

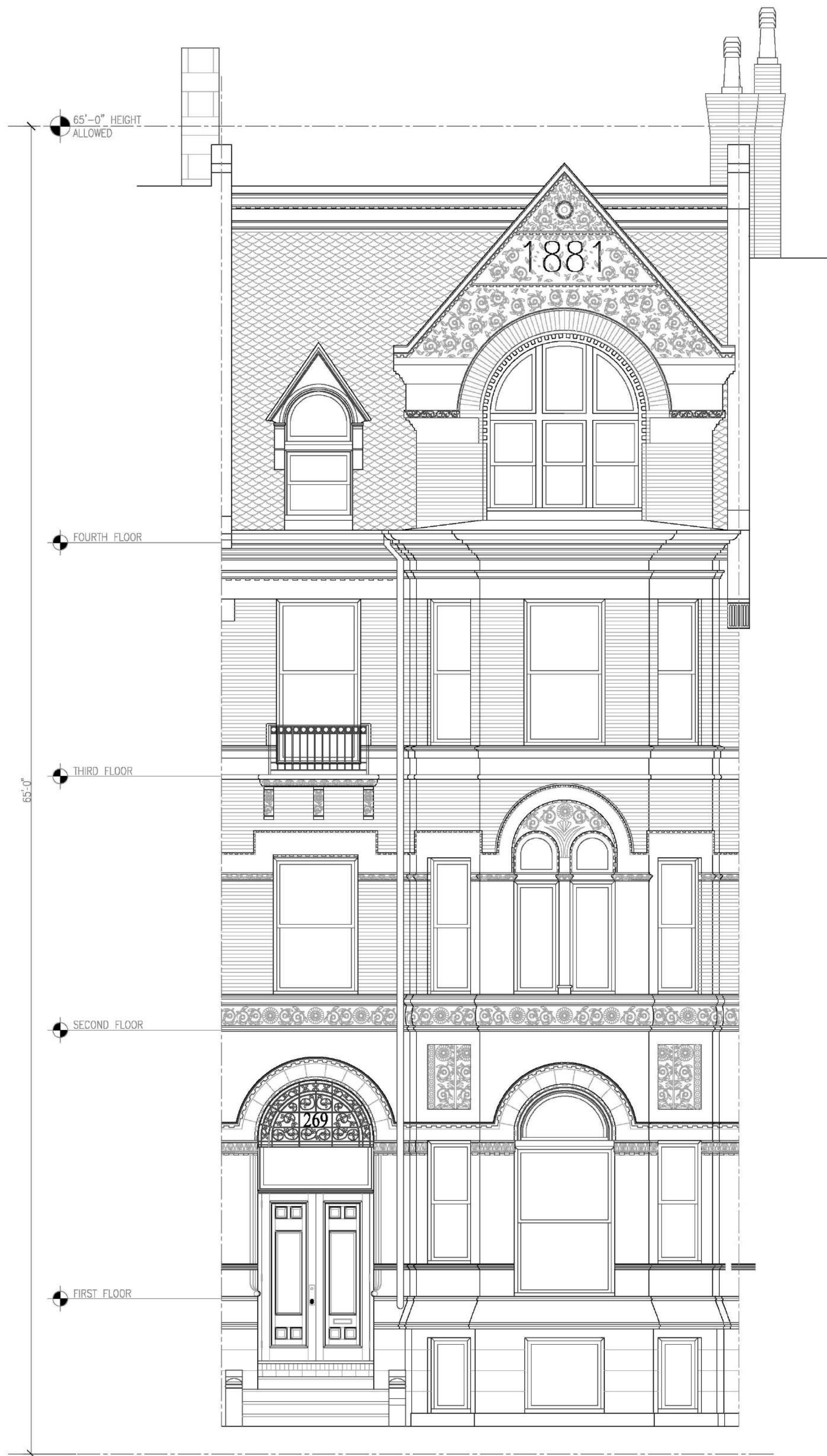


269 COMMONWEALTH AVENUE

Revision No.	Date

Date:	August 18, 2025
Project Number:	
Checked By:	RP/PC
Scale:	N/A





1 EXISTING COMMONWEALTH AVENUE ELEVATION
SCALE: 3/16"=1'-0"

(N) PYRAMIDAL SKYLIGHT 3'0"x5'0" (LOW-PROFILE) 4:12 PITCHED. SET ON COPPER CLAD CURB. EXTERIOR BLACK FINISH WITH WHITE INTERIOR (GLASS: PPG SOLARBAN 60, U-FACTOR 0.55)

(N) COPPER GUTTER (16oz OGEE STYLE) WITH ROUND (SMOOTH) DOWNSPOUT. PROVIDE COPPER BRACKETS AND FASTENERS

(N) COPPER SIDE JAMBS AND FLASHING AROUND DORMER WINDOW AT ALL EXPOSED WOOD SURFACES

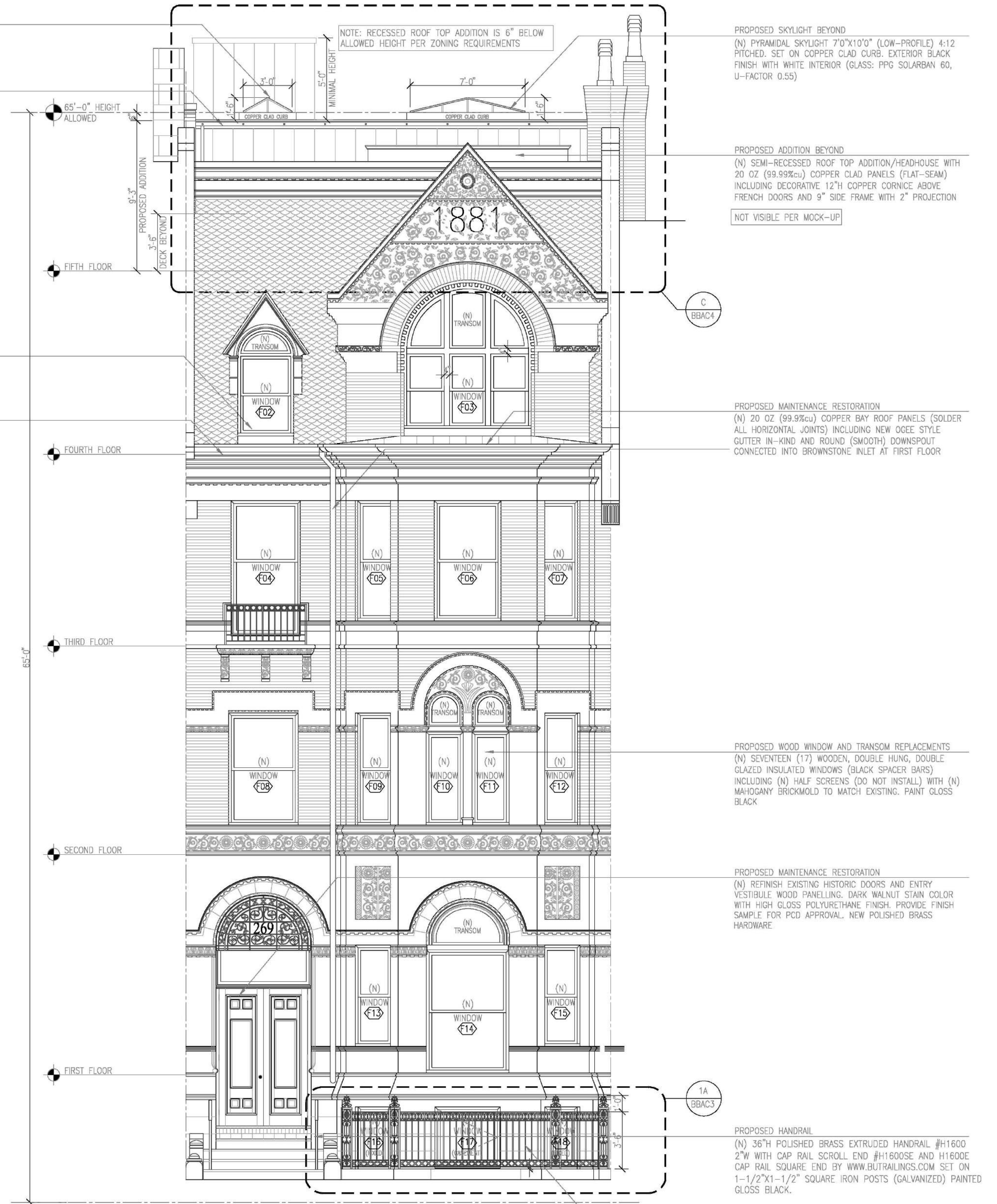
(N) COPPER GUTTER (16oz OGEE STYLE) WITH ROUND (SMOOTH) DOWNSPOUT TIED INTO STONE FACADE IN-KIND. PROVIDE COPPER BRACKETS AND FASTENERS



1 FRONT FACADE



2 FRONT YARD



2 PROPOSED COMMONWEALTH AVENUE ELEVATION
SCALE: 3/16"=1'-0"

Date: August 18, 2025
Project Number:
Checked By: RP/PC
Scale: 1/4"=1'-0"

PROPOSED SKYLIGHT BEYOND
(N) PYRAMIDAL SKYLIGHT 7'0"x10'0" (LOW-PROFILE) 4:12 PITCHED. SET ON COPPER CLAD CURB. EXTERIOR BLACK FINISH WITH WHITE INTERIOR (GLASS: PPG SOLARBAN 60, U-FACTOR 0.55)

PROPOSED ADDITION BEYOND
(N) SEMI-RECESSED ROOF TOP ADDITION/HEADHOUSE WITH 20 OZ (99.99%CU) COPPER CLAD PANELS (FLAT-SEAM) INCLUDING DECORATIVE 12"H COPPER CORNICE ABOVE FRENCH DOORS AND 9" SIDE FRAME WITH 2" PROJECTION
NOT VISIBLE PER MOCK-UP

PROPOSED MAINTENANCE RESTORATION
(N) 20 OZ (99.99%CU) COPPER BAY ROOF PANELS (SOLDER ALL HORIZONTAL JOINTS) INCLUDING NEW OGEE STYLE GUTTER IN-KIND AND ROUND (SMOOTH) DOWNSPOUT CONNECTED INTO BROWNSTONE INLET AT FIRST FLOOR

PROPOSED WOOD WINDOW AND TRANSOM REPLACEMENTS
(N) SEVENTEEN (17) WOODEN, DOUBLE HUNG, DOUBLE GLAZED INSULATED WINDOWS (BLACK SPACER BARS) INCLUDING (N) HALF SCREENS (DO NOT INSTALL) WITH (N) MAHOGANY BRICKMOLD TO MATCH EXISTING. PAINT GLOSS BLACK

PROPOSED MAINTENANCE RESTORATION
(N) REFINISH EXISTING HISTORIC DOORS AND ENTRY VESTIBULE WOOD PANNELING. DARK WALNUT STAIN COLOR WITH HIGH GLOSS POLYURETHANE FINISH. PROVIDE FINISH SAMPLE FOR PCD APPROVAL. NEW POLISHED BRASS HARDWARE.

PROPOSED HANDRAIL
(N) 36"H POLISHED BRASS EXTRUDED HANDRAIL #H1600 2"W WITH CAP RAIL SCROLL END #H1600SE AND H1600E CAP RAIL SQUARE END BY WWW.BUTRAILINGS.COM SET ON 1-1/2"x1-1/2" SQUARE IRON POSTS (GALVANIZED) PAINTED GLOSS BLACK.

PROPOSED GARDEN FENCE
(N) 42"H DECORATIVE IRON (GALVANIZED) FRONT GARDEN FENCE SET IN CONCRETE FOOTINGS. BOTTOM RAIL SET 1" ABOVE AND 2" BEHIND FRONT CURB. PAINT GLOSS BLACK



(N) PYRAMIDAL SKYLIGHT 7'0"x10'0" (LOW-PROFILE) 4:12 PITCHED. SET ON COPPER CLAD CURB. EXTERIOR BLACK FINISH WITH WHITE INTERIOR (GLASS: PPG SOLARBAN 60, U-FACTOR 0.55)

(N) COPPER GUTTER (16oz OGEE STYLE) AND ROUND DOWNSPOUT. PROVIDE COPPER BRACKETS AND FASTENERS

(N) COPPER GUTTER (16oz OGEE STYLE) AND ROUND (SMOOTH) DOWNSPOUT CONNECTED TO CAST-IRON CONNECTOR AT GRADE WITH CLEANOUT. PROVIDE COPPER BRACKETS AND FASTENERS

(N) INSPECT AND CERTIFY EXISTING REAR FIRE-ESCAPE BALCONIES (FLOORS 1-4 REQUIRED FOR ABUTTER AT 267) PROVIDE ISD CERTIFICATION TO PROPERTY OWNER. PAINT GLOSS BLACK



PROPOSED ELEVATOR OVERRIDE BEYOND
(N) 20 OZ (99.99%cu) COPPER CLAD 15"W PANELS
(FLAT-SEAM) INCLUDING 5" DRIP EDGE

PROPOSED ADDITION BEYOND

(N) SEMI-RECESSED ROOF TOP ADDITION/HEADHOUSE WITH
20 OZ (99.99%cu) COPPER CLAD 15"W PANELS
(FLAT-SEAM) INCLUDING DECORATIVE 12"H COPPER CORNICE
ABOVE FRENCH DOORS AND 9" SIDE FRAME WITH 2"
PROJECTION

NOT VISIBLE PER MOCK-UP

PROPOSED MAINTENANCE RESTORATION

(N) 20 OZ (99.9%cu) COPPER BAY ROOF PANELS (SOLDER
ALL HORIZONTAL JOINTS) INCLUDING NEW OGEE STYLE
GUTTER IN-KIND AND ROUND (SMOOTH) DOWNSPOUT
CONNECTED TO CAST-IRON CONNECTOR AT GRADE WITH
CLEANOUT

PROPOSED WOOD WINDOW REPLACEMENT

(N) TWELVE (12) WOODEN, DOUBLE HUNG, DOUBLE GLAZED
INSULATED WINDOWS (BLACK SPACER BARS) INCLUDING (N)
HARD SCREENS WITH (N) MAHOGANY BRICKMOLD TO MATCH
EXISTING. PAINT GLOSS BLACK

FRENCH DOOR AND TRANSOM REPLACEMENT (FLOORS 1+2)

(N) WOODEN FRENCH DOOR AND TRANSOM REPLACEMENT
WITHIN EXISTING OPENINGS. PAINT GLOSS BLACK

(N) PATCH BRICK AFTER REMOVING JULIET BALCONY
BRACKETS (TOOTHE-IN MATCHING BRICK AND MORTAR CLOR
FOR SEAMLESS REPAIR)

REAR DECK REPLACEMENT (FLOORS 1+2)

(N) CANTILEVER IRON DECKS TO REPLACE STRUCTURALLY
COMPROMISED EXISTING DECK/SHARED FIRE ESCAPE
BALCONIES IN-KIND. PAINT GLOSS BLACK

NOTE TO GC: REMOVE ALL SUPERFLUOUS UTILITY CABLES
ALONG REAR FACADE. NEATLY BIND TOGETHER WHAT REMAINS
TO MINIMIZE VISIBILITY

