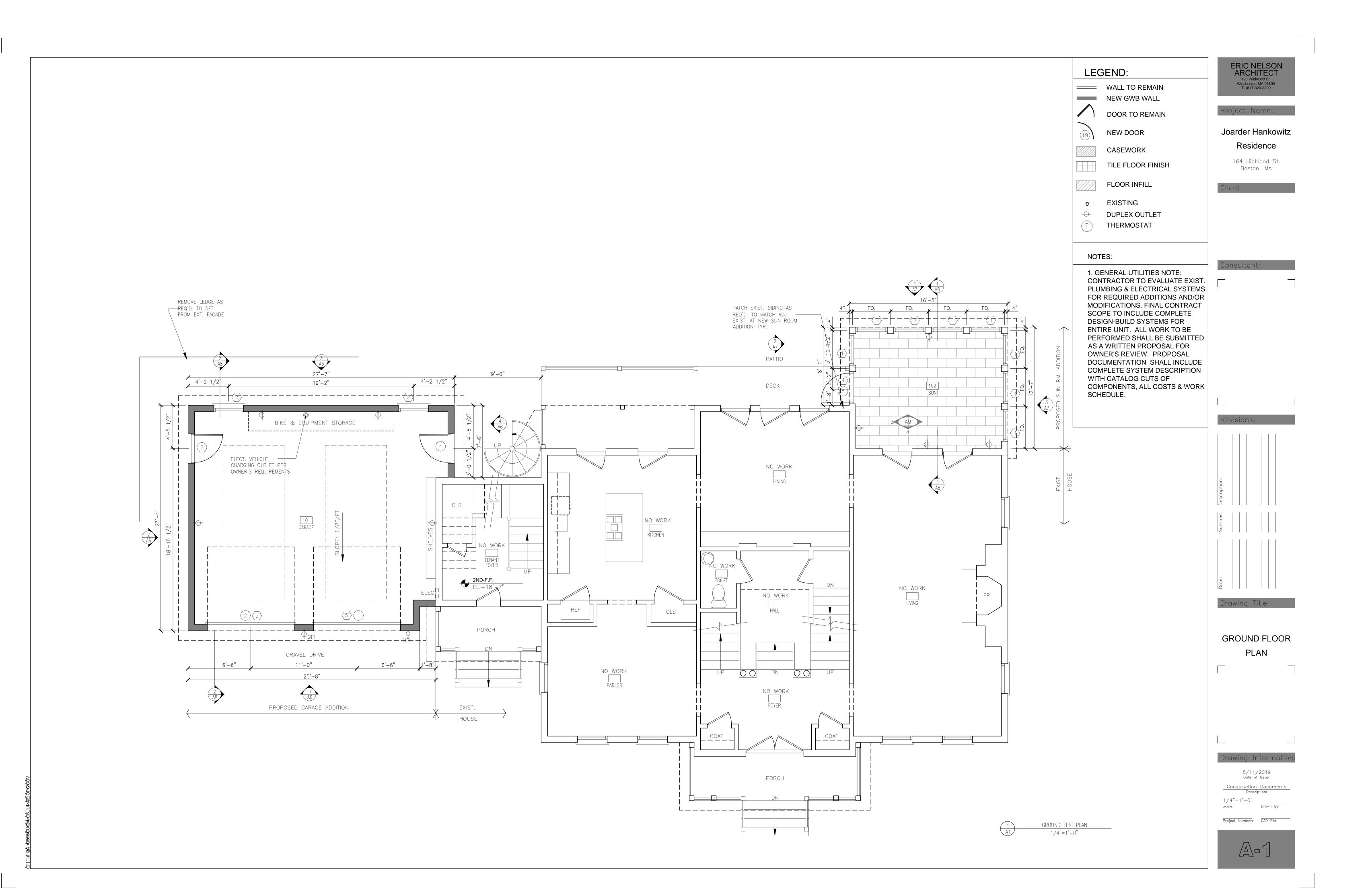
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