FRENCH DOOR AND TRANSOM REPLACEMENTS

(N) WOODEN FRENCH DOOR AND TRANSOM REPLACEMENT
WITHIN EXISTING OPENINGS. PAINT GLOSS BLACK

EXISTING ABUTTERS BRICK MASONRY WALL TO REMAIN

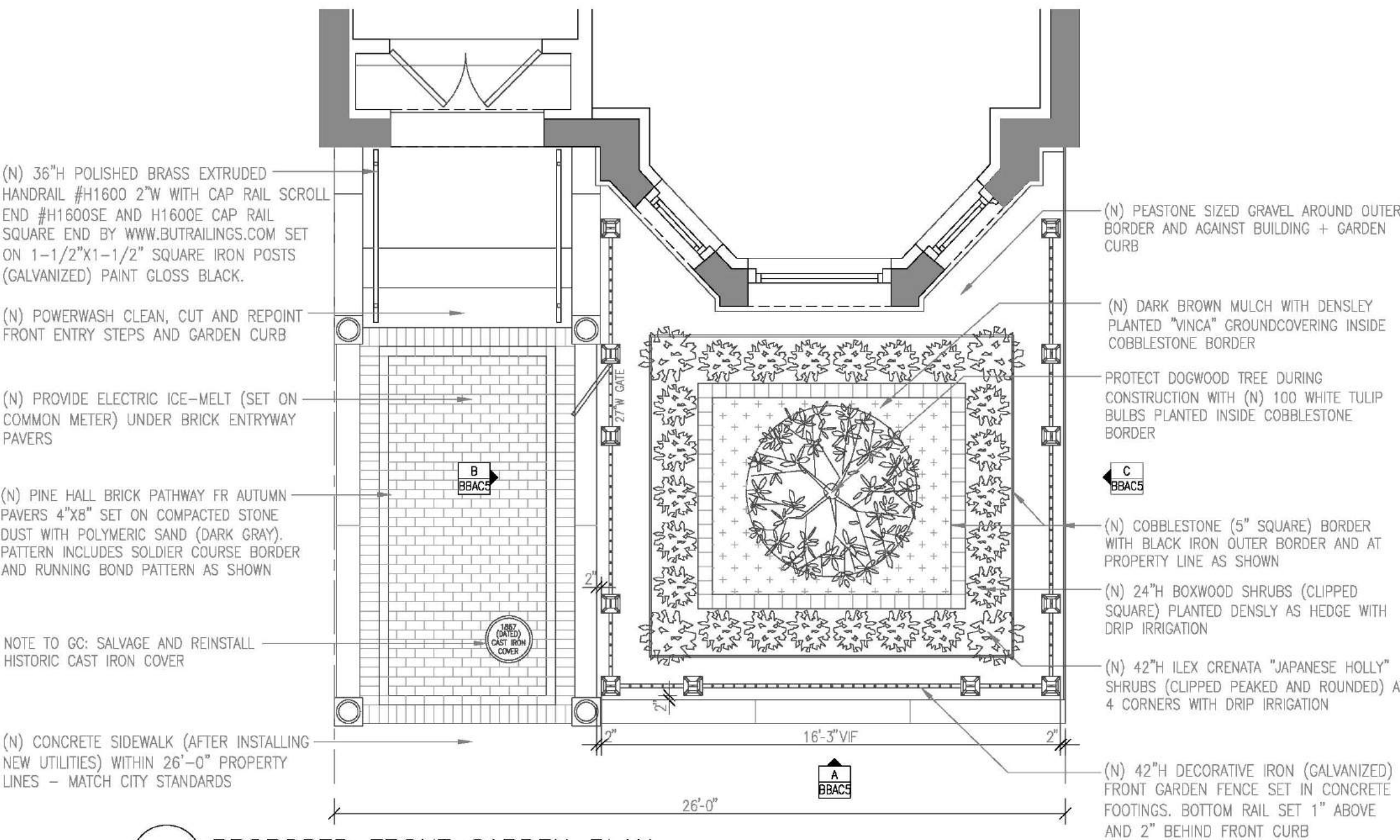
(N) CAST-IRON DOWNSPOUT CONNECTOR WITH
CLEAN-OUT PIPED TO RECHARGE SYSTEM. PAINT GLOSS
BLACK



1 PHOTO FRONT YARD

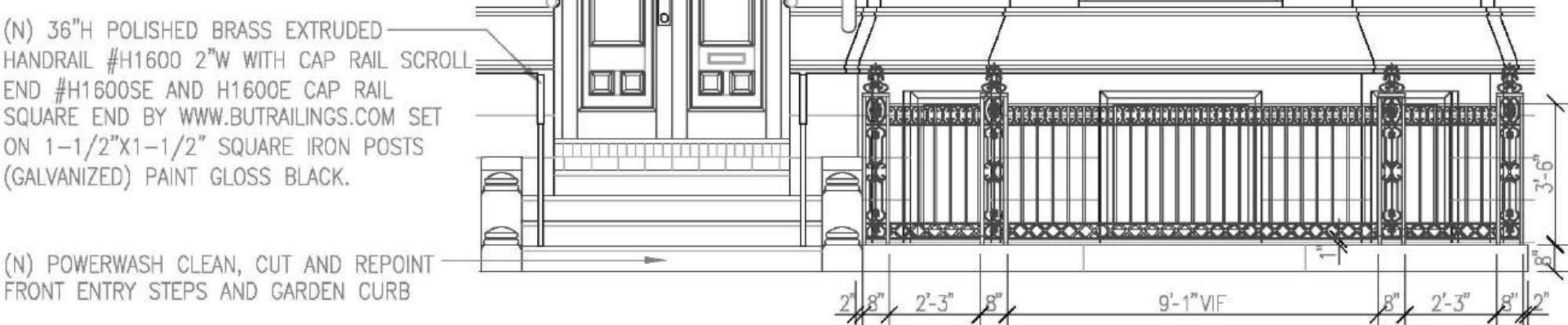


2 PHOTO REAR YARD



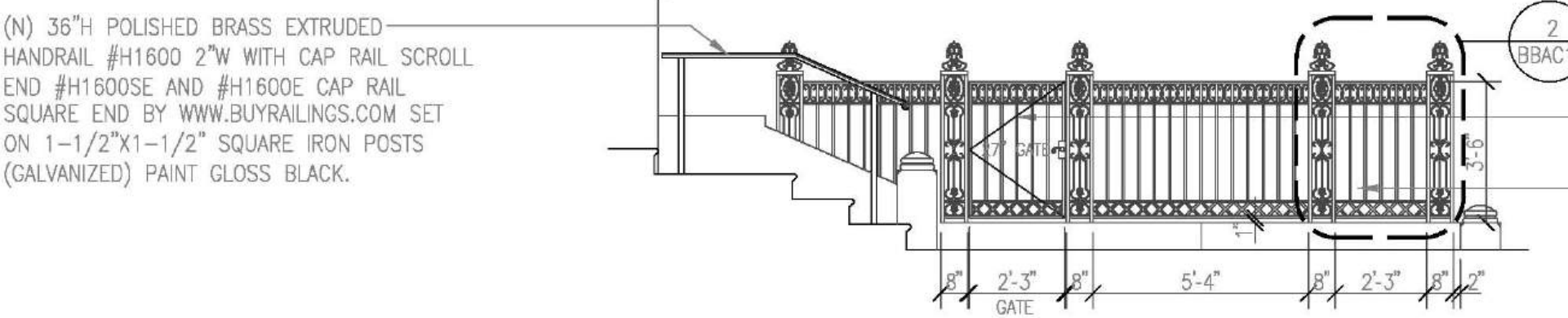
1 PROPOSED FRONT GARDEN PLAN

SCALE: 1/4" = 1'-0"



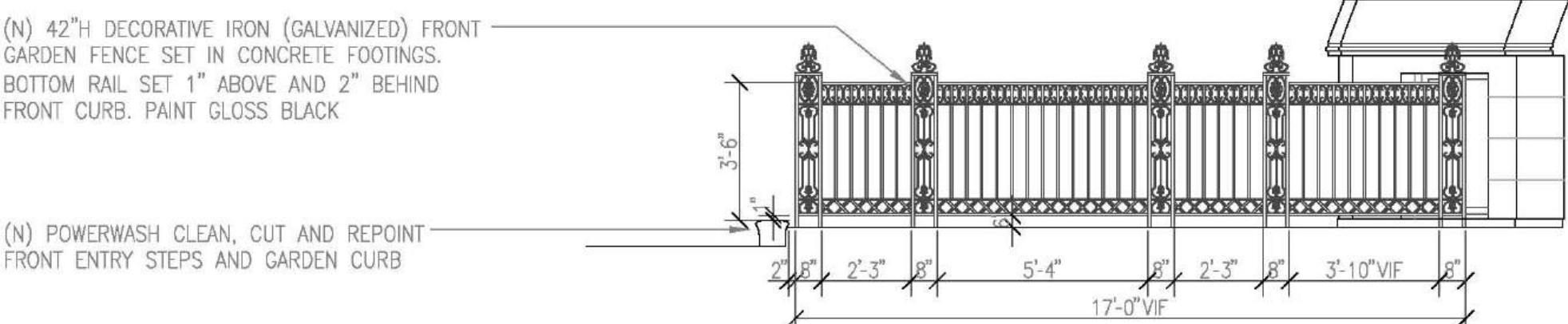
A GARDEN FENCE ELEVATION

SCALE: 1/4" = 1'-0"



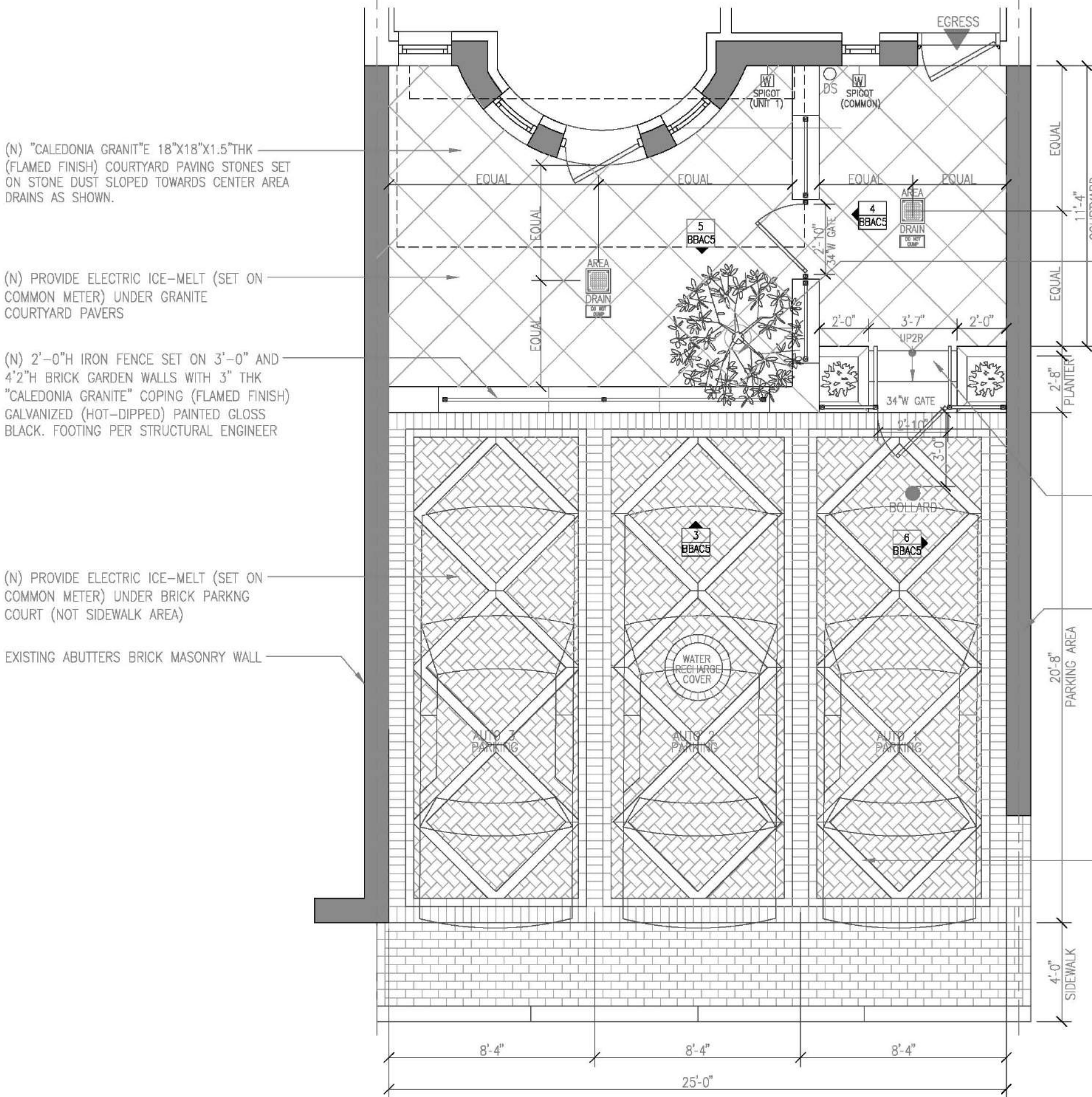
B GARDEN FENCE ELEVATION

SCALE: 1/4" = 1'-0"



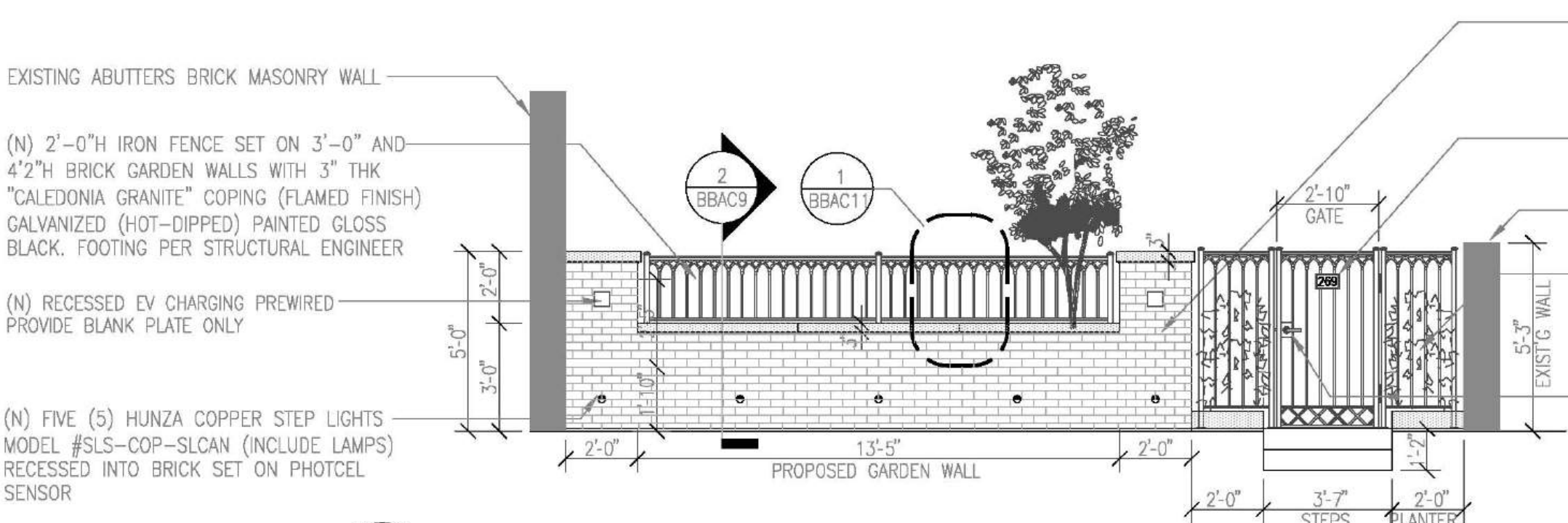
C GARDEN FENCE ELEVATION

SCALE: 1/4" = 1'-0"



2 PROPOSED REAR YARD PLAN

SCALE: 1/4" = 1'-0"



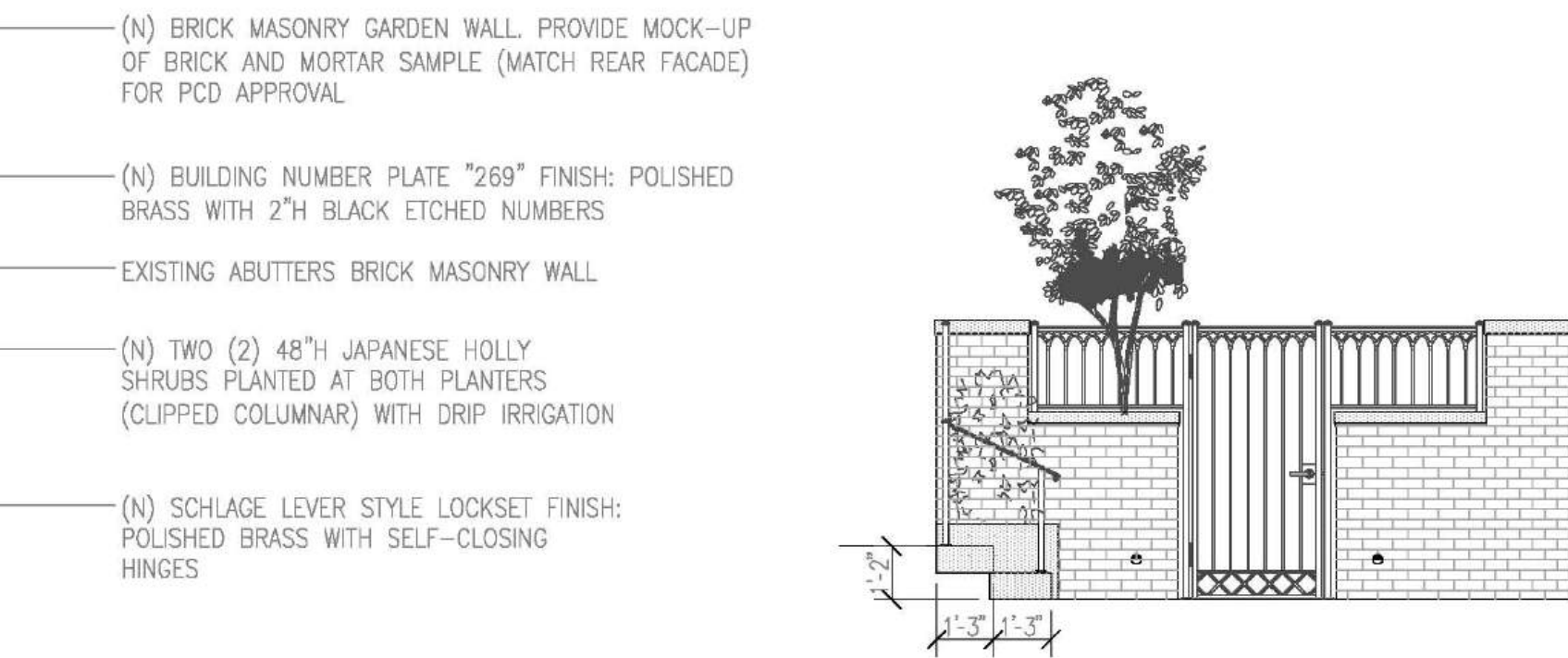
3 PROPOSED GARDEN WALL ELEVATION

SCALE: 1/4" = 1'-0"



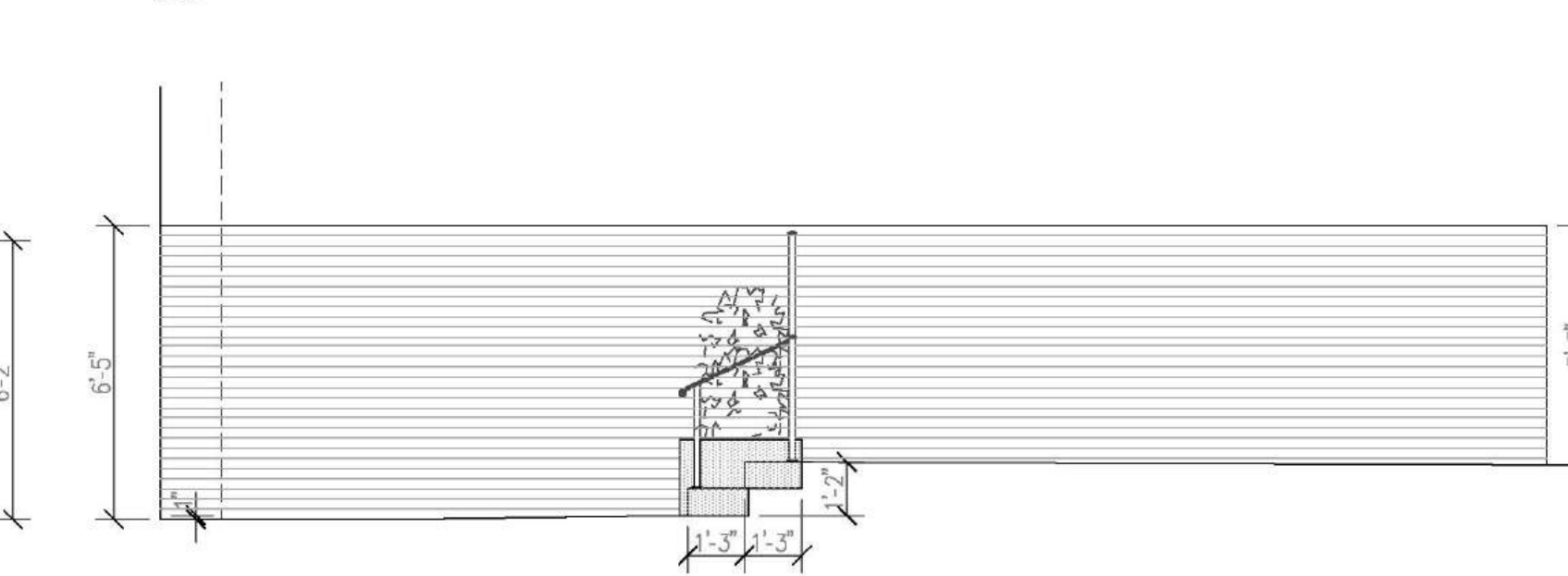
5 PROPOSED GARDEN WALL ELEVATION

SCALE: 1/4" = 1'-0"



4 PROPOSED GARDEN WALL ELEVATION

SCALE: 1/4" = 1'-0"



6 EXISTING (ABUTERS) EXISTING WEST GARDEN WALL ELEVATION

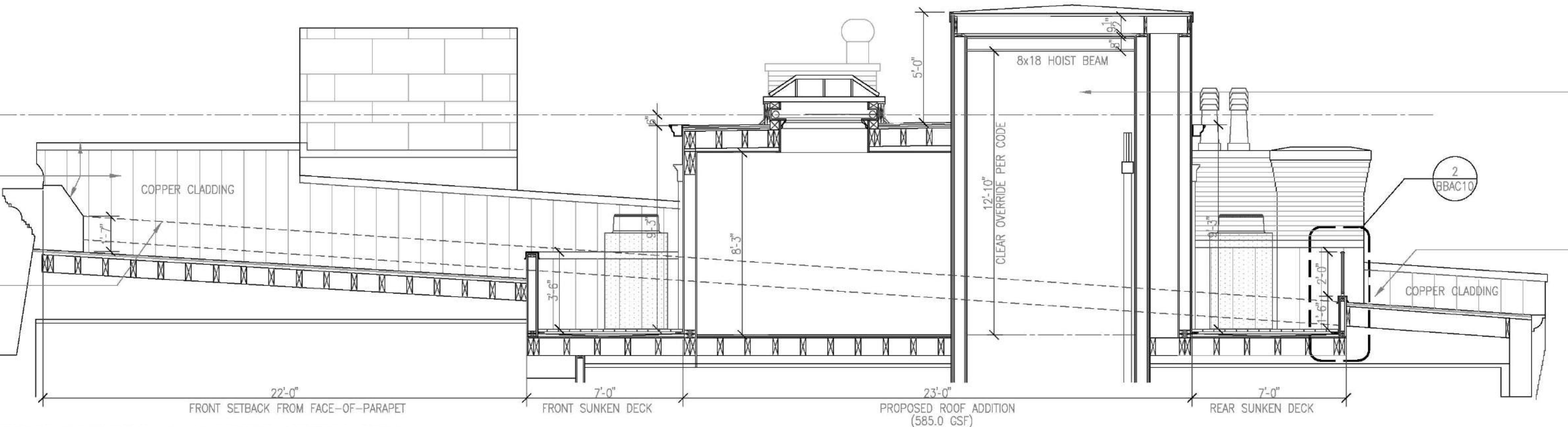
SCALE: 1/4" = 1'-0"

NOTE: RECESSED ROOF TOP ADDITION IS 6" BELOW ALLOWED HEIGHT PER ZONING REQUIREMENTS

(N) 20 OZ 22-GAUGE (99.99%CU) COPPER CLAD PARTY WALL (FLAT-SEAM) FRONT PARAPET AND COPING ALONG EAST + WEST PARTY WALLS. PROVIDE COPPER FASTENERS AND SOLDER ALL HORIZONTAL SEAMS

LINE OF EXISTING ROOF WHICH IS LOWERED FROM FRONT PARAPET BY 1'-7". REFER TO STRUCTURAL DRAWINGS FOR FRAMING DETAILS

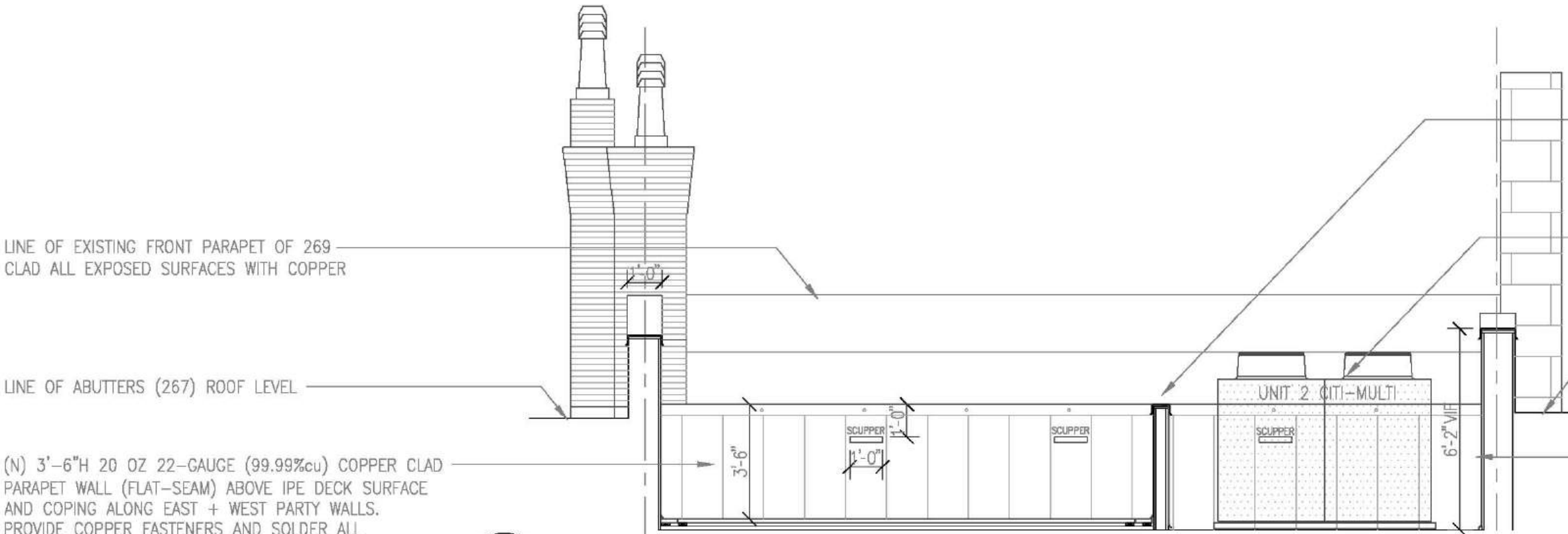
65'-0" HEIGHT
ALLOWED PER ZONING



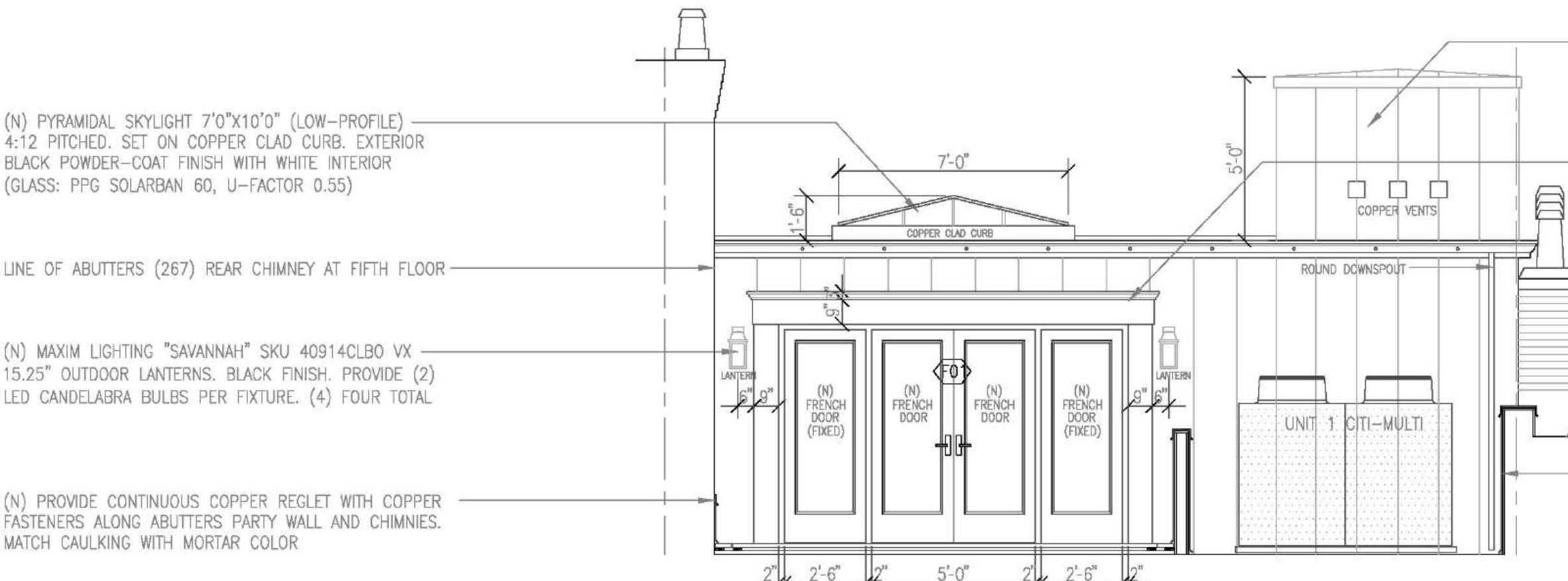
(N) ELEVATOR OVERRIDE 20 OZ (99.99%CU) COPPER CLAD PANELS (FLAT-SEAM) INCLUDING 5" DRIP EDGE. MINIMAL HEIGHT REQUIRED BY CODE