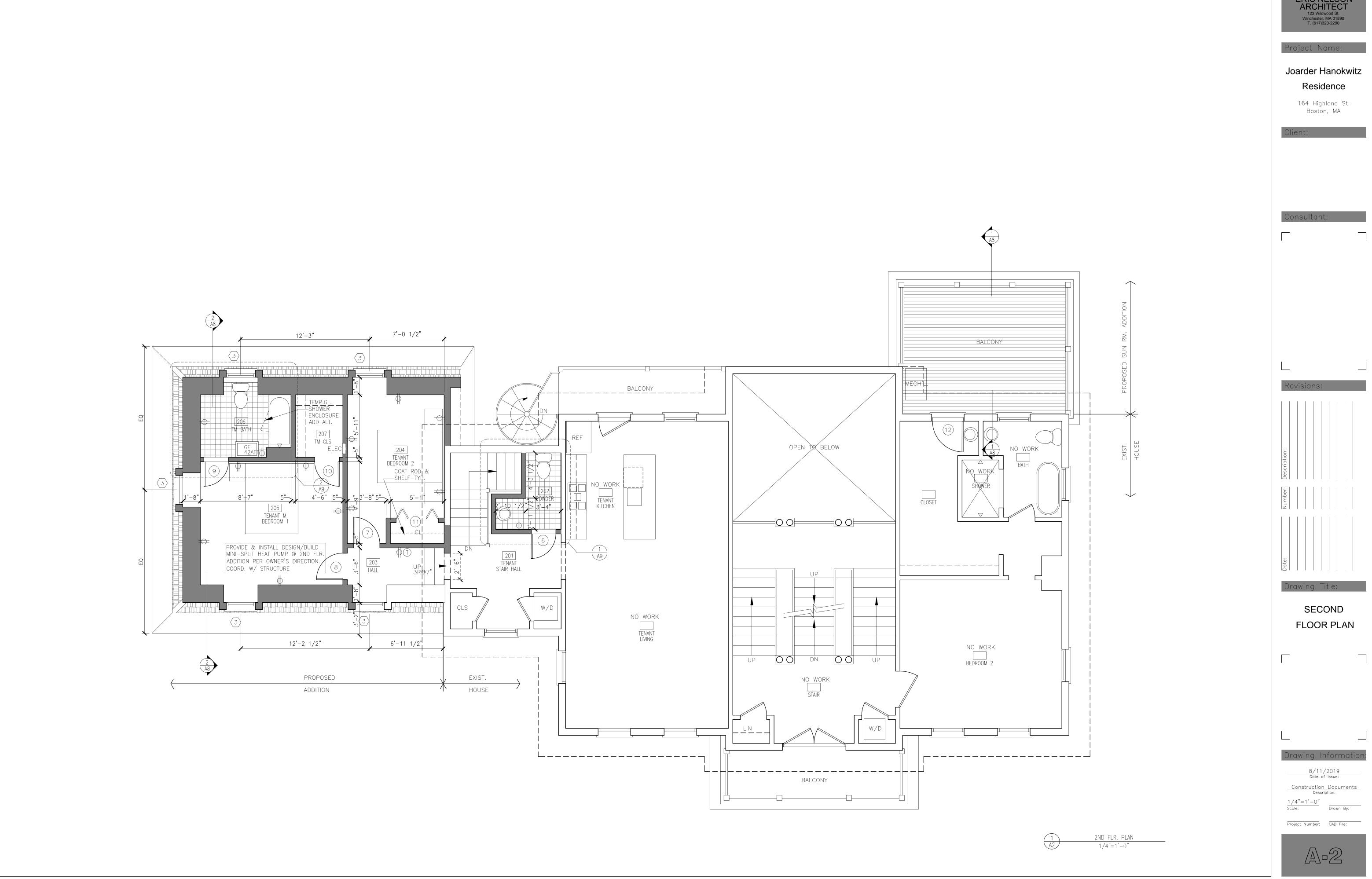
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