(N) PROVIDE CONTINUOUS COPPER REGLET WITH COPPER FASTENERS ALONG ABUTTERS PARTY WALL AND CHIMNIES. MATCH CAULKING WITH MORTAR COLOR

1 PROPOSED SECTION A-A WEST PARTY WALL
SCALE: 1/4" = 1'-0"



A NORTH FACING ELEVATION
SCALE: 1/4" = 1'-0"



C SOUTH FACING ELEVATION
SCALE: 1/4" = 1'-0"

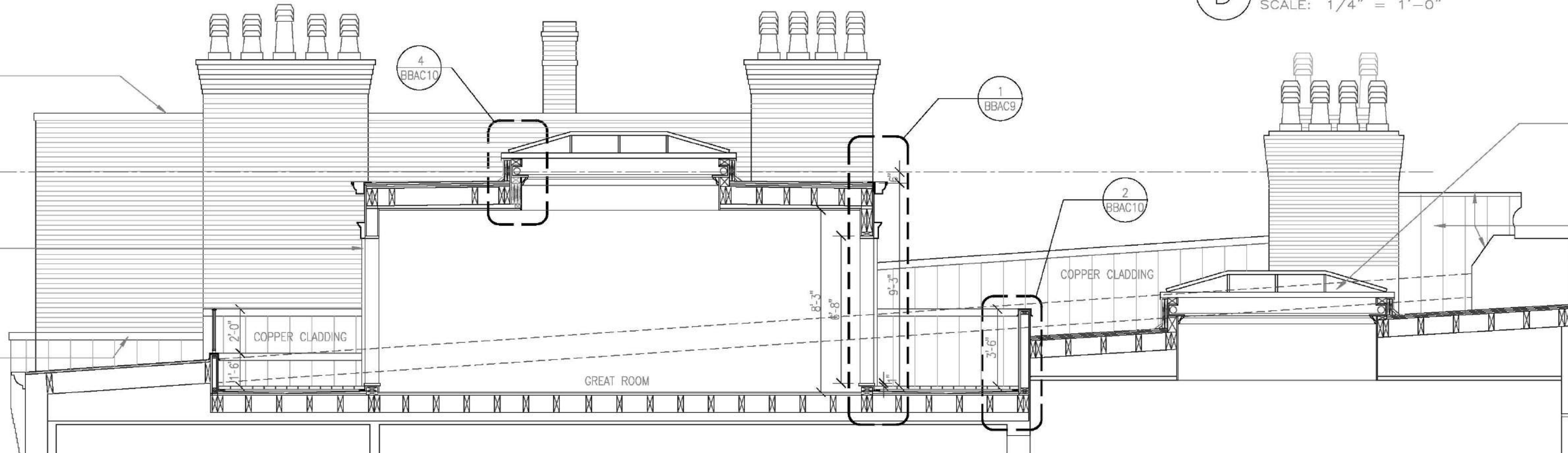
SIDE PARTY WALL OF ABUTTERS (267) REAR CHIMNEY AND FIFTH FLOOR - PROPOSED ADDITION IS BUILT AGAINST THE EXISTING PARTY WALL

NOTE: RECESSED ROOF TOP ADDITION IS 6" BELOW ALLOWED HEIGHT PER ZONING REQUIREMENTS

(N) SEMI-RECESSED ROOF TOP ADDITION/HEADHOUSE WITH 20 OZ (99.99%CU) COPPER CLAD PANELS (FLAT-SEAM) INCLUDING DECORATIVE 12"H COPPER CORNICE ABOVE FRENCH DOORS AND 9" SIDE FRAME WITH 2" PROJECTION

(N) PROVIDE CONTINUOUS COPPER REGLET WITH COPPER FASTENERS ALONG ABUTTERS PARTY WALL AND CHIMNIES. MATCH CAULKING WITH MORTAR COLOR

65'-0" HEIGHT
ALLOWED PER ZONING



(N) PYRAMIDAL SKYLIGHT 7'0"x10'0" (LOW-PROFILE) 4:12 PITCHED. SET ON COPPER CLAD CURB. EXTERIOR BLACK POWDER-COAT FINISH WITH WHITE INTERIOR (GLASS: PPG SOLARBAN 60, U-FACTOR 0.55)

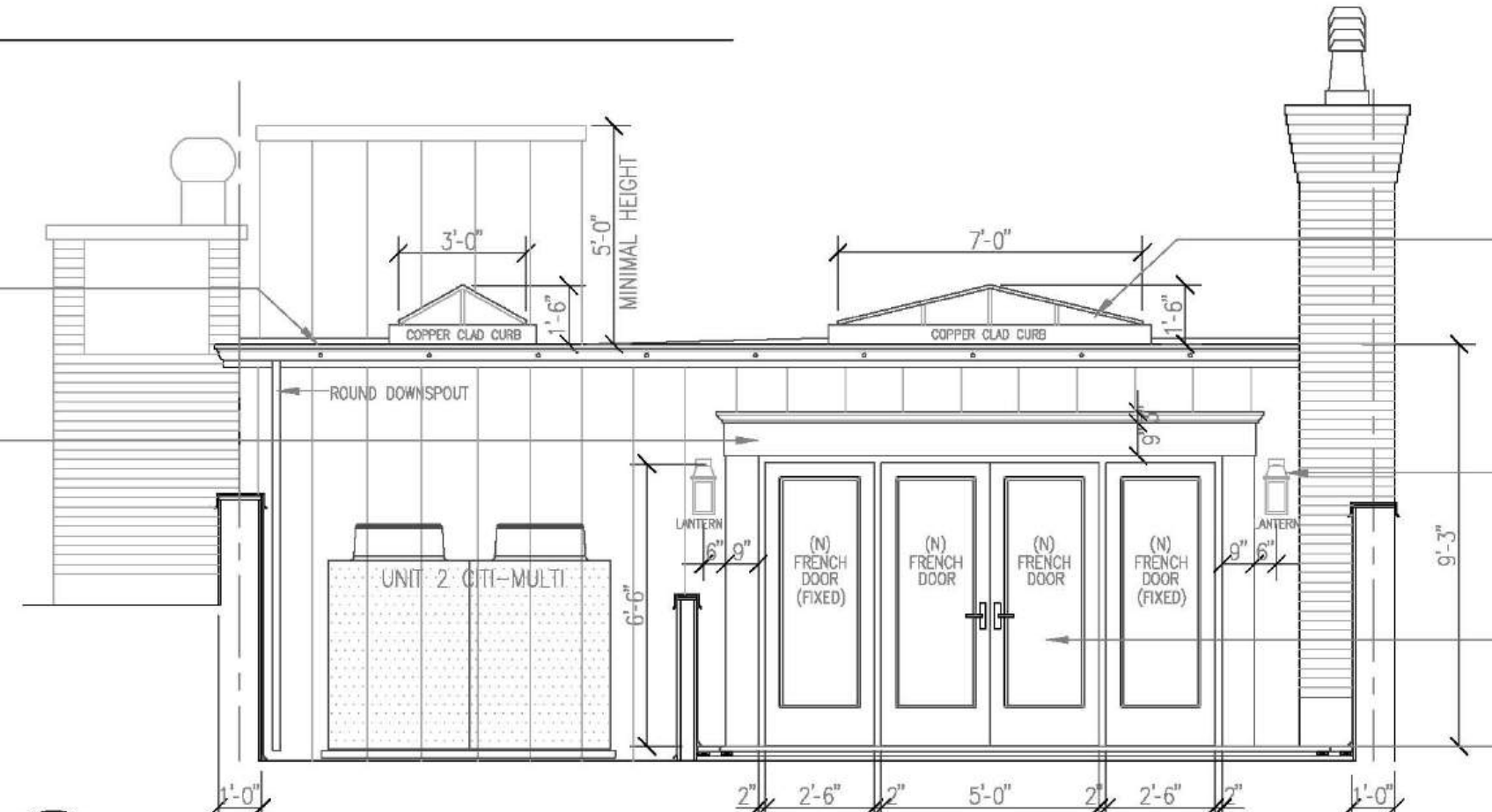
(N) 20 OZ 22-GAUGE (99.99%CU) COPPER CLAD PARTY WALL (FLAT-SEAM) FRONT PARAPET AND COPING ALONG EAST + WEST PARTY WALLS. PROVIDE COPPER FASTENERS AND SOLDER ALL HORIZONTAL SEAMS

2 PROPOSED SECTION B-B EAST PARTY WALL
SCALE: 1/4" = 1'-0"

(N) COPPER GUTTER (16oz OGEE STYLE) AND ROUND DOWNSPOUT. PROVIDE COPPER BRACKETS, HANGERS, STRAPS AND FASTENERS

(N) SEMI-RECESSED ROOF TOP ADDITION/HEADHOUSE WITH 20 OZ (99.99%CU) COPPER CLAD PANELS (FLAT-SEAM) INCLUDING DECORATIVE 12"H COPPER CORNICE ABOVE FRENCH DOORS AND 9" SIDE FRAME WITH 2" PROJECTION

NOT VISIBLE PER MOCK-UP



B SOUTH FACING ELEVATION
SCALE: 1/4" = 1'-0"

(N) TWO MITSUBISHI CITI MULTI R-2 SERIES AC UNITS SET ON LOW PROFILE ISOLATION RAILS (SUNKEN BEHIND PARAPET WITHIN DECK RAILING AREA) SIZE: 78"X34"X62"H

(N) SEMI-RECESSED ROOF TOP ADDITION/HEADHOUSE WITH 20 OZ (99.99%CU) COPPER CLAD PANELS (FLAT-SEAM) INCLUDING DECORATIVE 12"H COPPER CORNICE ABOVE FRENCH DOORS AND 9" SIDE FRAME WITH 2" PROJECTION

(N) 6"x6" COPPER VENTS (WITH INTERIOR INSECT SCREEN/FLAP) FOR BATHROOM AND LAUNDRY VENTS

(N) 20 OZ 22-GAUGE (99.99%CU) COPPER CLAD PARTY WALL (FLAT-SEAM) ABOVE IPE DECK SURFACE AND COPING ALONG EAST + WEST PARTY WALLS. PROVIDE COPPER FASTENERS AND SOLDER ALL HORIZONTAL SEAMS

(N) 20 OZ 22-GAUGE (99.99%CU) COPPER CLADDING ON ALL EXPOSED SURFACES (FLAT-SEAM) AND COPING ALONG EAST + WEST PARTY WALLS. PROVIDE COPPER FASTENERS AND SOLDER ALL HORIZONTAL SEAMS

D SOUTH FACING ELEVATION
SCALE: 1/4" = 1'-0"

(N) PYRAMIDAL SKYLIGHT 7'0"x10'0" (LOW-PROFILE) 4:12 PITCHED. SET ON COPPER CLAD CURB. EXTERIOR BLACK POWDER-COAT FINISH WITH WHITE INTERIOR (GLASS: PPG SOLARBAN 60, U-FACTOR 0.55)

(N) MAXIM LIGHTING "SAVANNAH" SKU 40914CLBO VX 15.25" OUTDOOR LANTERNS. BLACK FINISH. PROVIDE (2) LED CANDELABRA BULBS PER FIXTURE. (4) FOUR TOTAL

(N) FRENCH DOORS: (4) 2'-6"X6'-8" MAHOGANY AND GLASS WITH FLUSH METAL BLACK PEMKO SILL AND COPPER PAN. OUTER DOORS FIXED. PAINT GLOSS BLACK

(N) PROVIDE CONTINUOUS COPPER REGLET WITH COPPER FASTENERS ALONG ABUTTERS PARTY WALL AND CHIMNIES. MATCH CAULKING WITH MORTAR COLOR

PROPOSED ROOF ADDITION SECTIONS AND ELEVATIONS

269 Commonwealth Avenue
Back Bay - Boston - Massachusetts

Date: August 18, 2025
Project Number:
Checked By: RP/PC
Scale: 1/4"=1'-0"

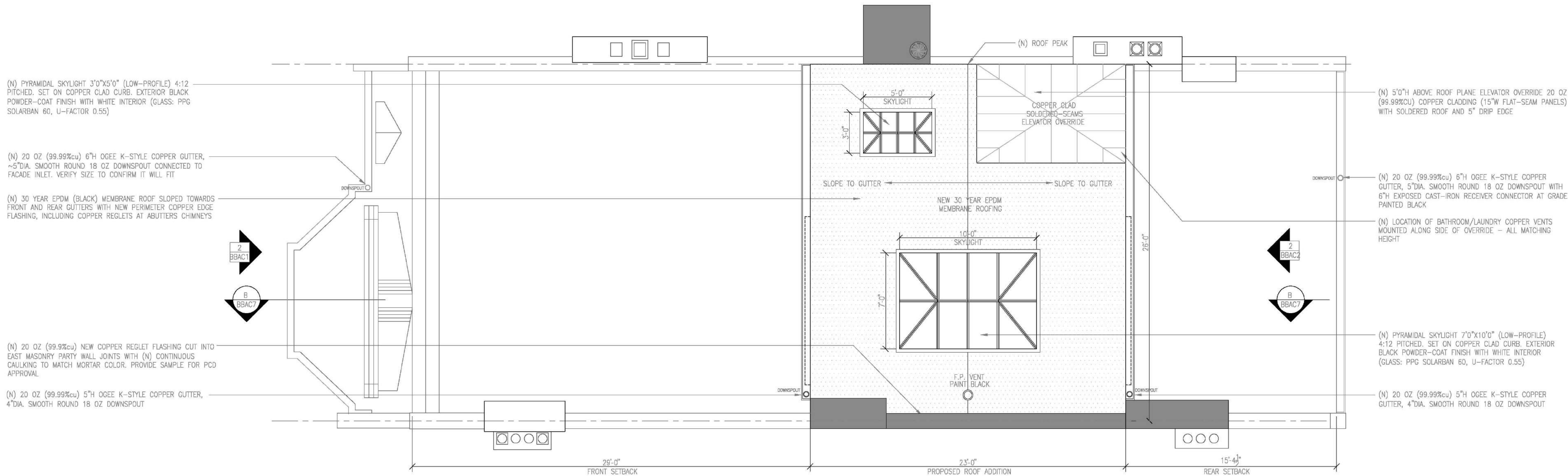
269 Comm Ave Associates, LLC
519 Albany Street
Boston, Massachusetts 02118

BBAC
04

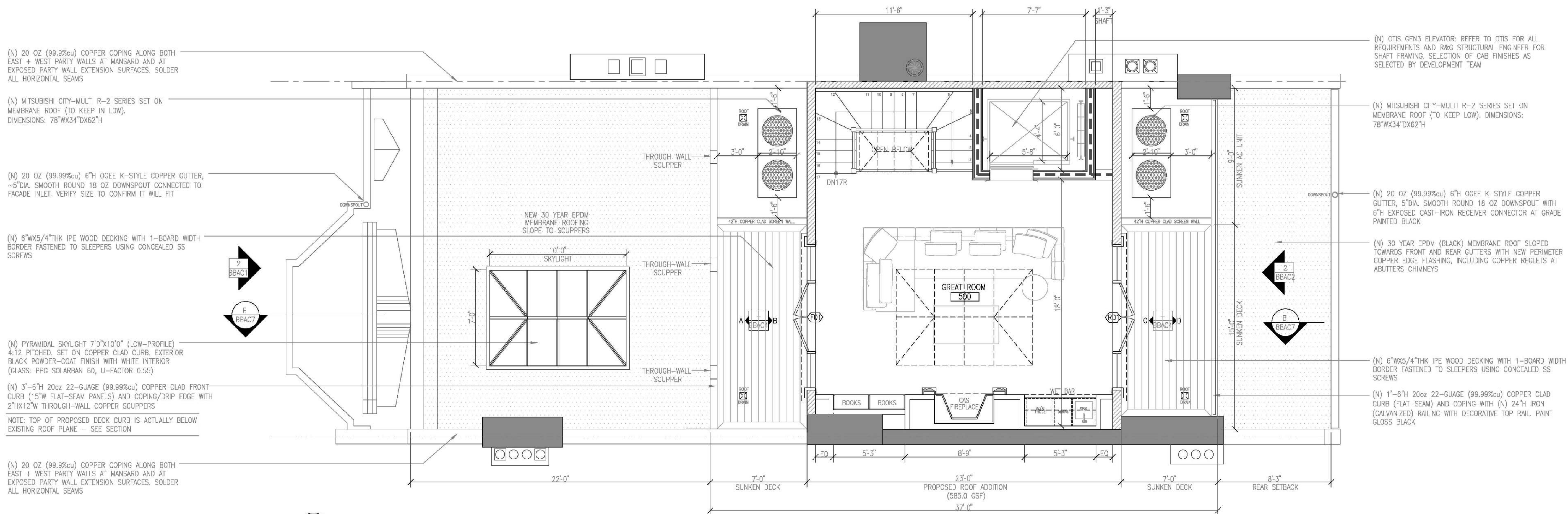
PAYNE | COLLINS

18 Worcester Square, Boston, MA 02118
Tel: 617.308.4887
Tel: 617.694.2757

Revision No.	Date



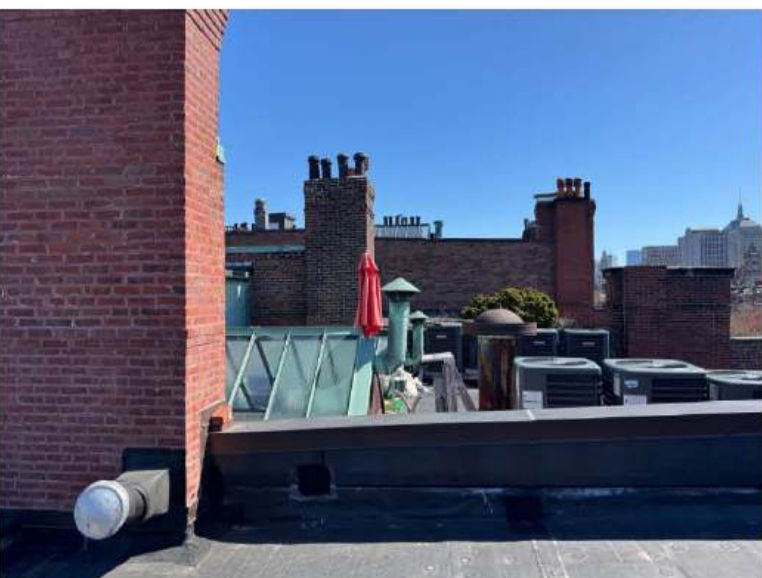
1 PROPOSED UPPER ROOF PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



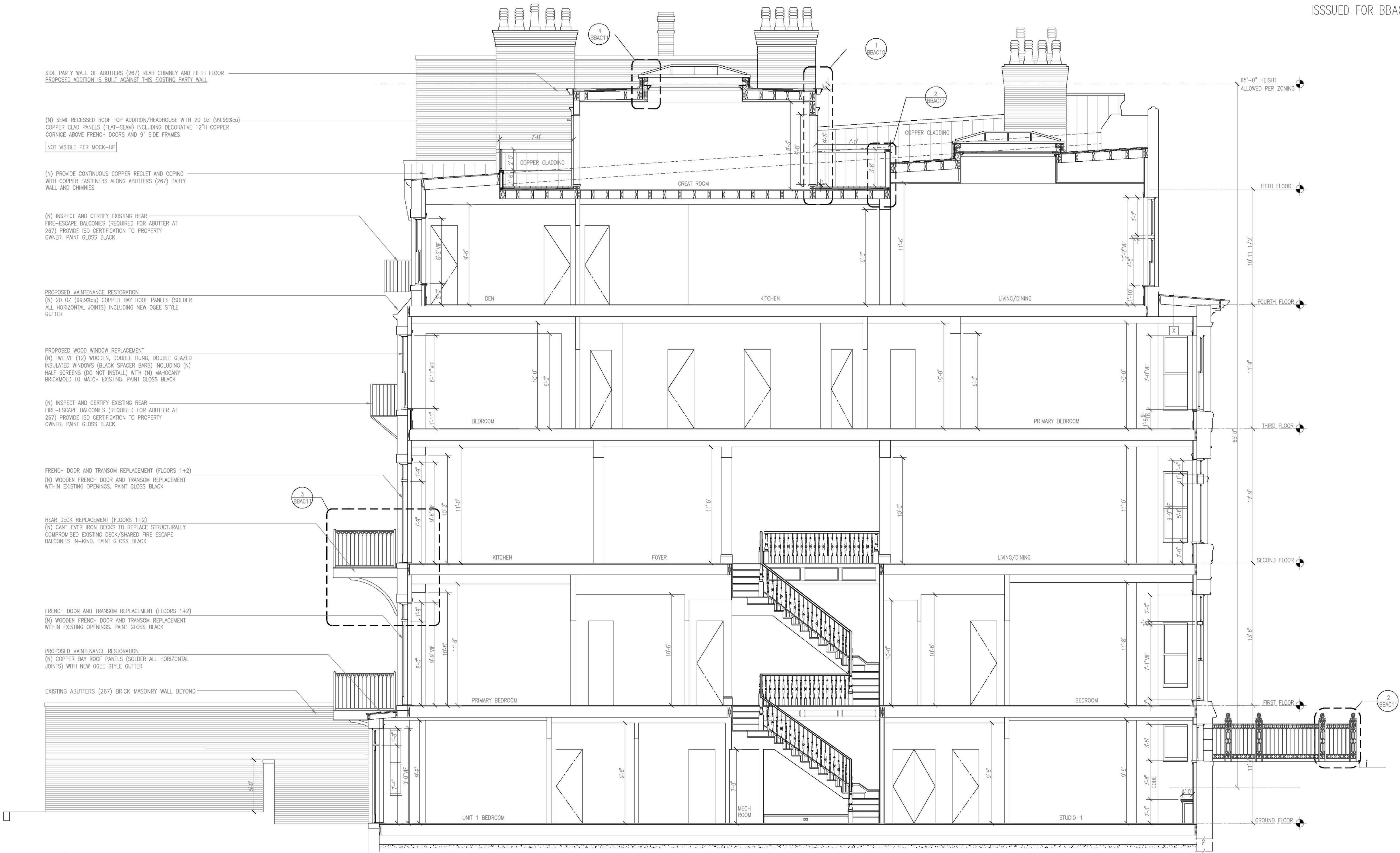
1 PHOTO EAST VIEW



2 PHOTO EAST VIEW



3 PHOTO WEST VIEW



1 PROPOSED BUILDING SECTION B-B
SCALE: 1/4" = 1'-0"

PAYNE | COLLINS
18 Worcester Square, Boston, MA 02118
Tel: 617.308.4887
Tel: 617.694.2757

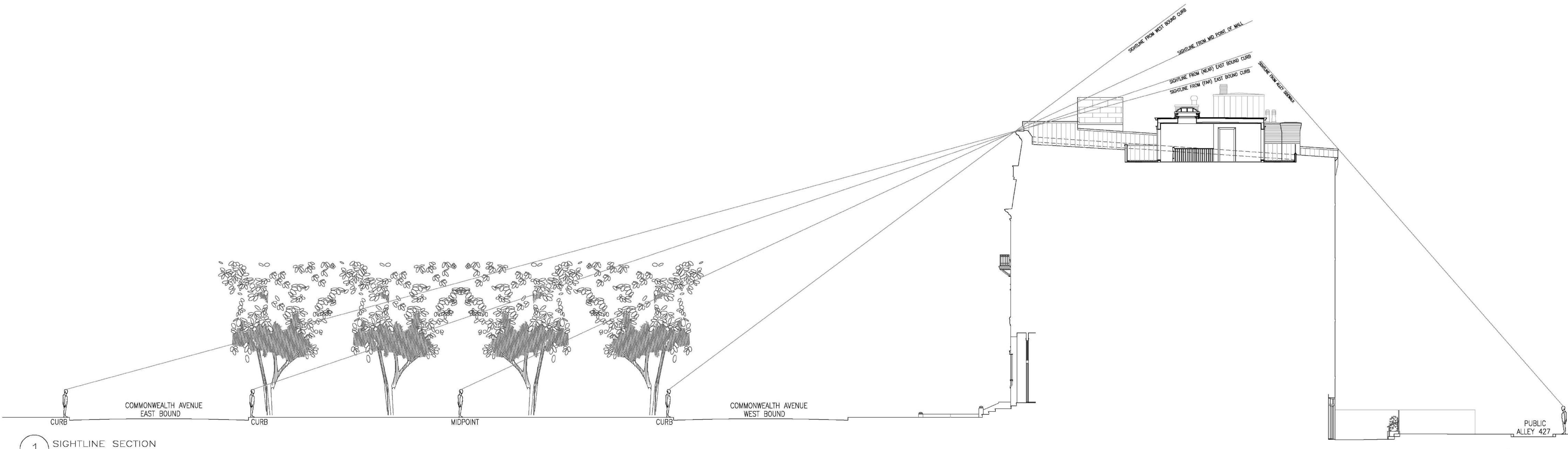
Revision No.	Date

PROPOSED BUILDING SECTION B-B
LOOKING EAST
269 Commonwealth Avenue
Back Bay – Boston – Massachusetts

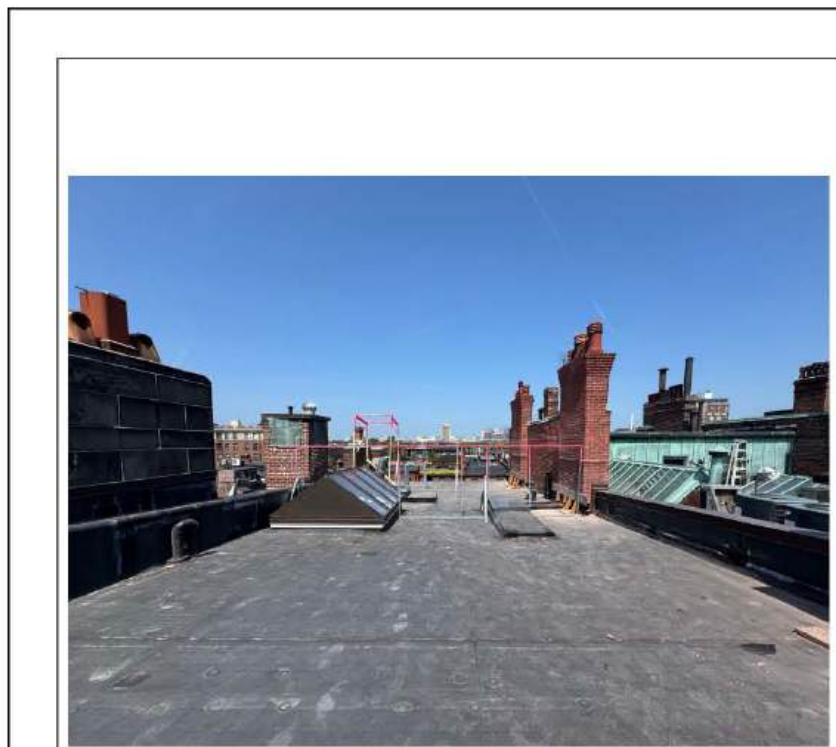
Date: August 18, 2025
Project Number:
Checked By: RP/PC
Scale: 1/4"=1'-0"

269 Comm Ave Associates, LLC
519 Albany Street
Boston, Massachusetts 02118

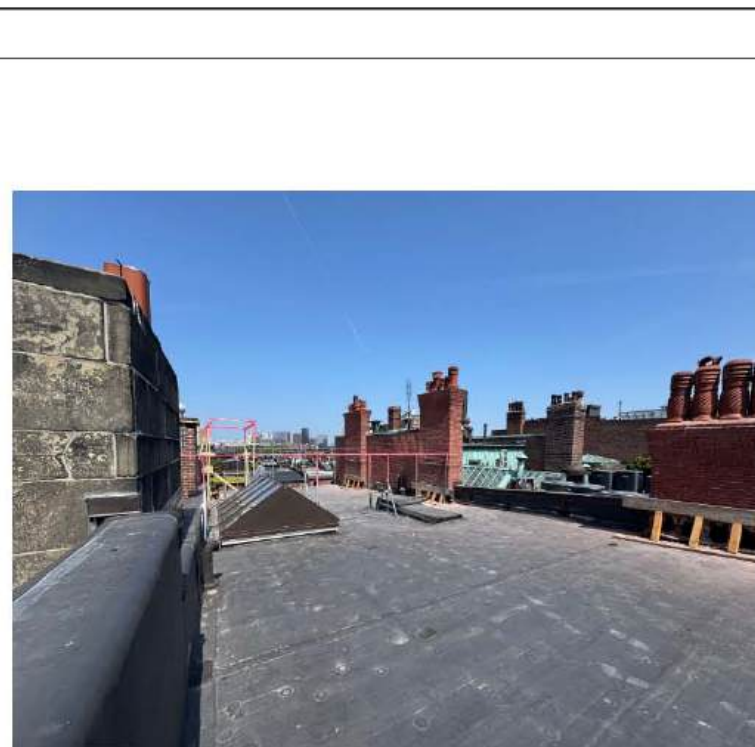
BBAC
06



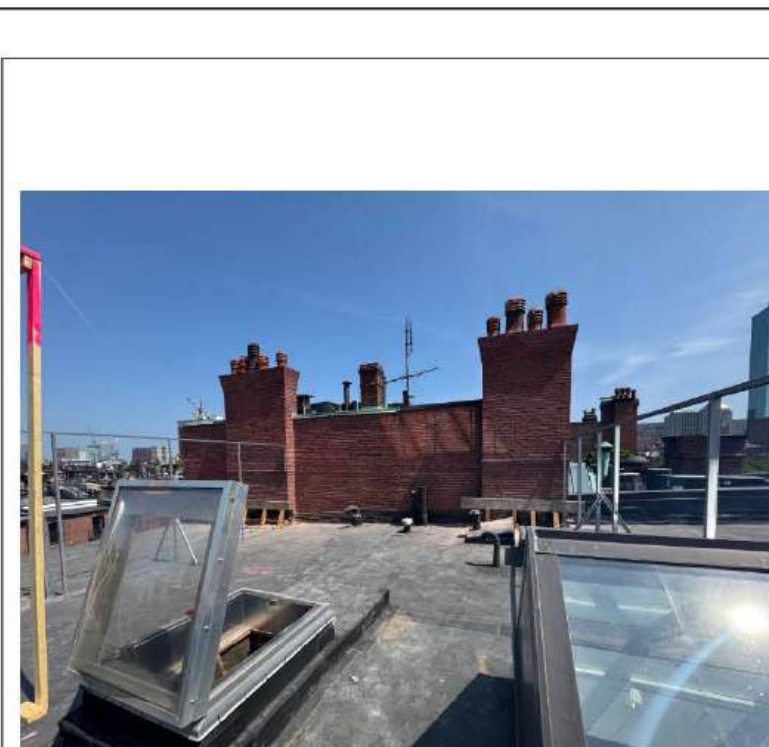
1 SIGHTLINE SECTION
SCALE: N.T.S.