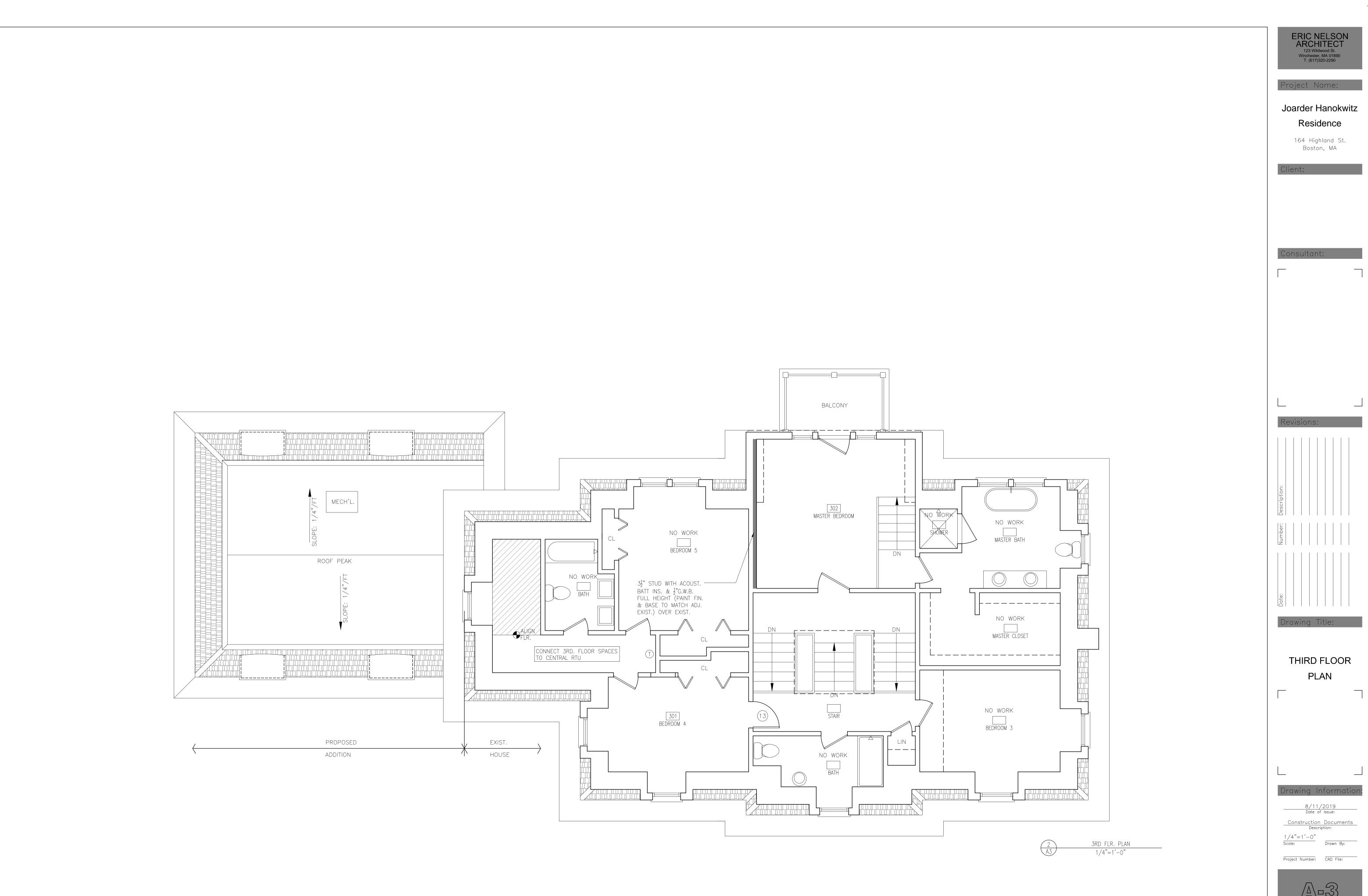
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