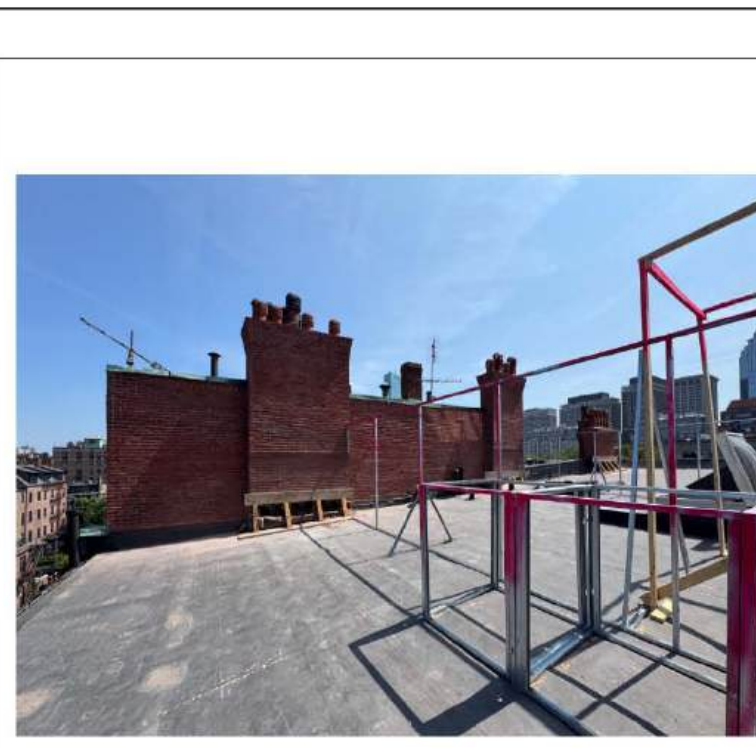
1 MOCK-UP VIEW NORTH



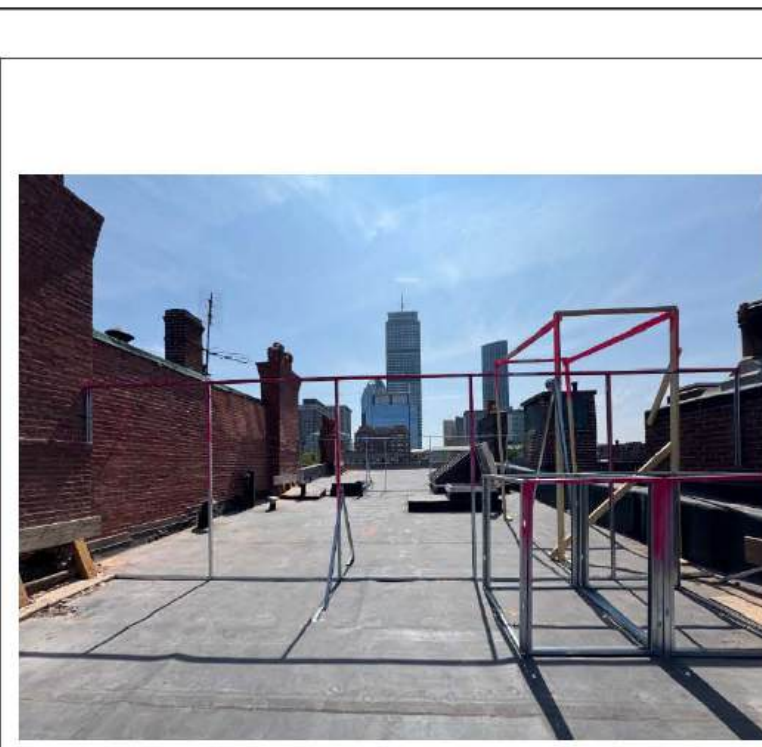
2 MOCK-UP VIEW EAST



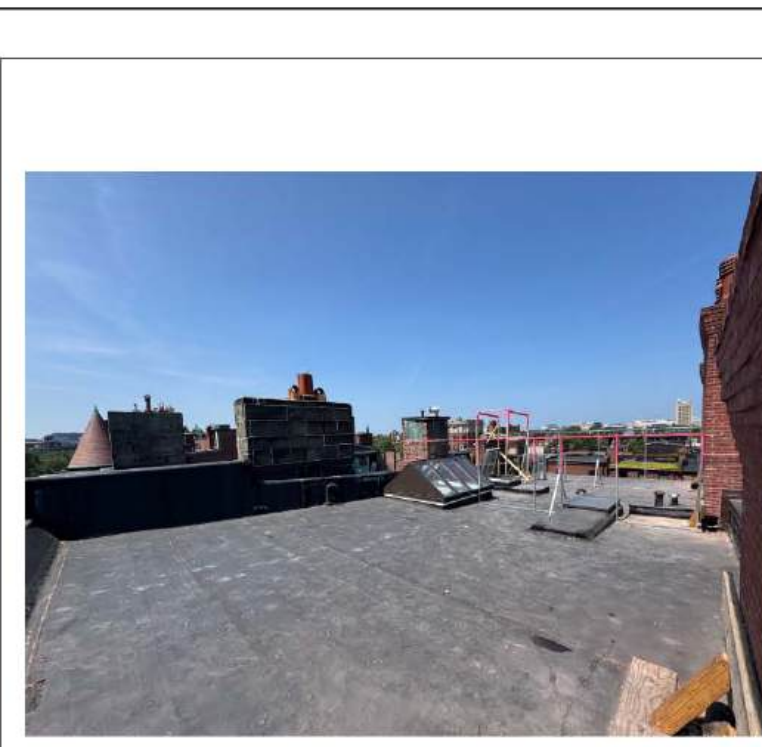
3 MOCK-UP VIEW EAST



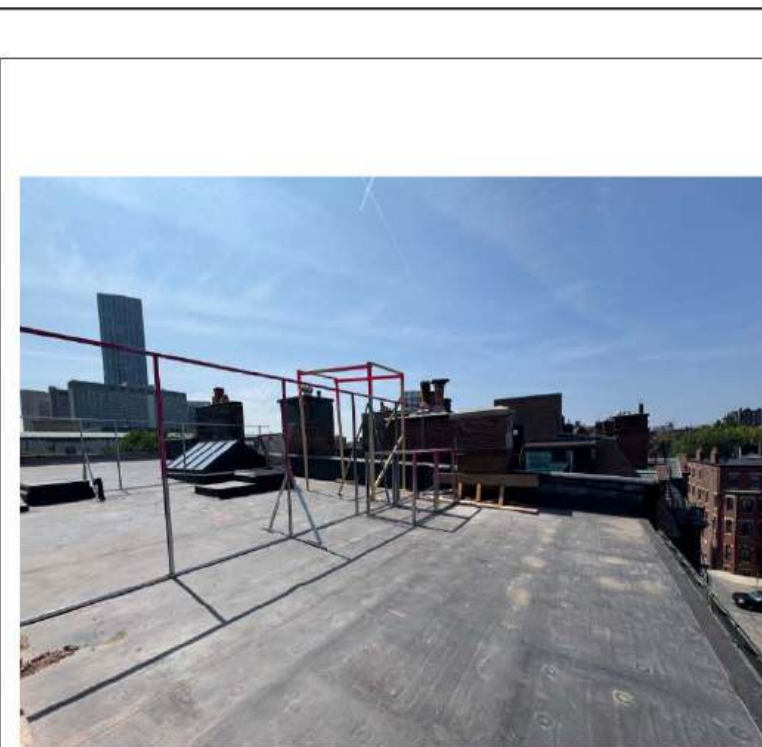
4 MOCK-UP VIEW EAST



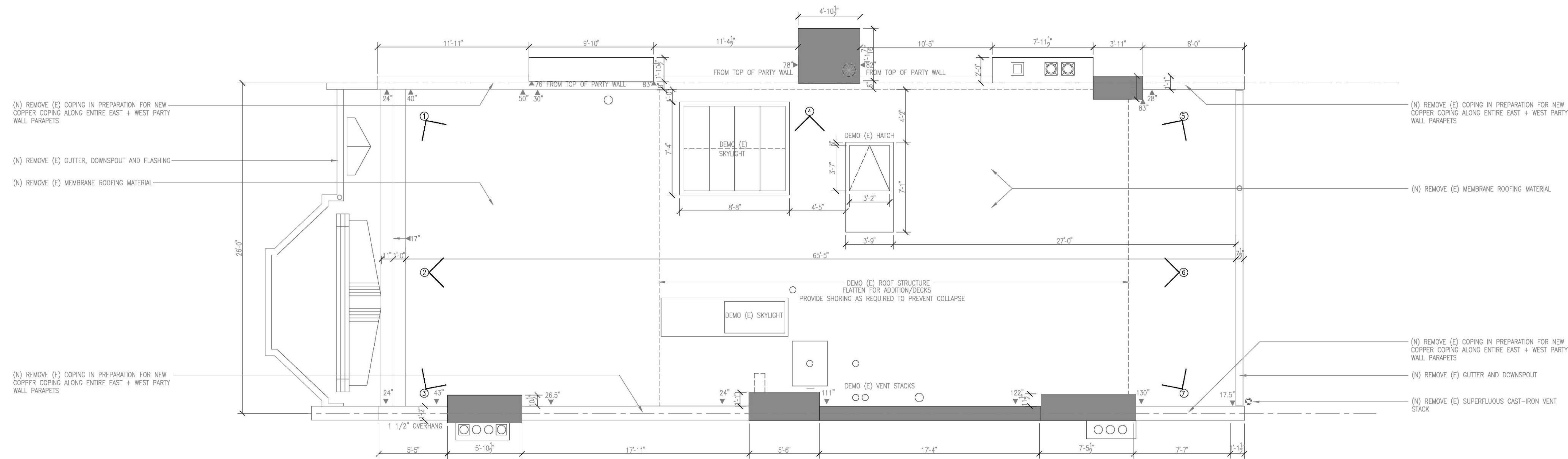
5 MOCK-UP VIEW SOUTH



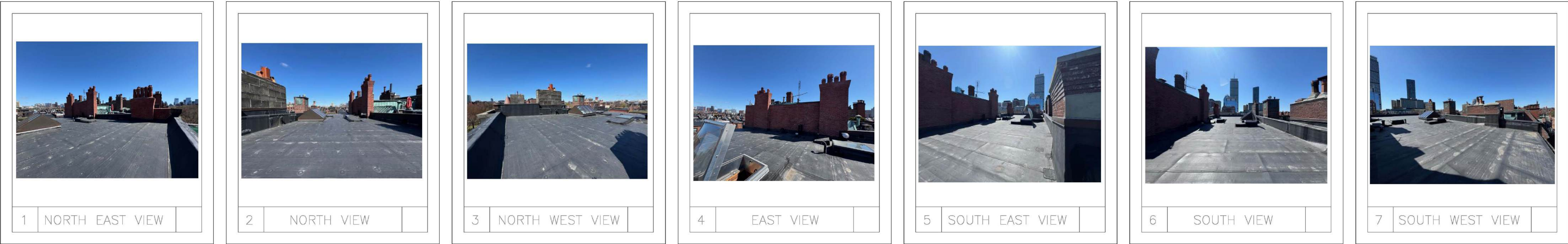
6 MOCK-UP VIEW WEST

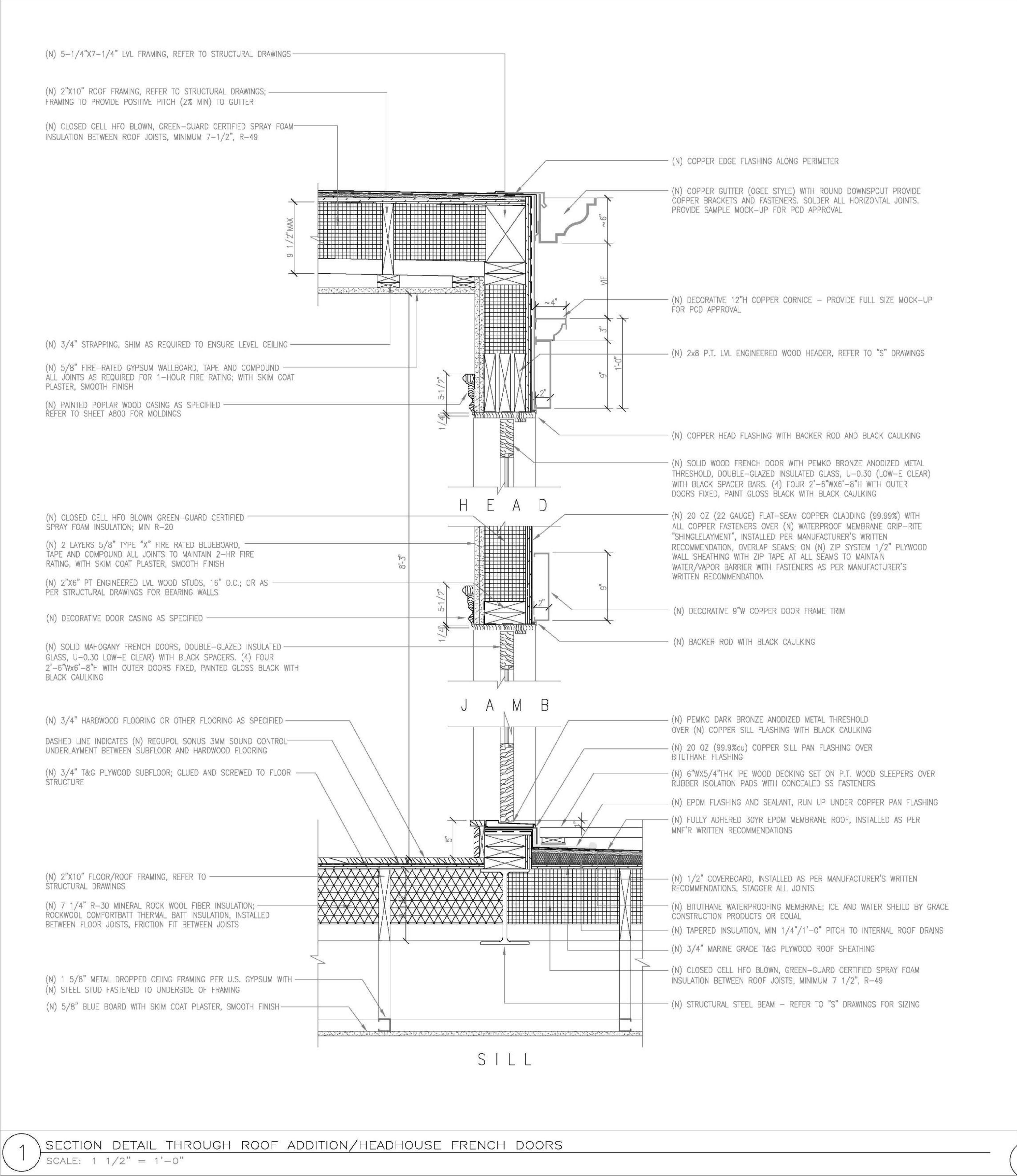


7 MOCK-UP VIEW WEST

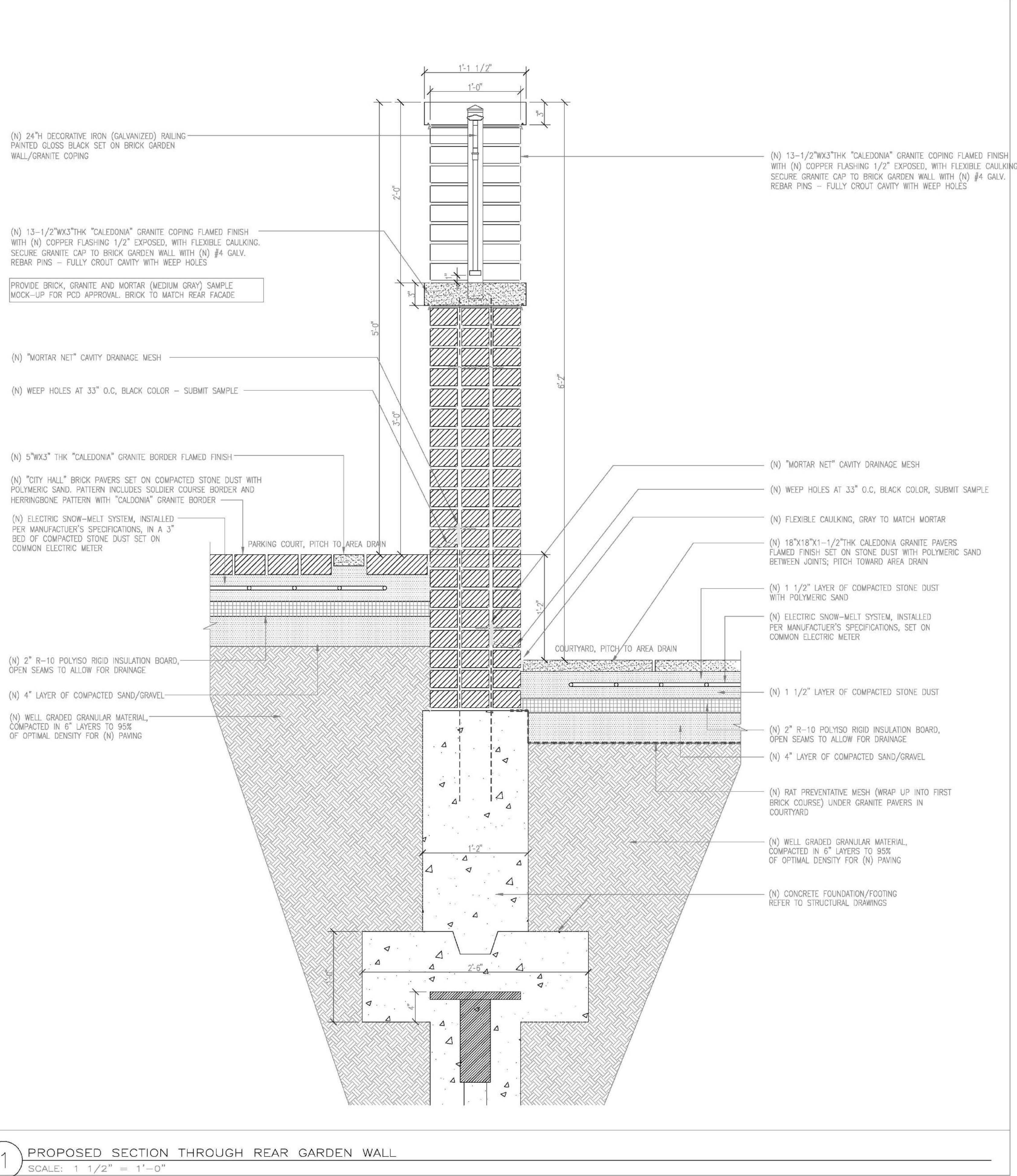


1 EXISTING ROOF PLAN
SCALE: 1/4" = 1'-0"

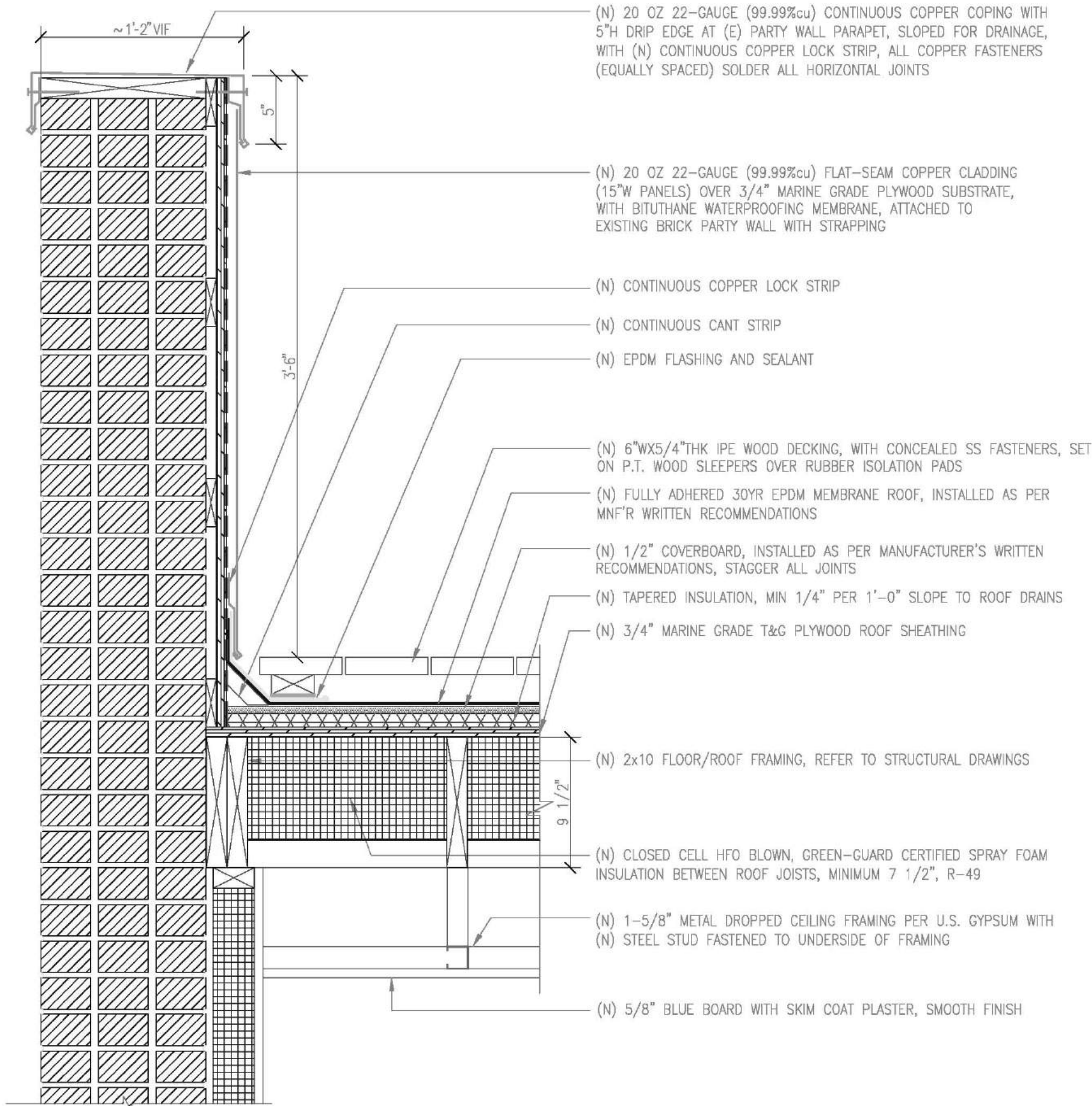




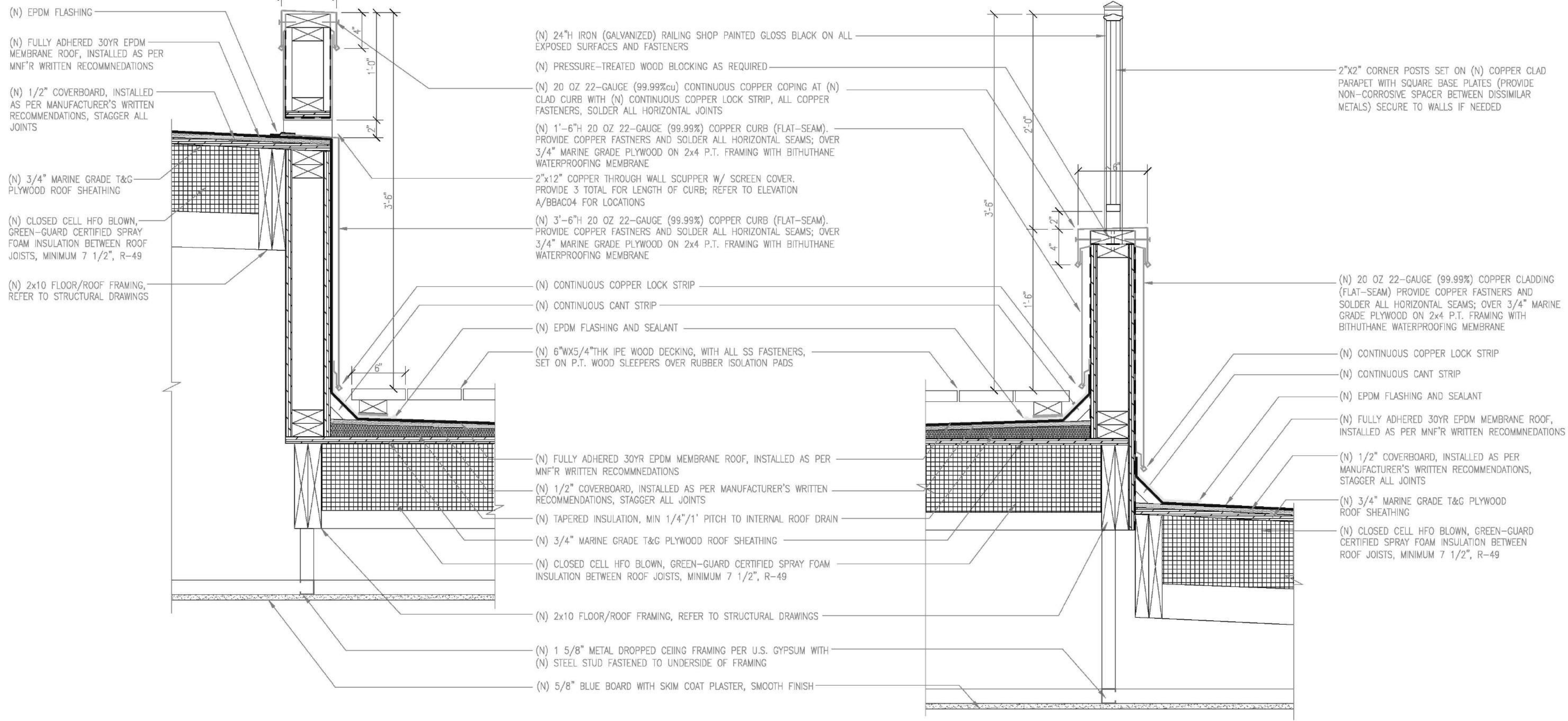
1 SECTION DETAIL THROUGH ROOF ADDITION/HEADHOUSE FRENCH DOORS
SCALE: 1 1/2" = 1'-0"



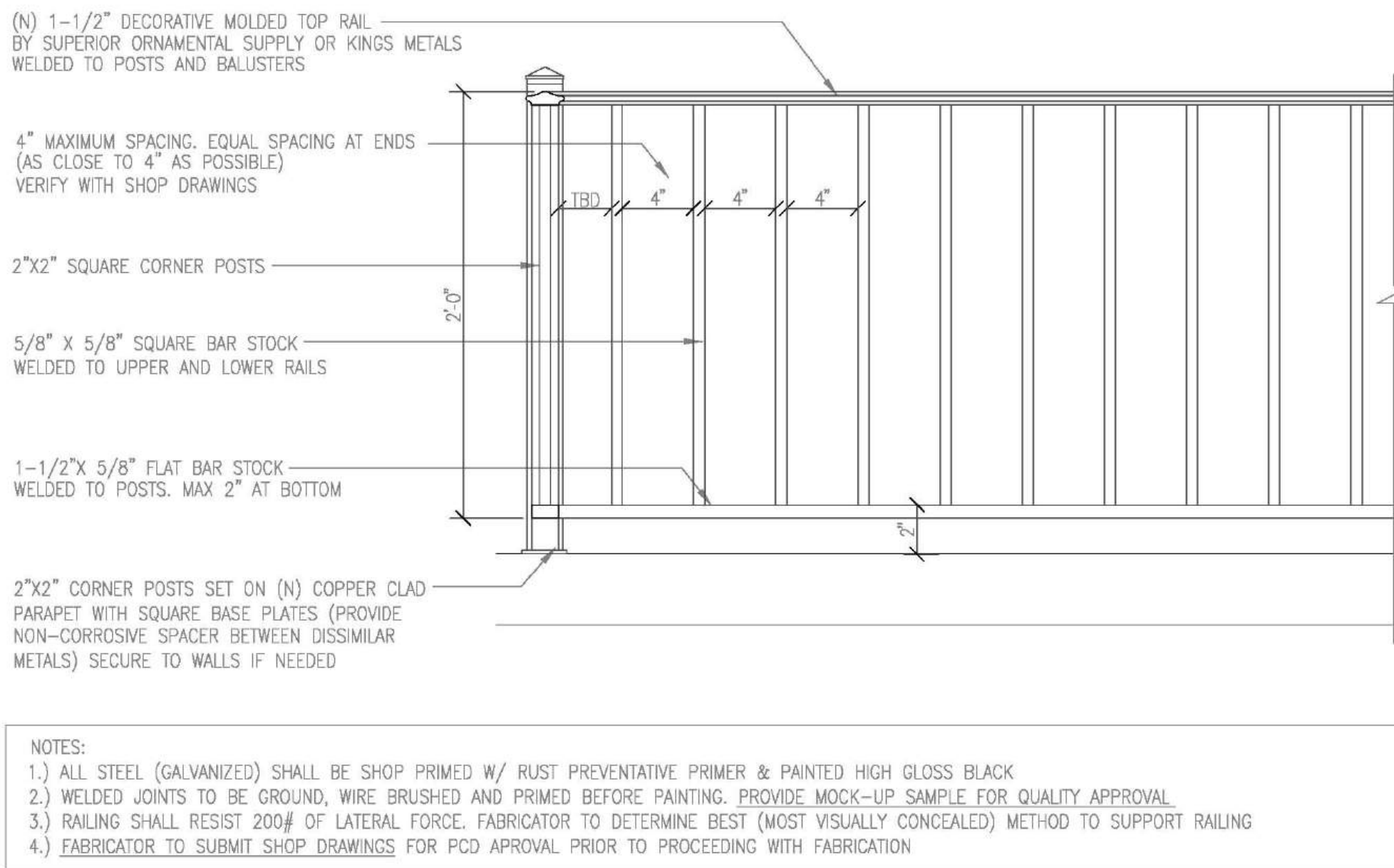
1 PROPOSED SECTION THROUGH REAR GARDEN WALL
SCALE: 1 1/2" = 1'-0"



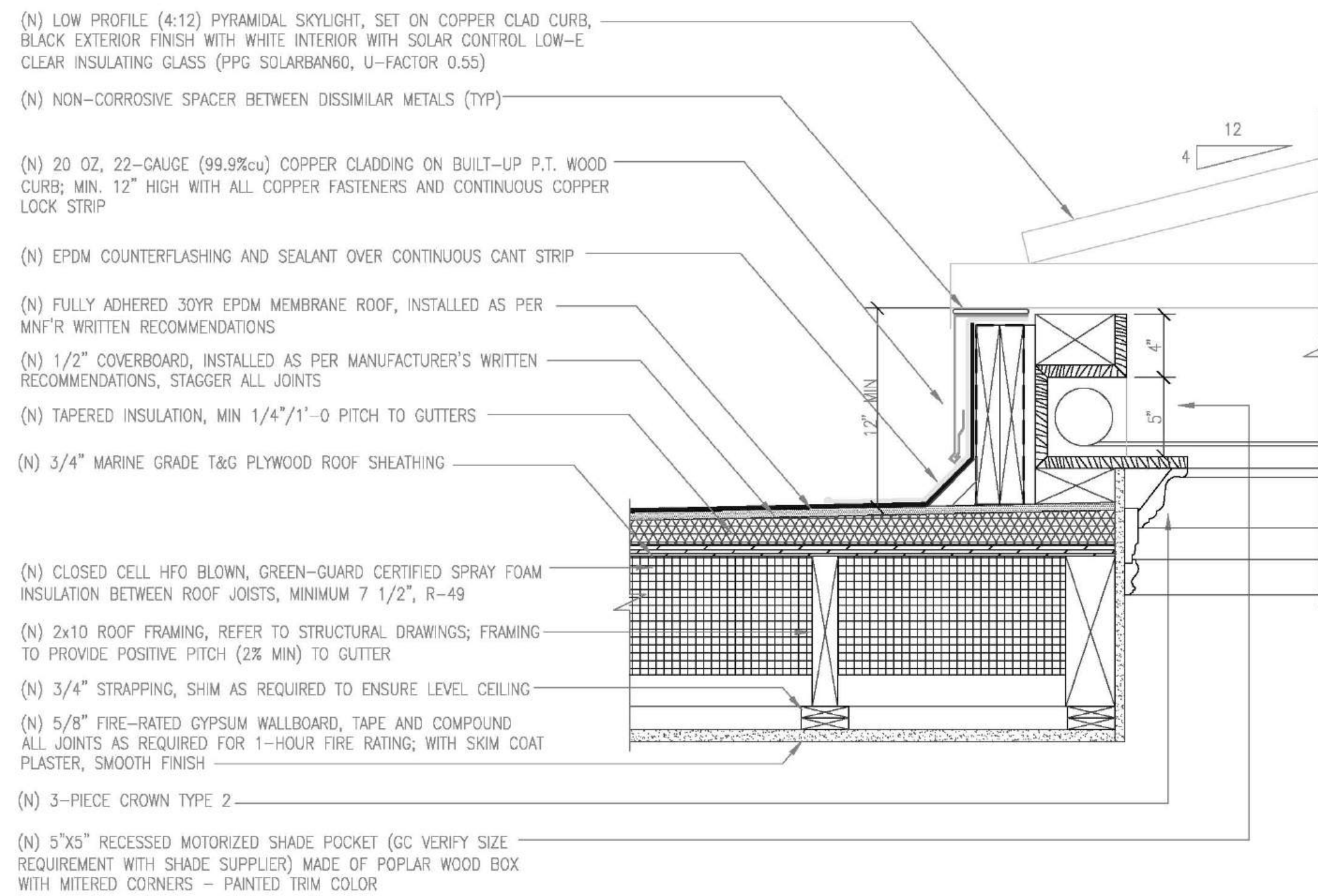
1 WEST PARAPET COPING / ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



2 SECTION THROUGH FRONT CURB AND REAR RAILING/CURB DETAILS
SCALE: 1 1/2" = 1'-0"



3 REAR ROOF DECK RAILING DETAIL
SCALE: 1 1/2" = 1'-0"

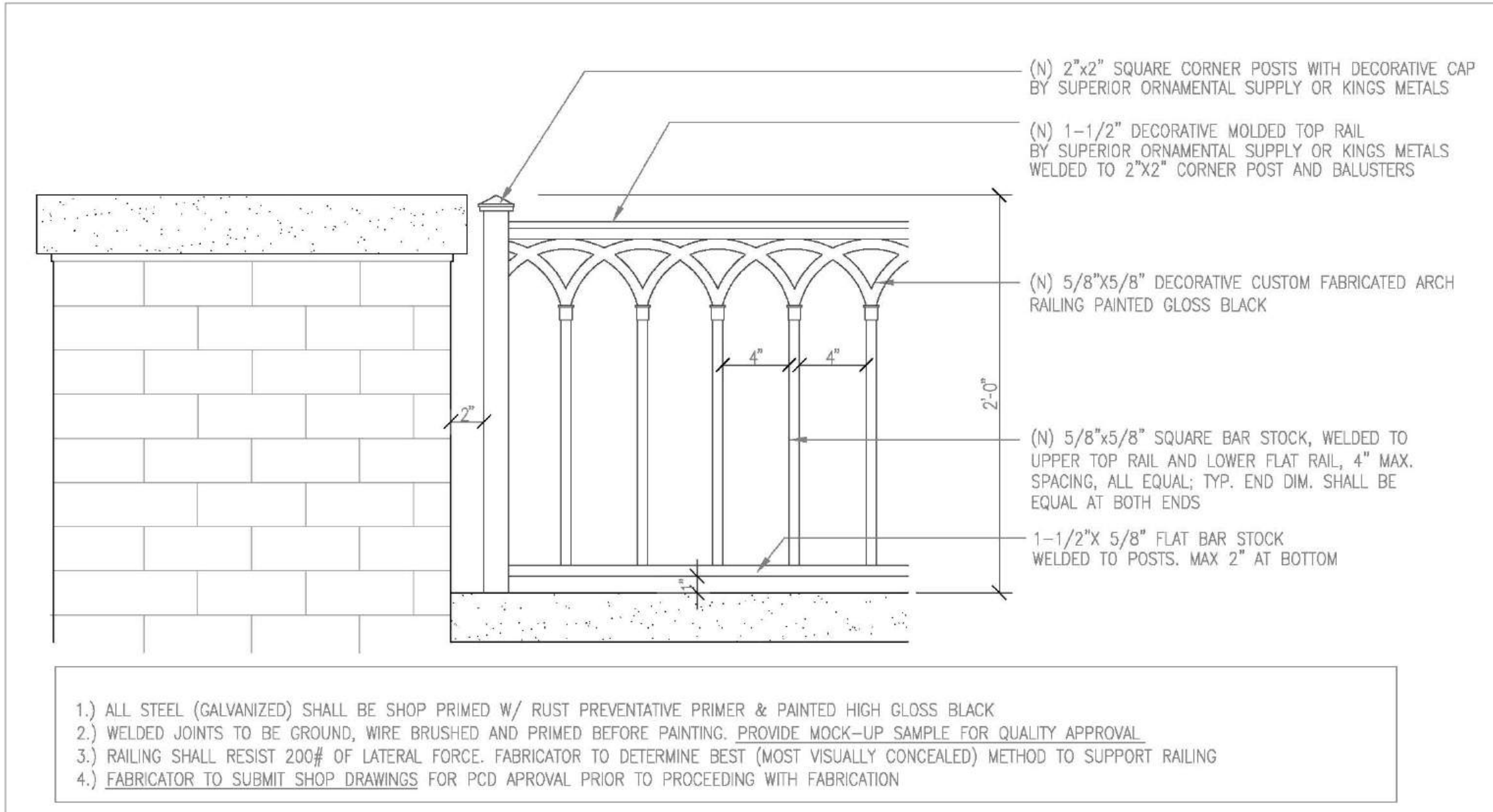


4 SECTION THROUGH SKYLIGHT CURB
SCALE: 1 1/2" = 1'-0"

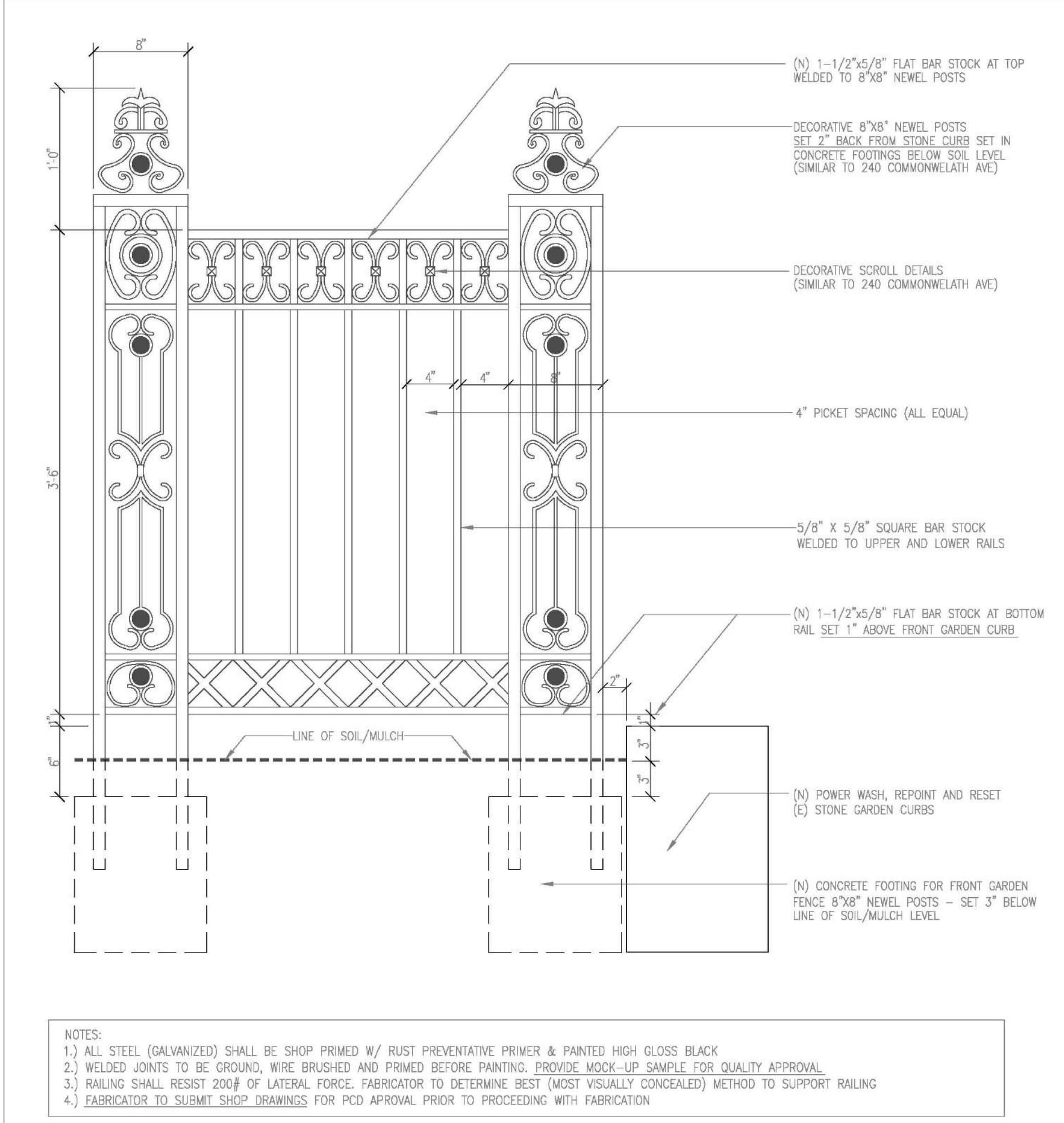


EXTERIOR LANTERN SPECIFICATION: "QUOIZEL ABERNATHY" MODEL #026R0 OLD BRONZE FINISH WITH 60W CANDELABRA BULBS 3000K COLOR TEMP SET ON COMMON PHOTOCEL SENSOR. COORDINATE MOUNTING HEIGHT WITH PCD PRIOR TO INSTALLING BOX.

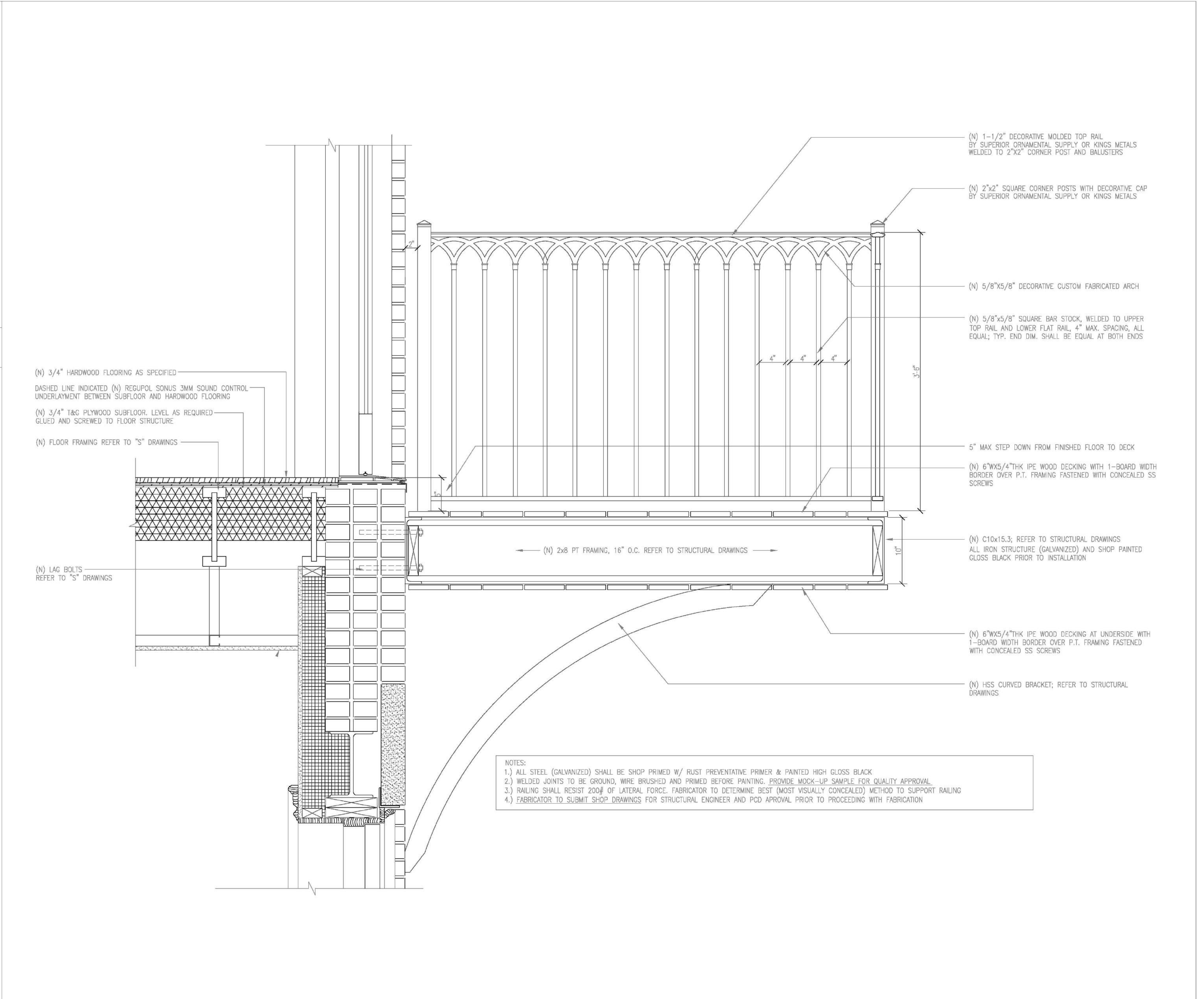
5 PROPOSED LANTERN FIXTURE
SCALE:



1 PROPOSED REAR GARDEN WALL RAILLING DETAIL
SCALE: 1 1/2" = 1'-0"



2 PROPOSED FRONT GARDEN FENCE DETAIL
SCALE: 1 1/2" = 1'-0"



3 PROPOSED REAR CANTILEVERED BALCONY DETAIL
SCALE: 1 1/2" = 1'-0"

Revision No.	Date