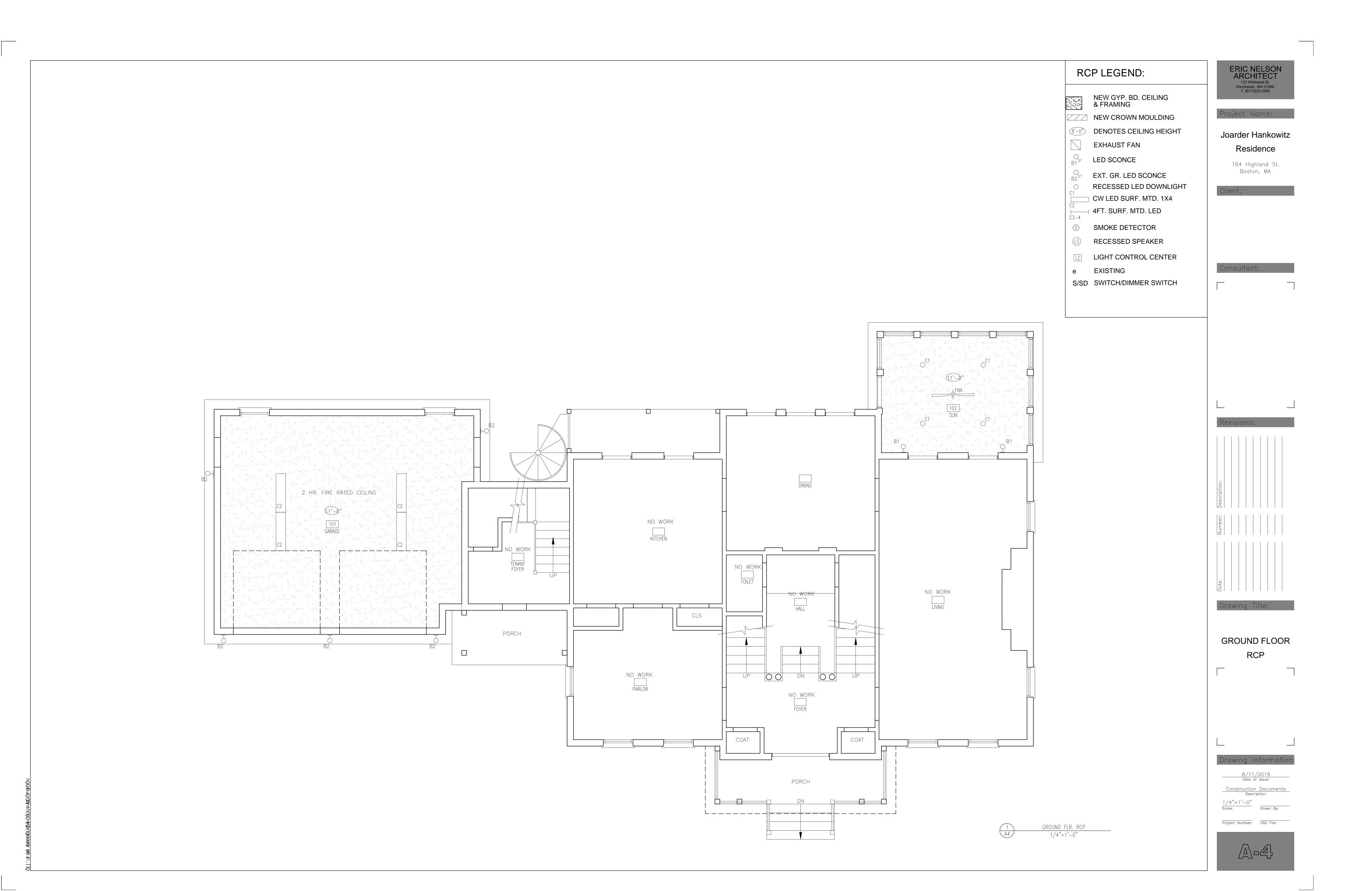


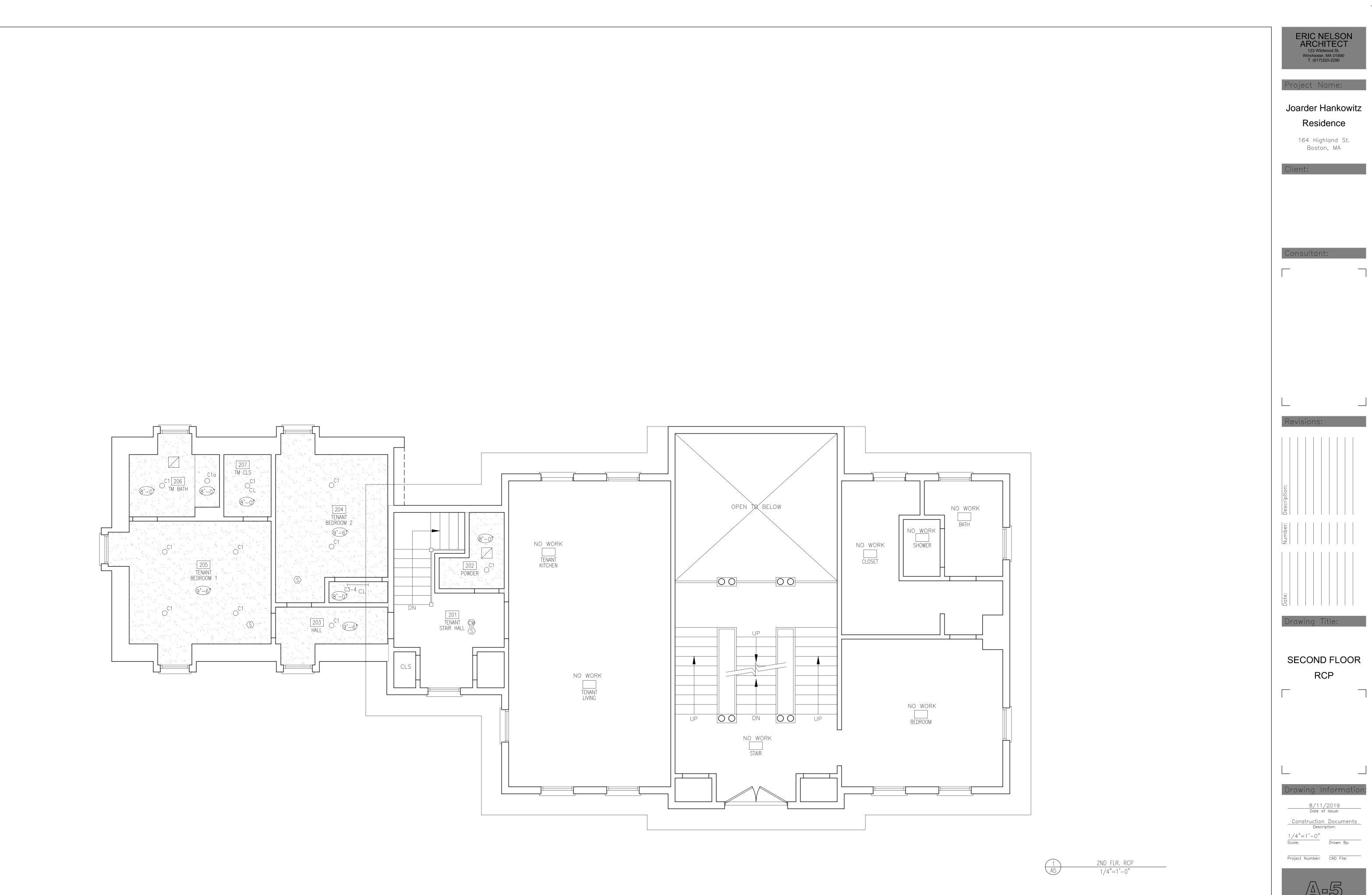








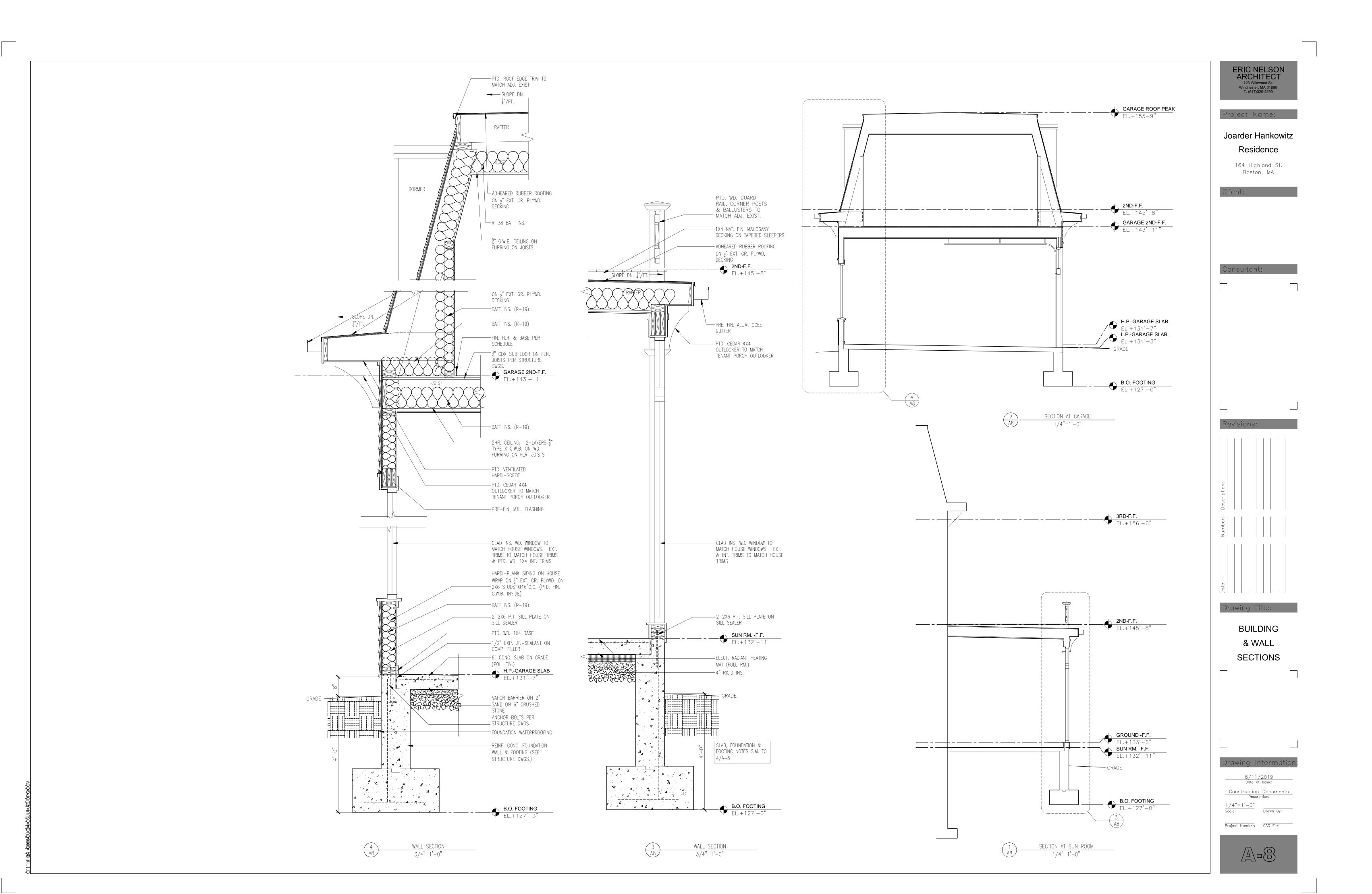


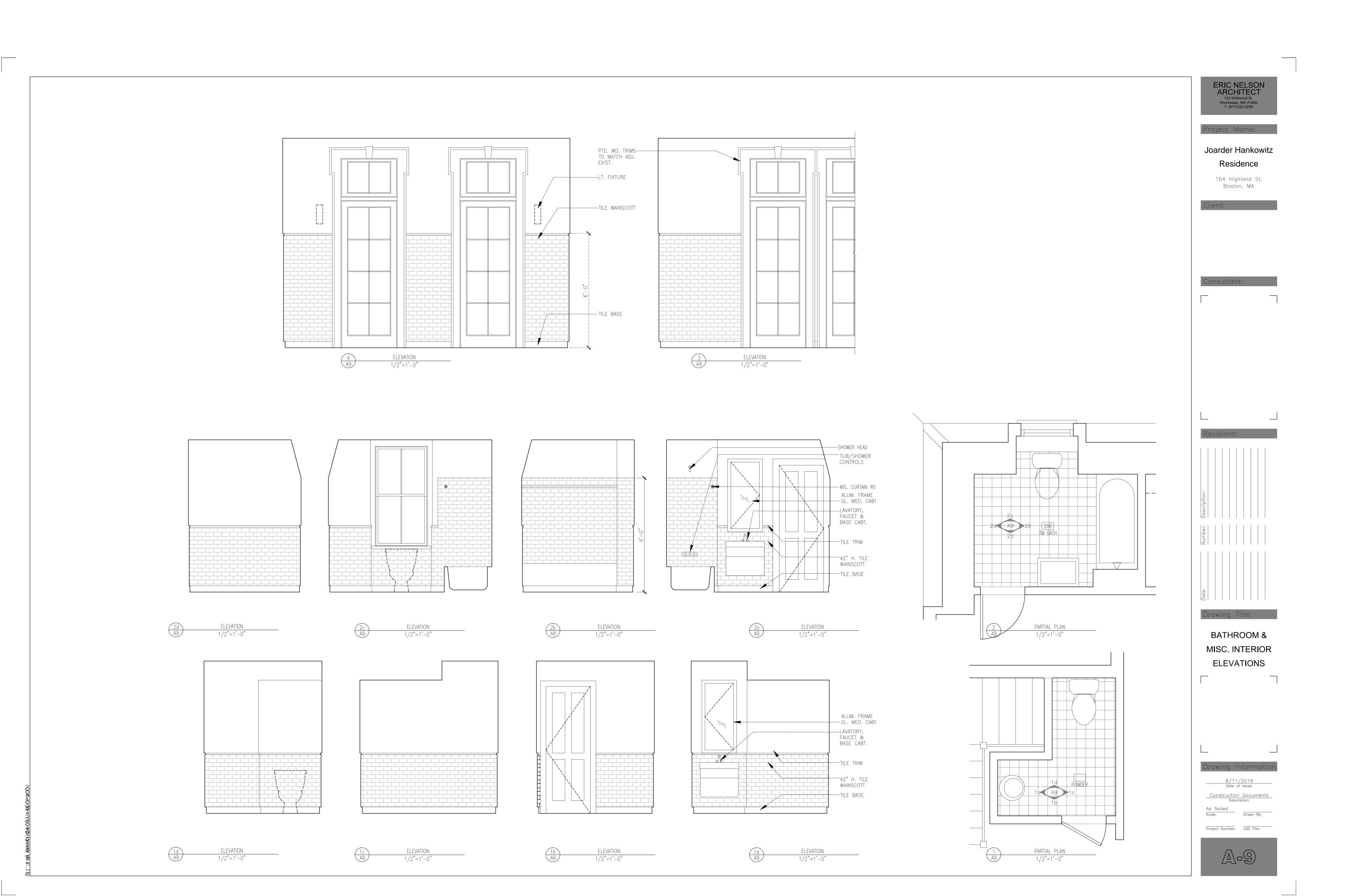


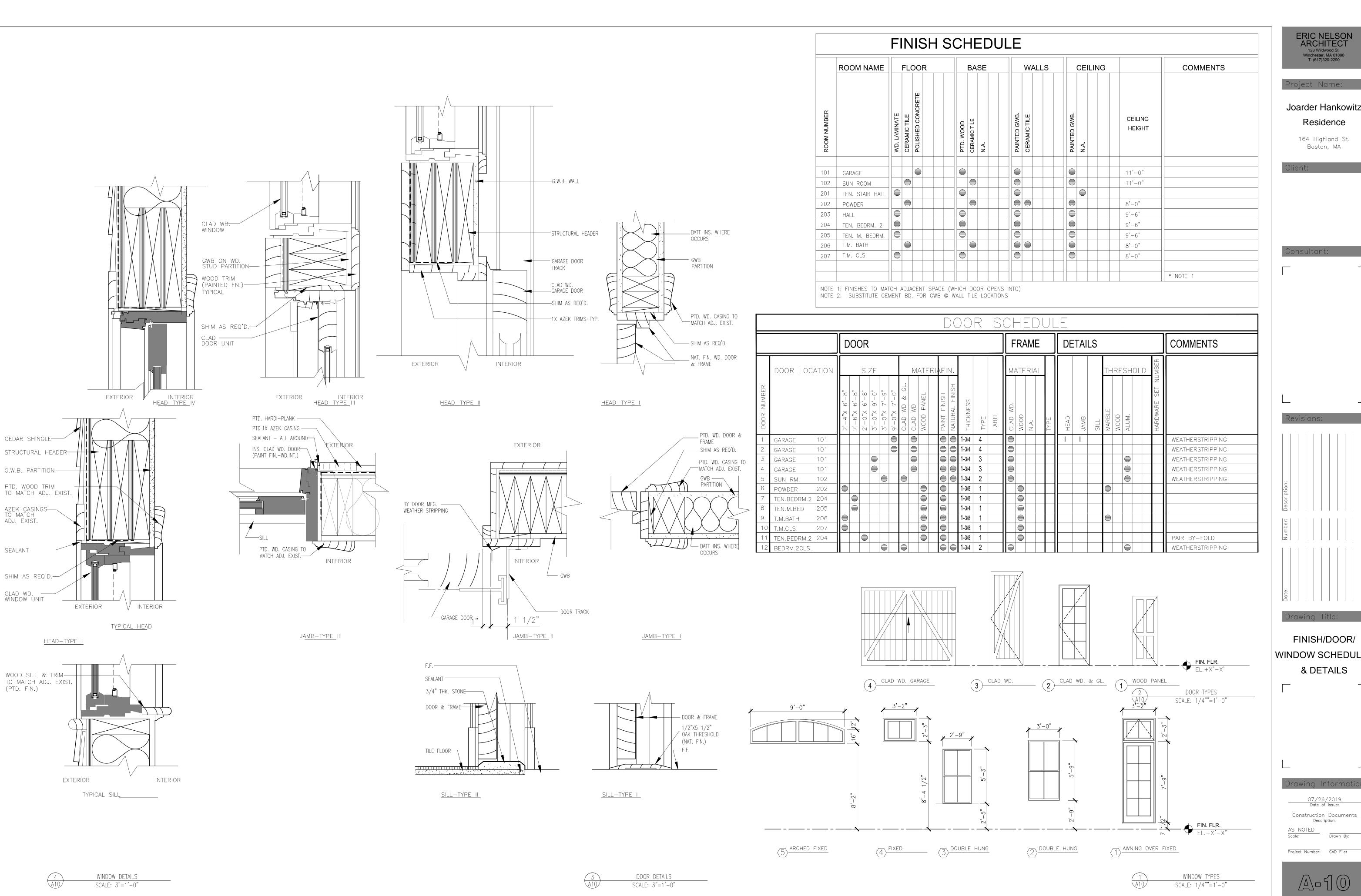








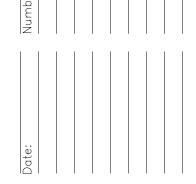






# Joarder Hankowitz Residence

164 Highland St.



FINISH/DOOR/

WINDOW SCHEDULES & DETAILS





07/26/2019

Date of Issue: Construction Documents
Description:

