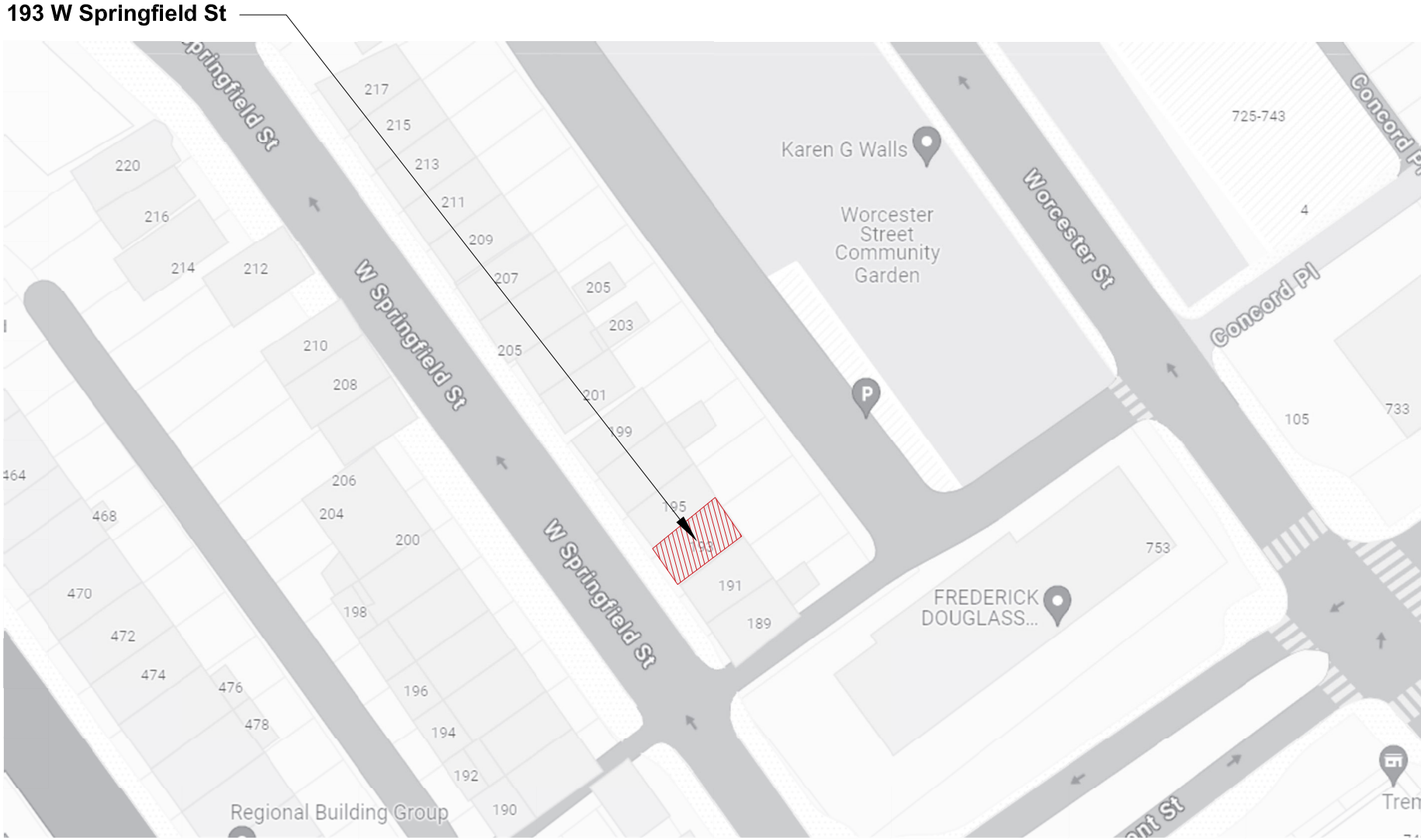


193 W Springfield St

193 W SPRINGFIELD ST, BOSTON, MA 02118

ISSUED FOR PERMIT 08-14-2024

LOCATION PLAN



EXISTING PHOTO



SATELLITE PHOTO



SCOPE OF WORK

RENOVATE EXISTING BUILDING WITH 1 UNIT AND 0 PARKING WITH ADDITION AND 2 PARKING SPACES. BUILDING WILL NOT HAVE AN ELEVATOR.

CODE ANALYSIS

OCCUPANCY TYPE: RESIDENTIAL (R-3)

TYPE OF CONSTRUCTION: TYPE IIIB

ZONE: MFR

ZONING ANALYSIS

REGULATION	MFR	EXISTING	PROPOSED	COMMENTS
MIN. LOT AREA	NONE	1600	1600	
MIN. LOT WIDTH	NONE	80'-0"	80'-0"	
MIN. LOT FRONTAGE	NONE	20'-0"	20'-0"	
MAX. F.A.R	2.00000	$\frac{2376}{1600} \approx 1.49$	$\frac{2763}{1600} \approx 1.72$	
MAX. HEIGHT (STORIES/FEET)	NONE / 70'	NA / 41'-5"	NA / 41'-5"	
OPEN SPACE	200	655	244	
FRONT YARD SETBACK	—	5'-11"	5'-11"	UNCHANGED
SIDE YARD SETBACK	NONE	NA	NA	
REAR YARD SETBACK	20'-0"	33'-3"	31'-10 $\frac{1}{2}$ "	
PARKING REQUIREMENT	0.50000	0	2	

APPLICABLE CODES

- BUILDING CODE:** 780 CMR MASSACHUSETTS STATE BUILDING CODE, 9TH EDITION (AMENDED INTERNATIONAL BUILDING CODE 2015, INTERNATIONAL RESIDENTIAL CODE 2015 AND THE 2015 INTERNATIONAL EXISTING BUILDING CODE W/ MASSACHUSETTS AMENDMENTS)
- ACCESSIBILITY:** MASSACHUSETTS ARCHITECTURAL ACCESS BOARD 521 CMR AND UNIFORM FEDERAL ACCESSIBILITY STANDARDS
- FIRE PROTECTION:** MASSACHUSETTS COMPREHENSIVE FIRE SAFETY CODE 527 CMR 1.00 - 2015 NFPA 1: FIRE CODE WITH AMENDMENTS
- ELECTRICAL:** 527 CMR 12.00 MASSACHUSETTS ELECTRICAL CODE - 2020 NFPA 70 NATIONAL ELECTRICAL CODE WITH AMENDMENTS
- MECHANICAL:** INTERNATIONAL MECHANICAL CODE 2015 W/ AMENDMENTS
- PLUMBING:** 248 CMR BOARD OF STATE EXAMINERS OF PLUMBERS AND GAS FITTERS - UNIFORM STATE PLUMBING CODE
- ENERGY:** INTERNATIONAL ENERGY CONSERVATION CODE 2021 (IECC)
- AMERICANS WITH DISABILITIES ACT**
- BOSTON ZONING CODE**
- MGL CH. 148 SECTION 26G**

CODE SUMMARY

- PROPOSED USE OR OCCUPANCY: RESIDENTIAL - R-3
 - OCCUPANT LOAD: (200 GROSS SF/PERSON PER 1004.1.1) APPROX. 2,763 SF = 13 PERSONS
- CONSTRUCTION TYPE: IIIB - TABLE 504.4
 - PER TABLE 601: EXTERIOR BEARING WALLS ARE TO BE 2 HOUR RATED.
 - MAX. AREA PER FLOOR IS 64,000 SF PER TABLE 506 AND MAXIMUM HEIGHT IS 4 STORIES ABOVE GRADE - 504.4
- PER 1006.3.2, ONLY ONE EXIT IS REQUIRED IN GROUP R-3 OCCUPANCIES
- MINIMUM WIDTH OF EGRESS STAIR: 36 INCHES PER SECTION 1011.2
- MAXIMUM LENGTH OF EXIT TRAVEL: 200 FEET PER 1017.2
- FIRE RATED CONSTRUCTION:
 - PER TABLE 602, IN V.B CONSTRUCTION EXTERIOR WALLS MORE THAN 10' FROM PROPERTY LINE ARE NOT REQUIRED TO BE RATED, 10' OR LESS MUST BE 1 HOUR RATED.
 - STAIRS WITHIN DWELLING UNIT ARE NOT REQUIRED TO BE RATED
- PER TABLE 716.5: 1 HOUR ENCLOSURES AND EXIT ACCESS SHALL HAVE 1 HOUR DOORS.
- ACCESSIBILITY REQUIREMENTS:
 - SINGLE-FAMILY CONSTRUCTION IS EXEMPT FROM MAAB 521 CMR REQUIREMENTS

ENERGY REQUIREMENTS

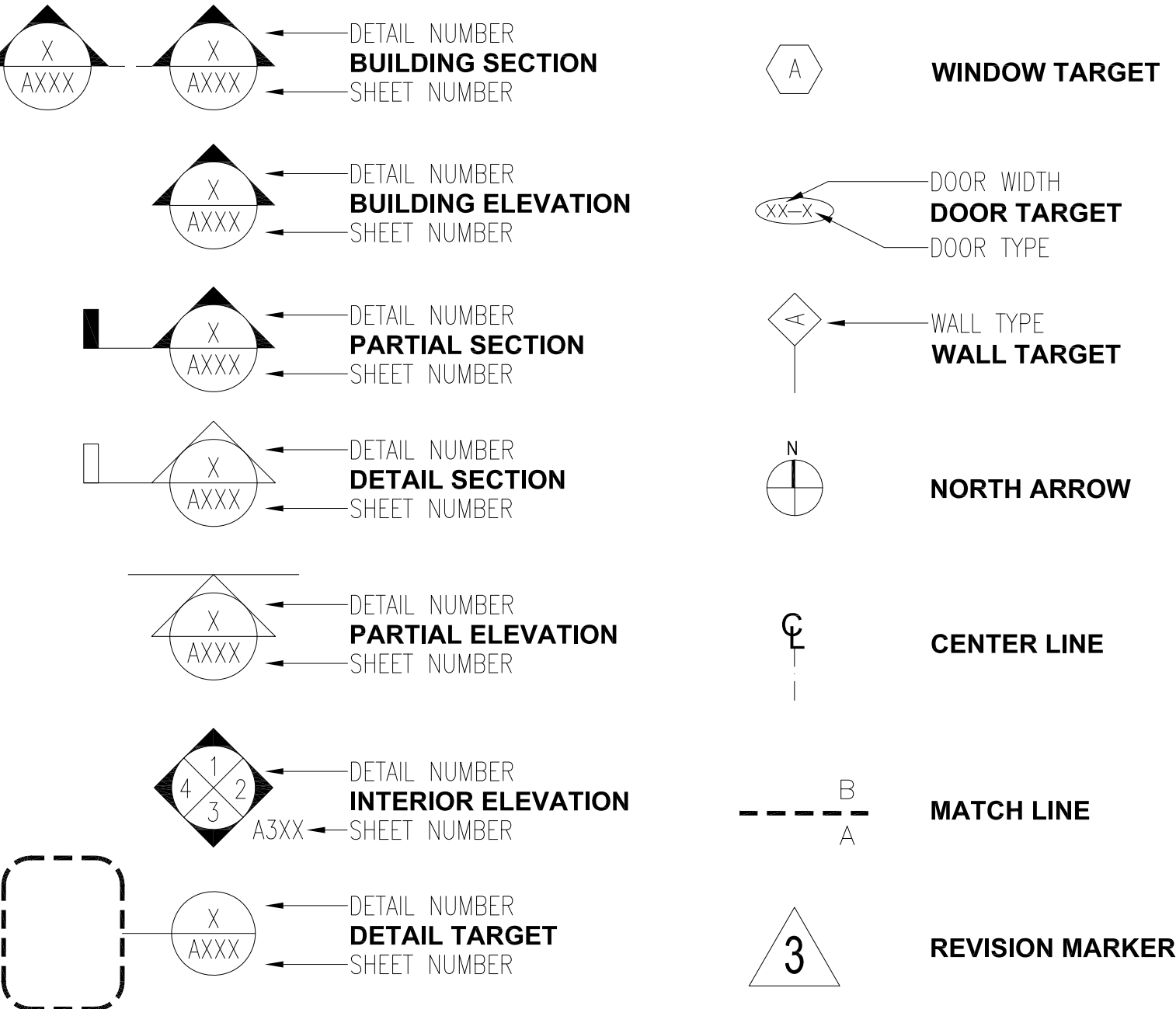
- MASSACHUSETTS ENERGY STRETCH CODE, CHAPTER 4 - RESIDENTIAL ENERGY EFFICIENCY - RESIDENTIAL BUILDINGS, INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2021
- CLIMATE ZONE 5 PER TABLE 301.1
- EXISTING WALLS AND CEILINGS: FILL EXISTING WALL AND CEILING CAVITIES WITH INSULATION PER IECC 503.1
- PER IECC TABLE 402.4, FIXED FENESTRATION SHALL HAVE A U-FACTOR OF 0.36 OR BETTER; OPERABLE FENESTRATION SHALL HAVE A U-FACTOR OF 0.45 OR BETTER, AND SHGC 0.33 OR BETTER.
- SKYLIGHTS SHALL HAVE A U-FACTOR OF 0.5 OR BETTER, SHGC OF 0.4 OR BETTER PER 402.4.
- VAPOR RETARDER IS REQUIRED TO COMPLY WITH R402.1.1 OF THE IECC AND R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE. VAPOR RETARDER IS NOT REQUIRED IN BASEMENT OR BELOW GRADE WALLS.
- R402.1.3 - CEILING: R=60; WOOD FRAME WALL: R-20 (CAVITY)+ 5 (CONTINUOUS); FLOOR R=30; BASEMENT WALLS AND CRAWL SPACES: R=15 CONTINUOUS OR R=19 IN CAVITY OR R=13 IN CAVITY WITH R=5 CONTINUOUS; SLAB R=10ci TO 4"
- DEMAND RECIRCULATION WATER SYSTEMS SHALL HAVE CONTROLS THAT COMPLY WITH REQUIRED CODES
- REFER TO PLUMBING DRAWINGS FOR INSULATION AT PIPING.

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH STATE, NATIONAL CODES, REGULATIONS AND RESTRICTIONS WHICH APPLY TO THIS PROJECT.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREON. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND POSTING ALL NECESSARY VALID CONSTRUCTION PERMITS FROM ALL LOCAL, STATE AND FEDERAL AUTHORITIES HAVING JURISDICTION PRIOR TO THE START OF ON-SITE CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP ALL BUILDING MEANS OF EGRESS CLEAR OF ANY OBSTRUCTIONS AT ALL TIMES.
- THE GENERAL CONTRACTOR MUST COORDINATE WITH THE BUILDING FACILITIES MANAGER ALL ACTIVITIES INCLUDING, BUT NOT LIMITED TO WORK WHICH WILL GENERATE EXCESSIVE NOISE NOISE AND MODIFICATION TO UTILITIES. WORK MUST NOT INTERFERE WITH EXISTING SMOKE DETECTORS, ALARMS OR BUILDING SYSTEM MANAGEMENT
 - THE GENERAL CONTRACTOR SHALL REVIEW AND BE FAMILIAR WITH ANY TENANT DESIGN AND CONSTRUCTION MANUAL AND ANY OTHER BUILDING OWNER OR BUILDING STANDARDS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION ACTIVITIES, MATERIALS, MEANS AND METHODS. THE CONTRACTOR IS TO COORDINATE ALL SUBCONTRACTORS TO COMPLETE THE FULL SCOPE OF WORK AS INDICATED IN THE CONSTRUCTION DOCUMENTS.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROPERLY LAYING OUT THE WORK AND FOR ALL LINES AND MEASUREMENTS FOR THE WORK.
 - BUILDING OR SITE COMPONENTS WHICH ARE AFFECTED OR DAMAGED BY THE WORK SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR, OR AS APPROVED BY THE OWNER.
 - WHERE THE DESIGN INTENT CANNOT BE DETERMINED FROM THE DRAWINGS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. (312) 780-9456
- THE CONTRACTOR SHALL VERIFY THE DIMENSIONS SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK, AND SHALL BE HELD RESPONSIBLE FOR ANY ERRORS OR INACCURACIES RESULTING FROM FAILURE TO DO SO.
 - DETAILS SHOWN ARE INDICATIVE OF THE CHARACTER, PROFILES, MATERIALS AND SYSTEMS REQUIRED FOR THE WORK INCLUDING THOSE CONDITIONS NOT COVERED BY SPECIFIC DETAILS.
 - DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS. WHERE THERE APPEARS TO BE A CONFLICT OR WHERE DIMENSIONS CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
 - ALL DIMENSIONS ARE TO INSIDE FACE OF WALLS.
 - UNLESS SHOWN OTHERWISE, ALL DOORS SHALL BE LOCATED SUCH THAT THERE IS A 6 INCH WALL RETURN BETWEEN THE JAMB FRAME AND THE ADJACENT WALL.
- +0'-0" IN THE DRAWINGS TO INDICATE ELEVATION OF BASEMENT.
- CONSULT WITH THE ARCHITECT OR ENGINEER BEFORE PENETRATING ANY JOISTS, BEAMS, OR OTHER STRUCTURAL MEMBERS
- ALL CONSTRUCTION MATERIALS AND EQUIPMENT ARE TO BE STORED NEATLY WITHIN THE SCOPE OF WORK AREA ONLY.

- ALL MATERIALS AND EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS
 - SUBMIT SHOP DRAWINGS AND SAMPLES FOR ALL STEEL, MILLWORK, SIGNAGE, HARDWARE AND INTERIOR FINISHES
 - SUBMIT PRODUCT DATA FOR FIXTURES AND HARDWARE
 - ALL INTERIOR AND EXTERIOR FINISHES, COLORS AND MATERIALS ARE TO BE SELECTED AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION
 - ALL INTERIOR FINISHES AND FURNISHINGS ARE TO BE CLASS 'A' FIRE RATED AND ARE TO COMPLY WITH MASSACHUSETTS BUILDING CODE AND THE BOSTON FIRE CODE
 - ALL WOOD COMPONENTS SHALL BE FIRE TREATED
 - CONFIRM THAT ALL MATERIALS AND FINISHES, INCLUDING THEIR FABRICATION AND INSTALLATION WILL NOT RELEASE FUMES OR AROMAS WHICH MAY BE A HAZARD OR NUISANCE TO PERSONNEL
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PANEL CONTROL AND CIRCUIT DESIGN AND FOR COMPLIANCE WITH ALL BUILDING, LIFE SAFETY, AND STATE AND NATIONAL ELECTRICAL CODES WHICH MAY APPLY
 - ALL EXPOSED UTILITY WIRES AND PIPES SHALL BE INSTALLED IN A WAY THAT DOES NOT OBSTRUCT OR PREVENT THE CLEANING OF FLOORS, WALLS AND CEILINGS; THEY SHALL BE INSTALLED A MINIMUM OF 6" OFF OF FLOORS AND 1" OFF OF WALLS, CEILINGS OR ADJACENT PIPES OR WIRES
- WHERE APPROPRIATE, EXISTING SPRINKLER HEADS ALARM SYSTEM AND DETECTORS ARE TO REMAIN. MODIFY LOCATIONS ONLY WHERE CEILING IS ALTERED OR AS INDICATED ON FIRE PROTECTION DRAWINGS.
- EQUIPMENT INFORMATION AND SPECIFICATIONS, INCLUDING EQUIPMENT SUPPLIED BY THE OWNER, ARE TO BE THE MOST CURRENT AT THE TIME OF DOCUMENTATION PREPARATION.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT DIMENSIONS AND EQUIPMENT CONNECTION REQUIREMENTS.
 - MAKE ALL FINAL CONNECTIONS, INSTALL THE SET UP IN WORKING ORDER, CHECK WARRANTIES, TEST AND NOTE VOID WARRANTIES.
 - COORDINATE WITH THE OWNER DELIVERY, STORAGE AND INSTALLATION OF ALL EQUIPMENT, INCLUDING THAT SUPPLIED BY THE OWNER.
- PROVIDE ALL TEMPORARY FACILITIES AND SERVICES, CONSTRUCTION AND SUPPORT FACILITIES AND SECURITY AND PROTECTION AS NEEDED TO PROTECT NEW AND EXISTING CONSTRUCTION FOR THE DURATION OF THE WORK
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS OTHERWISE SPECIFIED FOR A LONGER PERIOD OF TIME FOR A CERTAIN ITEM
- SEAL AND CAULK AROUND ALL PENETRATIONS, CRACKS AND CREVICES AND ANY OPENINGS CAPABLE OF HARBORING INSECTS OR RODENTS
- EMPLOY EXPERIENCED WORKERS FOR FINAL CLEANING, CLEAN TO COMMERCIAL BUILDING PROGRAM STANDARDS
 - DISPOSE OF ALL WASTE AND DEBRIS OFF THE PREMISES

SYMBOLS



193 W. SPRINGFIELD

Boston, MA

OWNER NAME

Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:

context

a collaborative design workshop

200 Portland Street, Boston, MA, 02114
(312) 780-9456

LIST OF DRAWINGS

A000 COVER, ANALYSIS,
NOTES

A101 SITE PLAN
A102 LEVEL 1 PLAN

A201 BUILDING ELEVATION
A251 BUILDING SECTION

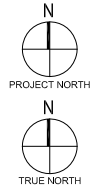
A701 EXTERIOR WALL &
INTERIOR PARTITION
ASSEMBLIES

A702 FLOOR-CEILING &
ROOF-CEILING
ASSEMBLIES

A703 TYPICAL DETAILS
A704 TYPICAL DETAILS

A901 EXISTING PLANS
A951 EXISTING
ELEVATIONS

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

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COVER, ANALYSIS,
NOTES

PROJECT
NO.

0693

SHEET
NO.

A000

DATE:

08-14-2024

SCALE:

AS INDICATED

191 W. SPRINGFIELD ST

195 W. SPRINGFIELD ST

80'-0"

5'-11"

42'-2 1/2"

10'-0"

20'-0"

11'-0 3/4"

31'-10 1/2"

8'-6"

8'-6"

3'-0"

PARKING SPACE #1

PARKING SPACE #2

PARKING TO BE ADDED

PIT AREA

REFER TO SHEET A102 FOR INTERIOR PLANS

20'-0" EXTENT OF ADDITION

10'-0" EXTENT OF ADDITION

1 A102

1 A103

1 A104

1 A105

1 SITE PLAN

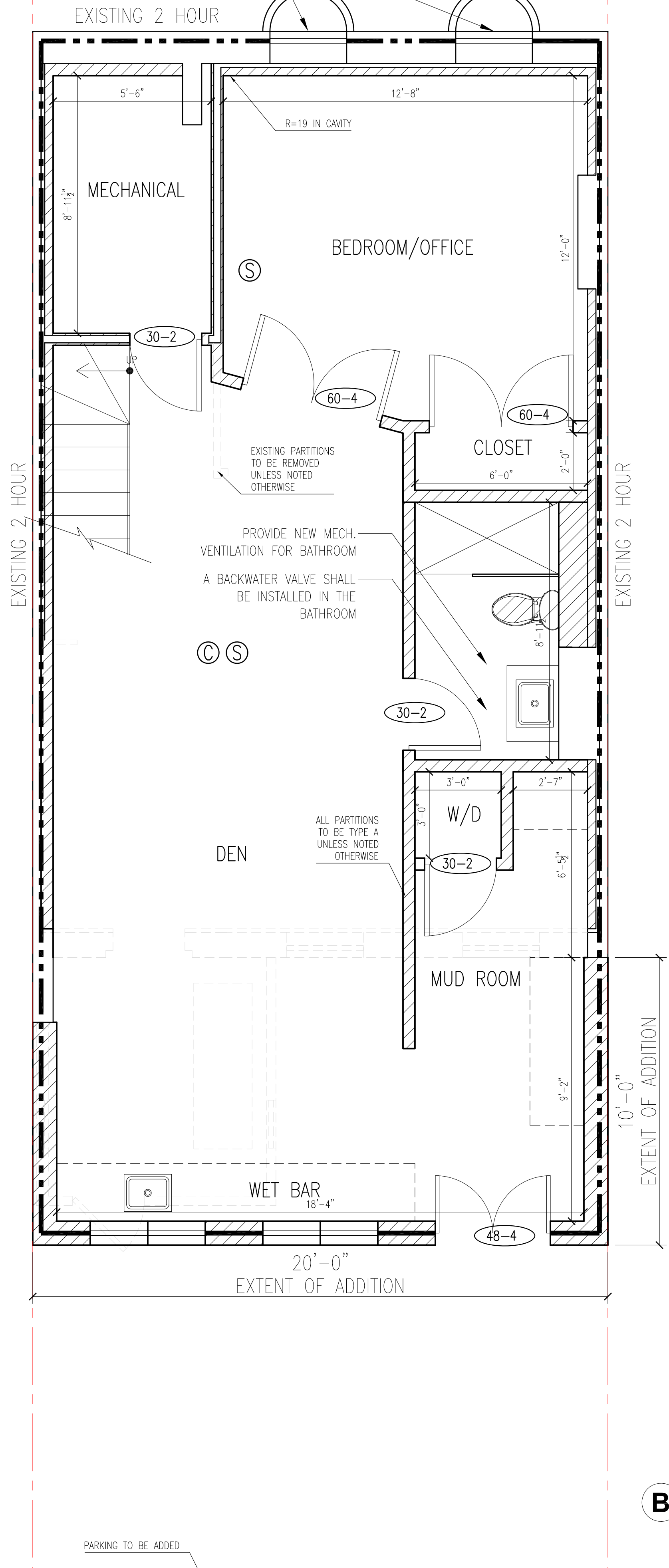
SCALE: 1/4" = 1'-0"

ALLEY

A101

WINDOW WELLS THAT ARE 30" OR GREATER IN DEPTH SHALL BE PROTECTED WITH A 42" GUARDRAIL, AND ACCOMPANIED BY A LADDER AS REQUIRED IN 1030.5.2

WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44" SHALL BE EQUIPPED WITH A LADDER WITH AN INSIDE WIDTH OF 12". REFER TO 1030.5.2

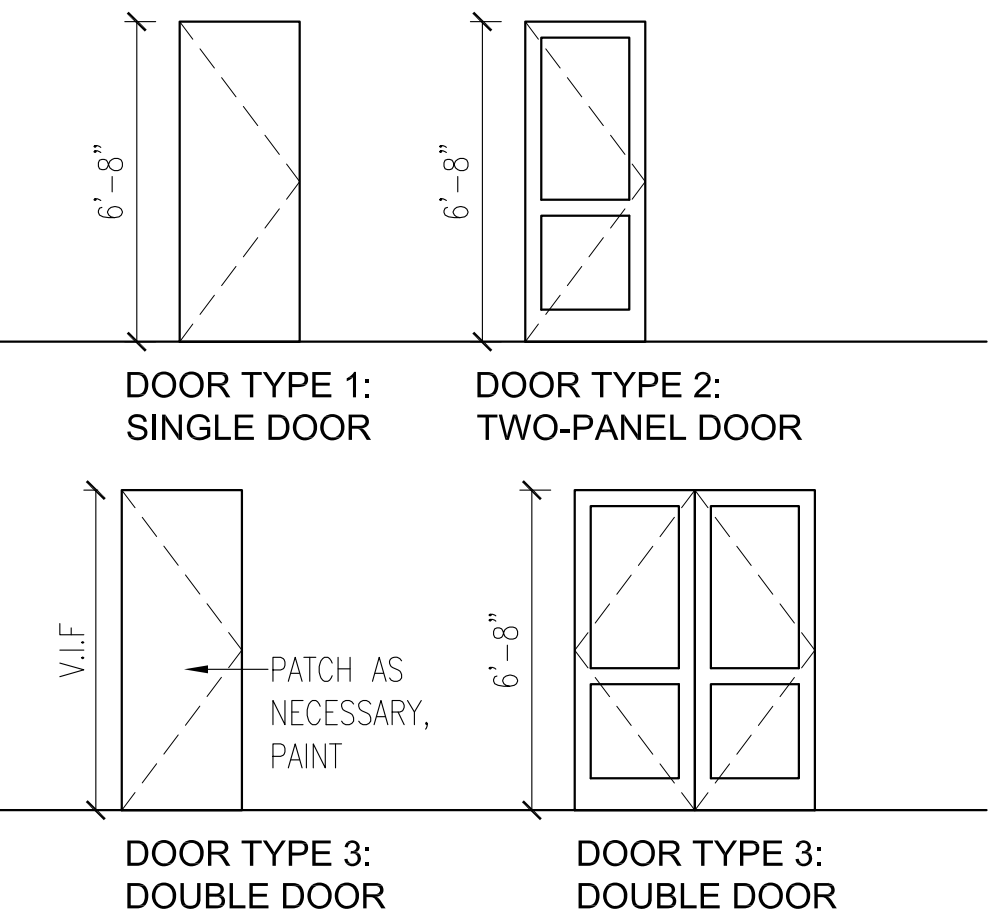


LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- 1 HR
- 1 HOUR RATED PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
- 4" BETWEEN ADJACENT WALL AND OPENING, UNLESS NOTED OTHERWISE
- SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR, HARDWIRED AND INTERCONNECTED

DOOR SCHEDULE

- ALL NEW DOORS TO BE 6'-8" HIGH, 1 3/4" THICK SOLID CORE WOOD DOORS WITH WOOD FRAMES UNLESS NOTED OTHERWISE.
- INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
- DOOR TYPES:



193 W. SPRINGFIELD

Boston, MA

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(xxx) xxx-xxxx

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SHEET NOTES

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- REFER TO SHEET A702 FOR TYP. FLOOR, ROOF, & CEILING ASSEMBLIES
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4. INFILL CONSTRUCTION TO MATCH EXIST. CONSTRUCTION, FIRE-RATING, R-VALUE, AND STC RATING

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

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PROPOSED BASEMENT
PLAN

PROJECT
No.

0693

SHEET
No.

A102

DATE:

08-14-2024

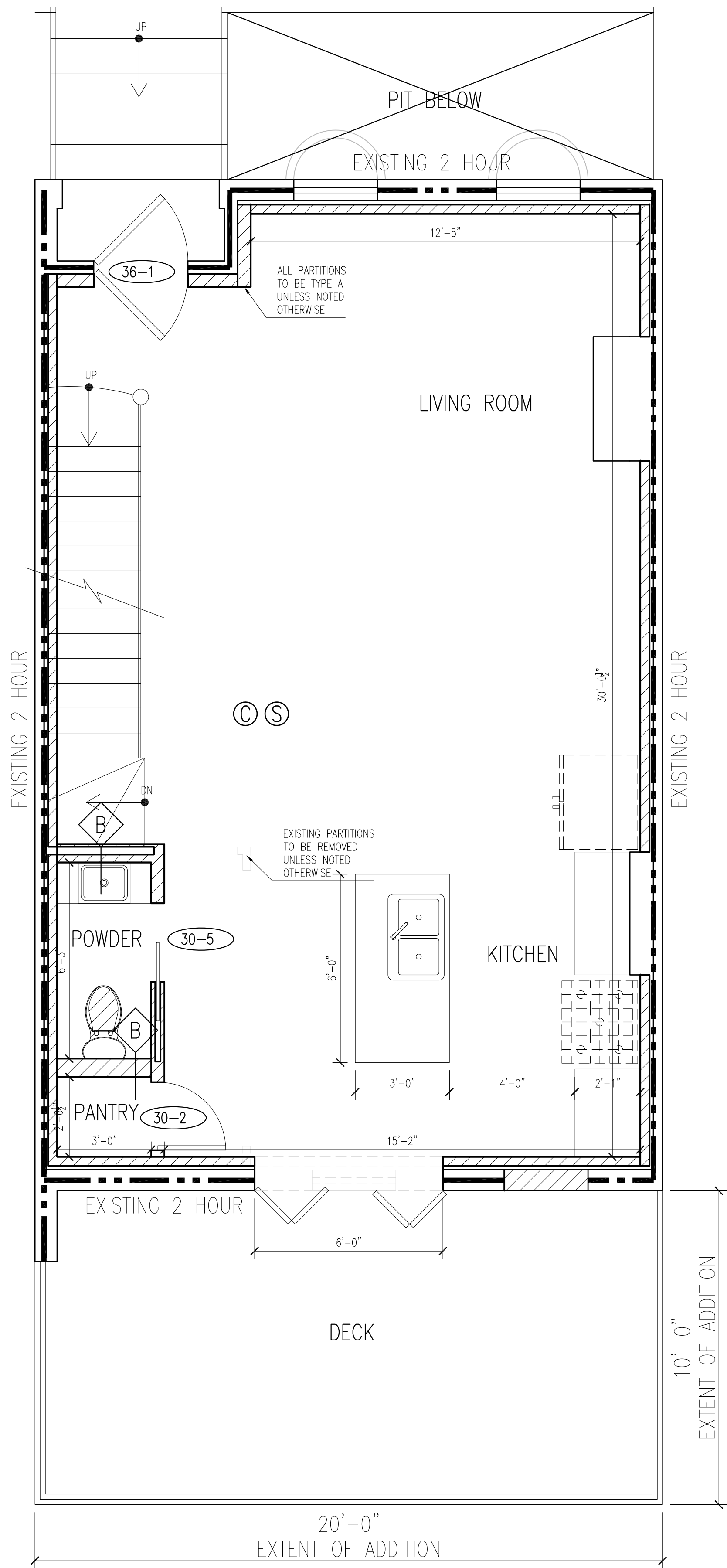
SCALE:

AS INDICATED

B

BASEMENT PLAN

SCALE: 3/8" = 1'-0"



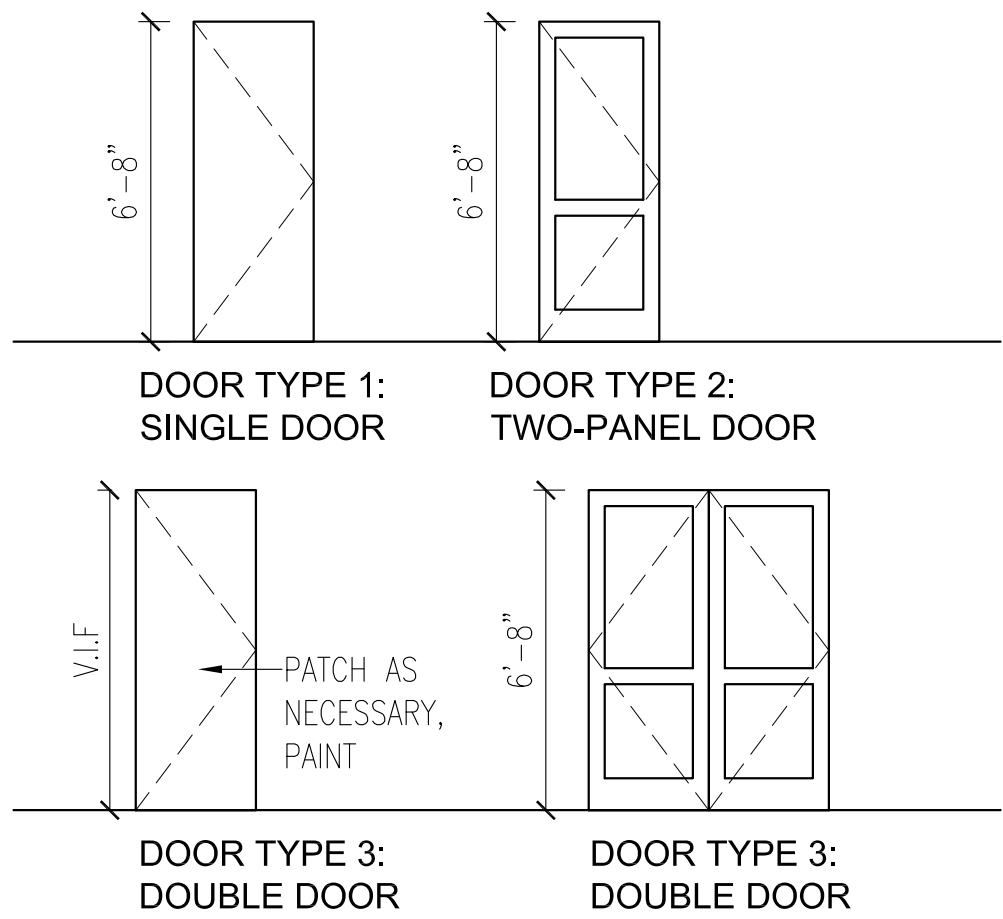
1 LEVEL 1 PLAN
SCALE: 3/8" = 1'-0"

LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- 1 HOUR RATED PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
4" BETWEEN ADJACENT WALL AND OPENING, UNLESS NOTED OTHERWISE
- SMOKE DETECTOR, HARDWIRED AND INTERCONNECTED
- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
- HEAT DETECTOR, HARDWIRED AND INTERCONNECTED

DOOR SCHEDULE

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- INTERIOR DOORS ARE TO BE PAINTED WHITE, CONFIRM EXTERIOR DOOR COLOR AND FINISH WITH OWNER AND ARCHITECT
- DOOR TYPES:



193 W. SPRINGFIELD
Boston, MA

OWNER NAME
Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:

context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

SHEET NOTES

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4. INFILL CONSTRUCTION TO MATCH EXIST. CONSTRUCTION, FIRE-RATING, R-VALUE, AND STC RATING

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

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PROPOSED LEVEL 1
PLAN

PROJECT No.:

0693

SHEET No.:

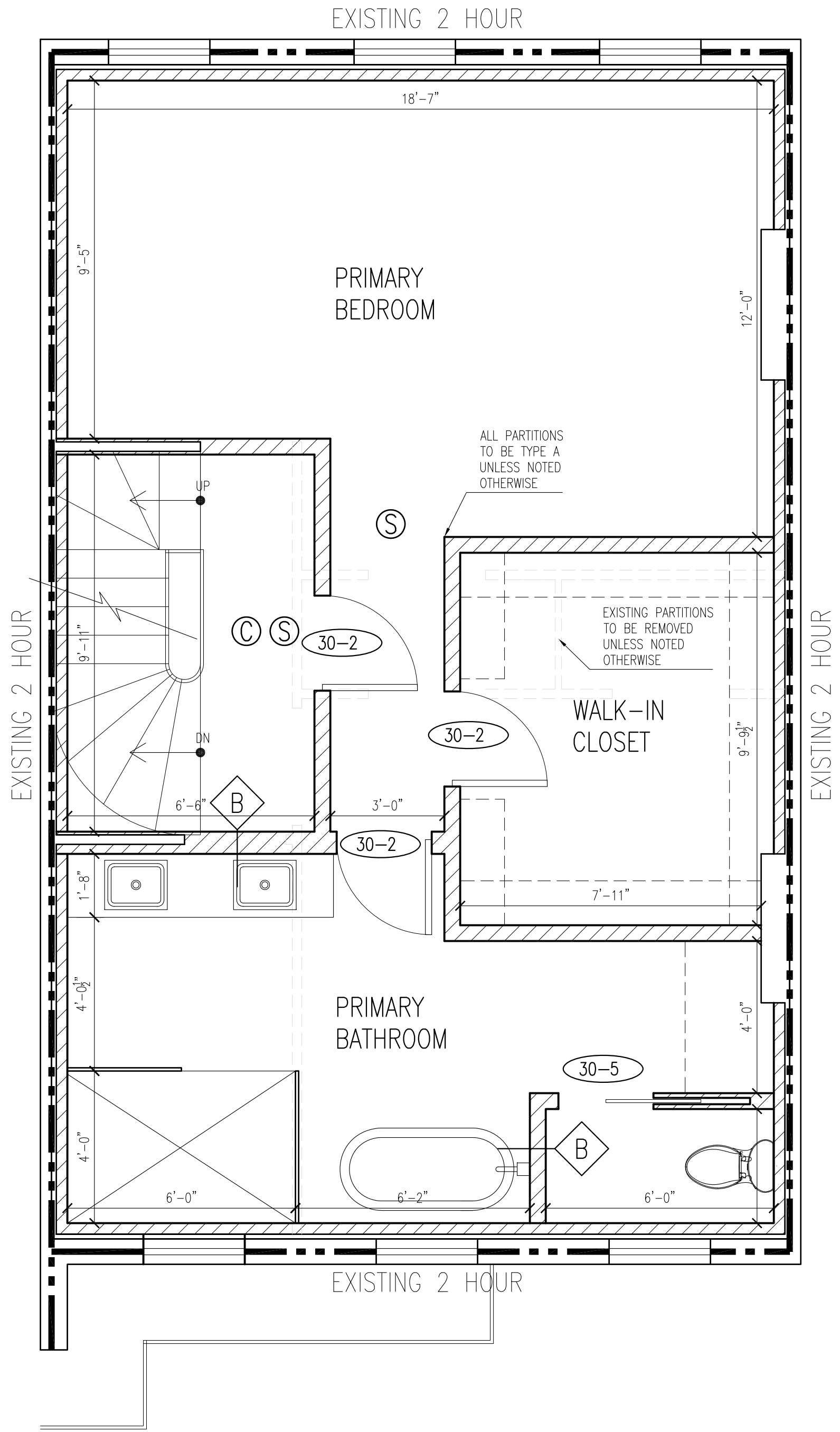
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DATE:

08-14-2024

SCALE:

AS INDICATED



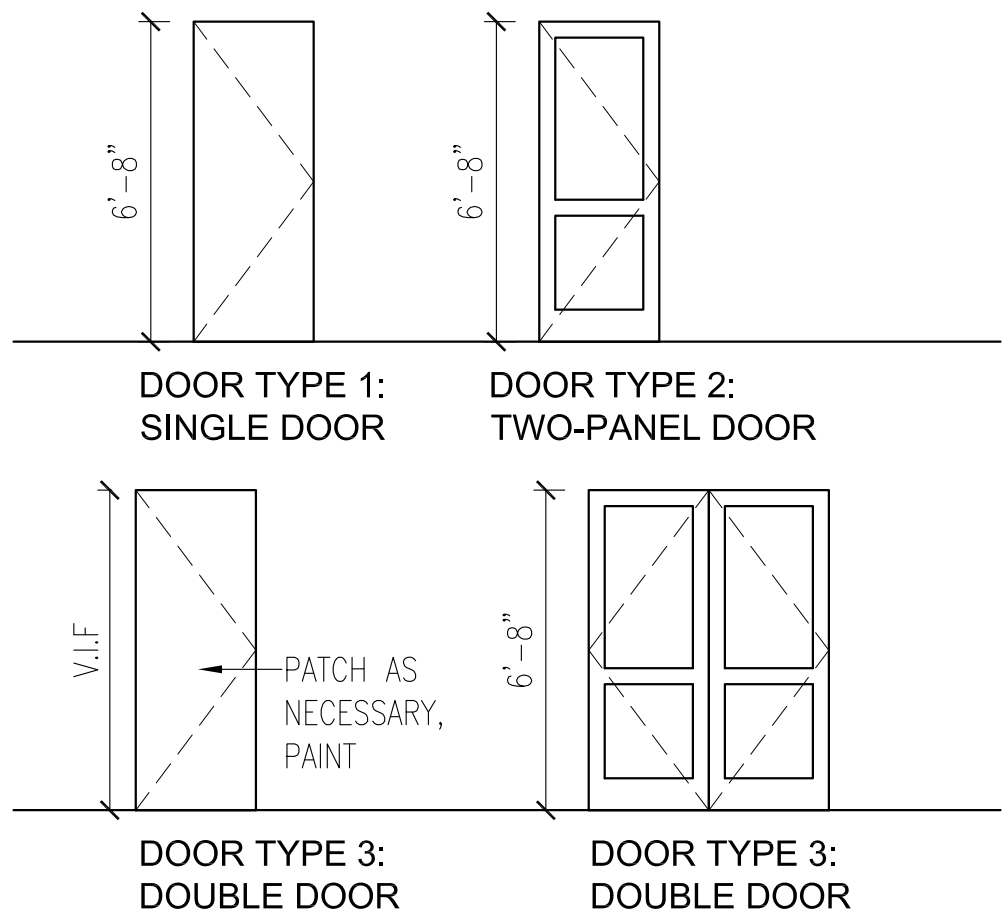
2 LEVEL 2 PLAN
SCALE: 3/8" = 1'-0"

LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- 1 HR
- 1 HOUR RATED PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
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DOOR SCHEDULE

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- DOOR TYPES:



193 W. SPRINGFIELD Boston, MA

OWNER NAME
Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:

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a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

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4. INFILL CONSTRUCTION TO MATCH EXIST. CONSTRUCTION, FIRE-RATING, R-VALUE, AND STC RATING

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

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PROPOSED LEVEL 2
PLAN

PROJECT
No.

0693

SHEET
No.

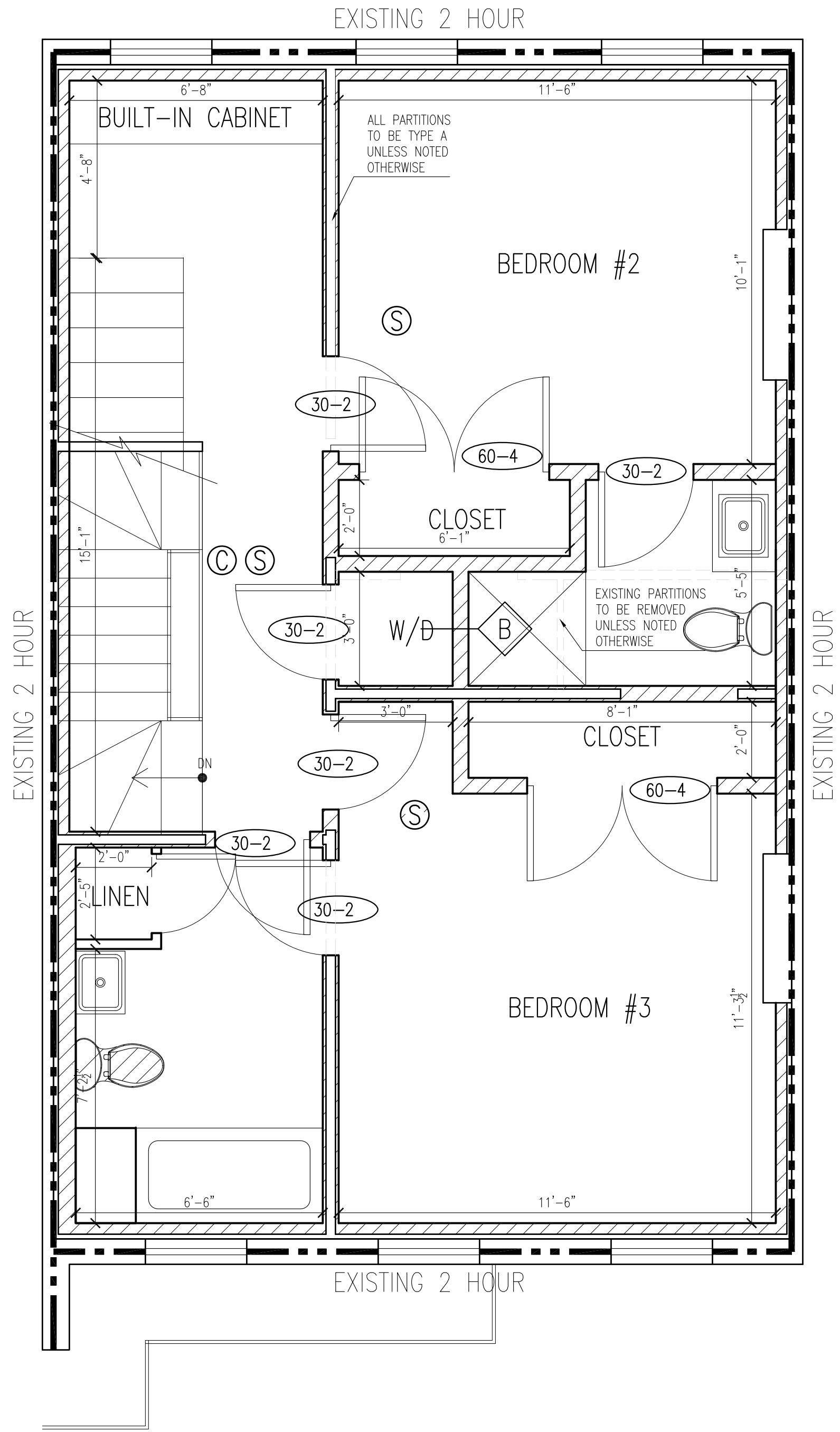
A104

DATE:

08-14-2024

SCALE:

AS INDICATED



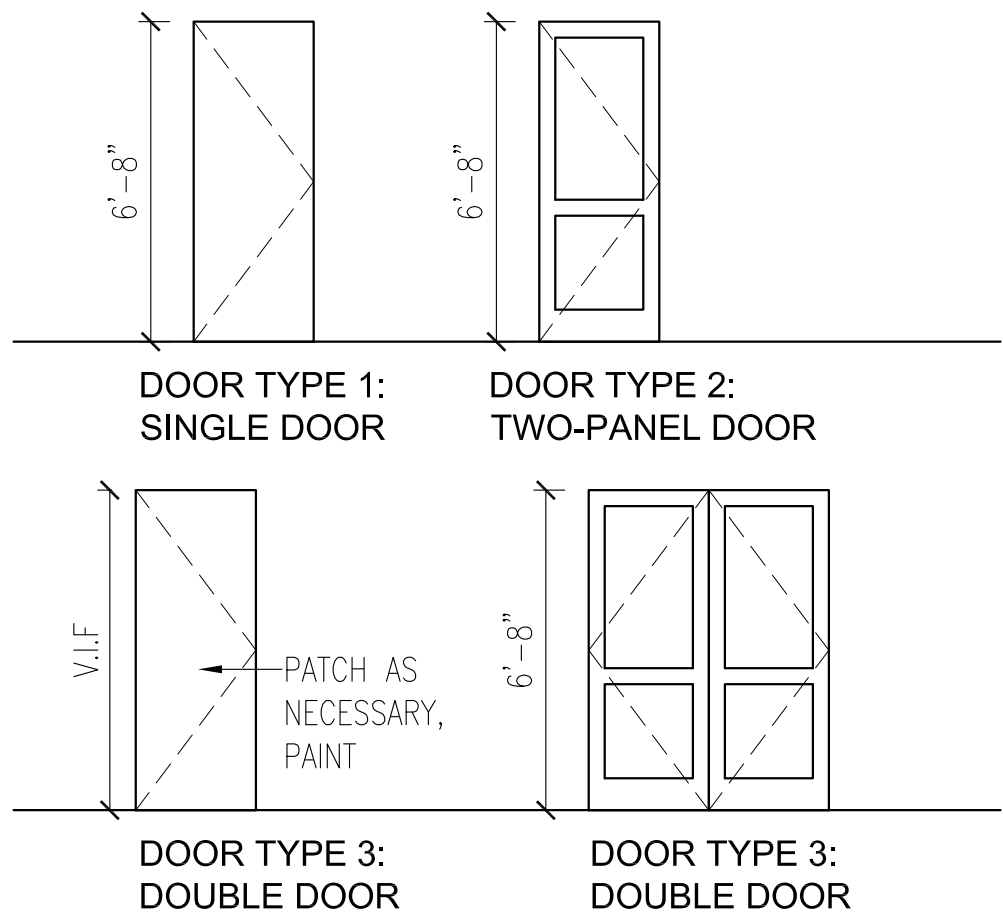
3 LEVEL 3 PLAN
SCALE: 3/8" = 1'-0"

LEGEND

- NEW PARTITION
- EXISTING PARTITION TO REMAIN
- EXISTING PARTITION TO BE REMOVED
- 1 HR
- 1 HOUR RATED PARTITION
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED
- NEW DOOR
4" BETWEEN ADJACENT WALL AND OPENING, UNLESS NOTED OTHERWISE
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- CARBON MONOXIDE DETECTOR, HARDWIRED AND INTERCONNECTED
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- DOOR TYPES:



193 W. SPRINGFIELD

Boston, MA

OWNER NAME

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(xxx) xxx-xxxx

ARCHITECT:

context
a collaborative design workshop

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SHEET NOTES

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4. INFILL CONSTRUCTION TO MATCH EXIST. CONSTRUCTION, FIRE-RATING, R-VALUE, AND STC RATING

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

(INITIAL HERE)

00 08-14-2024

ISSUED FOR PERMIT

PROPOSED LEVEL 3
PLAN

PROJECT
No.

0693

SHEET
No.

A105

DATE:

08-14-2024

SCALE:

AS INDICATED



1 SPRINGFIELD ST ELEVATION
SCALE: 3/8" = 1'-0"

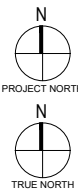
193 W. SPRINGFIELD
Boston, MA

OWNER NAME
Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:
context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

- SHEET NOTES**
- ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
 - A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
 - MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

00	08-14-2024 ISSUED FOR PERMIT

SPRINGFIELD ST
PROPOSED ELEVATION

PROJECT No.: 0693
DATE: 08-14-2024
SCALE: AS INDICATED

SHEET No.:

A201

- SHEET NOTES**
- ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
 - A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
 - MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS

PROJECT KEY PLAN:

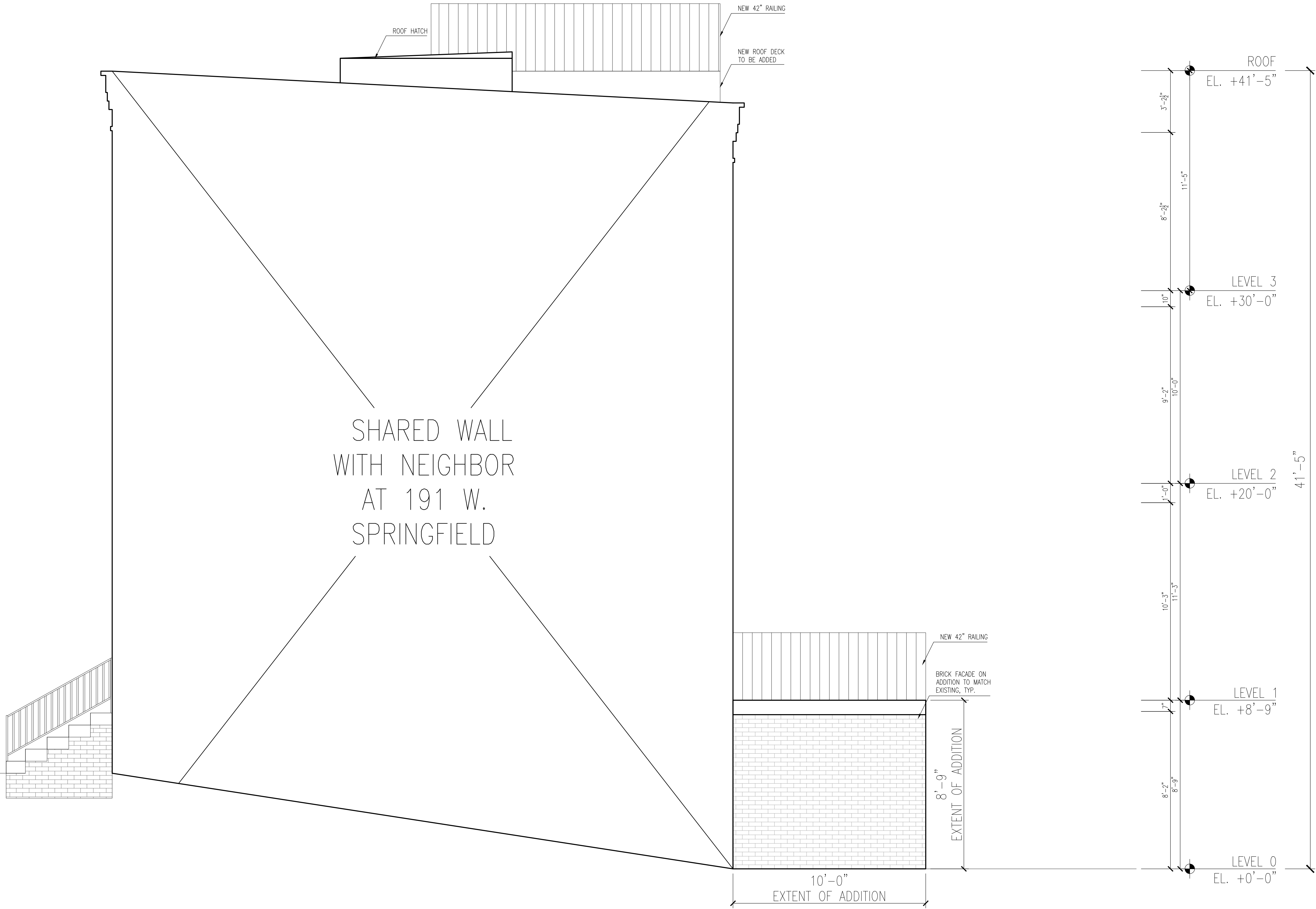


SEAL:



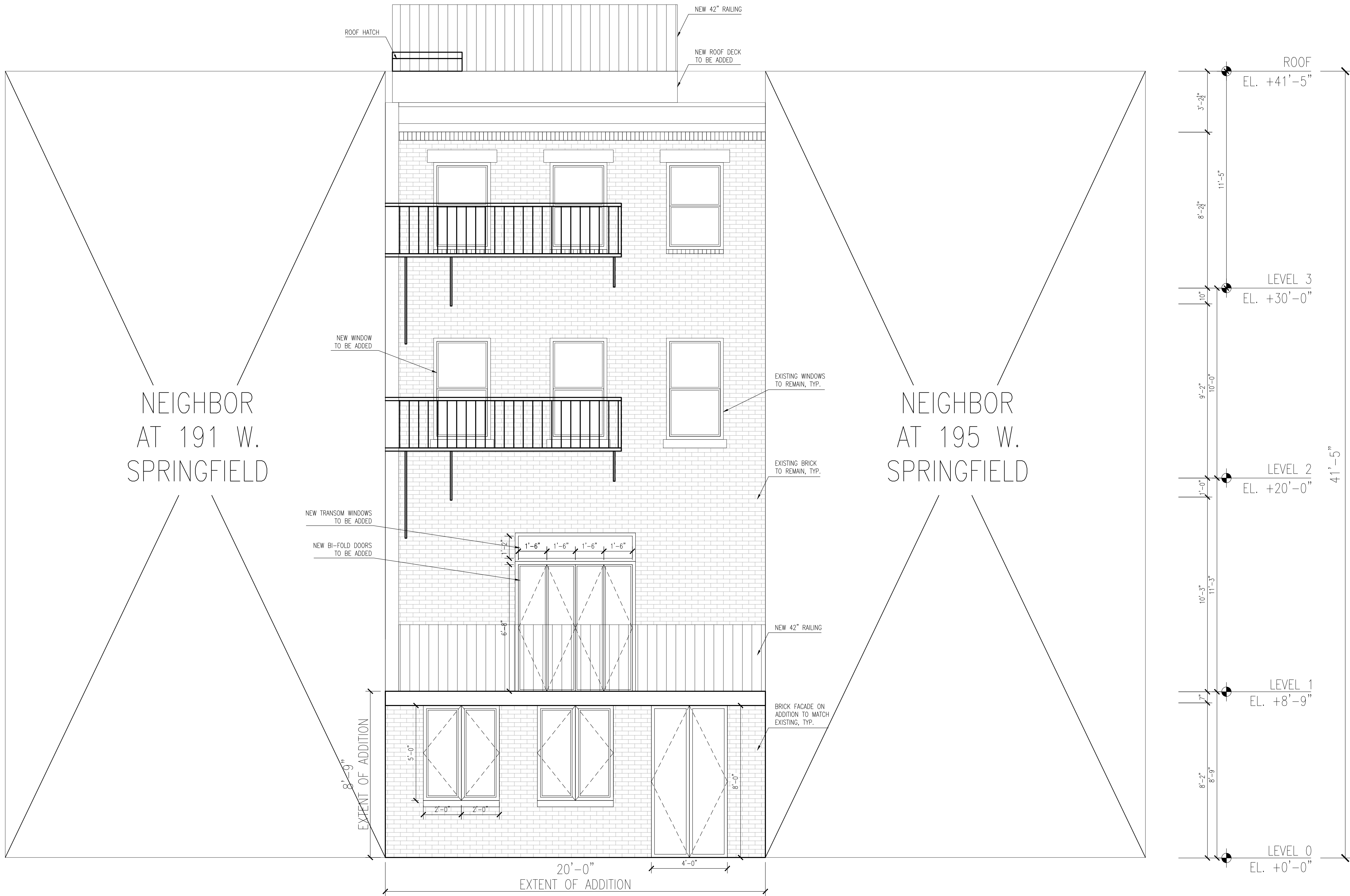
DRAWN BY: CM	CHECKED BY: EZ
(INITIAL HERE)	
00	08-14-2024 ISSUED FOR PERMIT

SIDE PROPOSED
ELEVATION



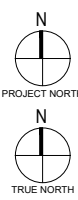
1 SIDE ELEVATION
SCALE: 3/8" = 1'-0"

- SHEET NOTES**
- ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
 - A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
 - MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS



1 REAR ELEVATION
SCALE: 3/8" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

(INITIAL HERE)

00

08-14-2024

ISSUED FOR PERMIT

REAR PROPOSED
ELEVATION

PROJECT

No.:

0693

SHEET

No.:

A203

DATE:

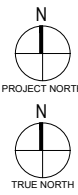
08-14-2024

SCALE:

AS INDICATED

- SHEET NOTES**
- ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
 - A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
 - MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

(INITIAL HERE)

00 08-14-2024

ISSUED FOR PERMIT

SIDE PROPOSED
ELEVATION

PROJECT No.:

0693

SHEET No.:

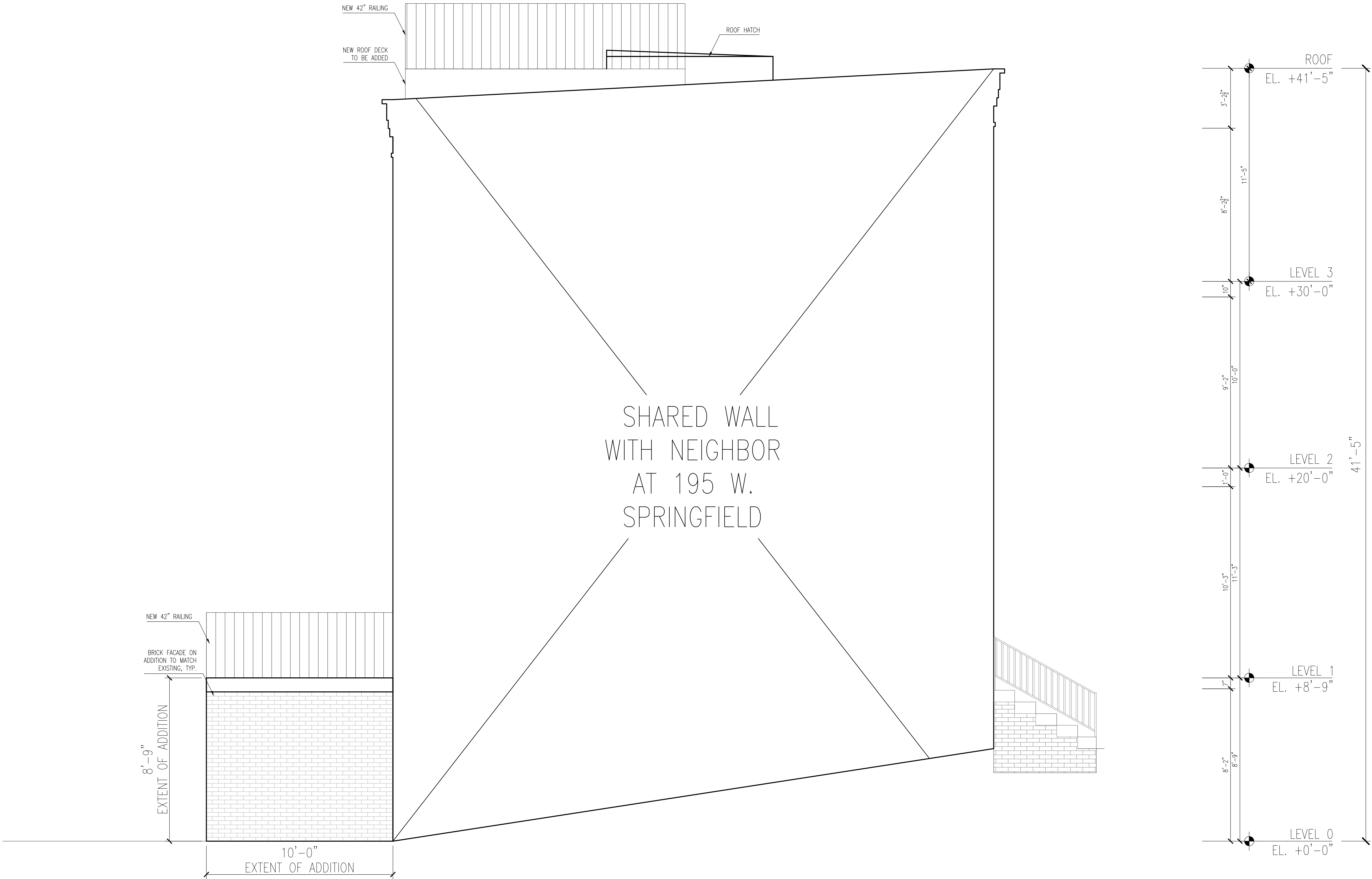
A204

DATE:

08-14-2024

SCALE:

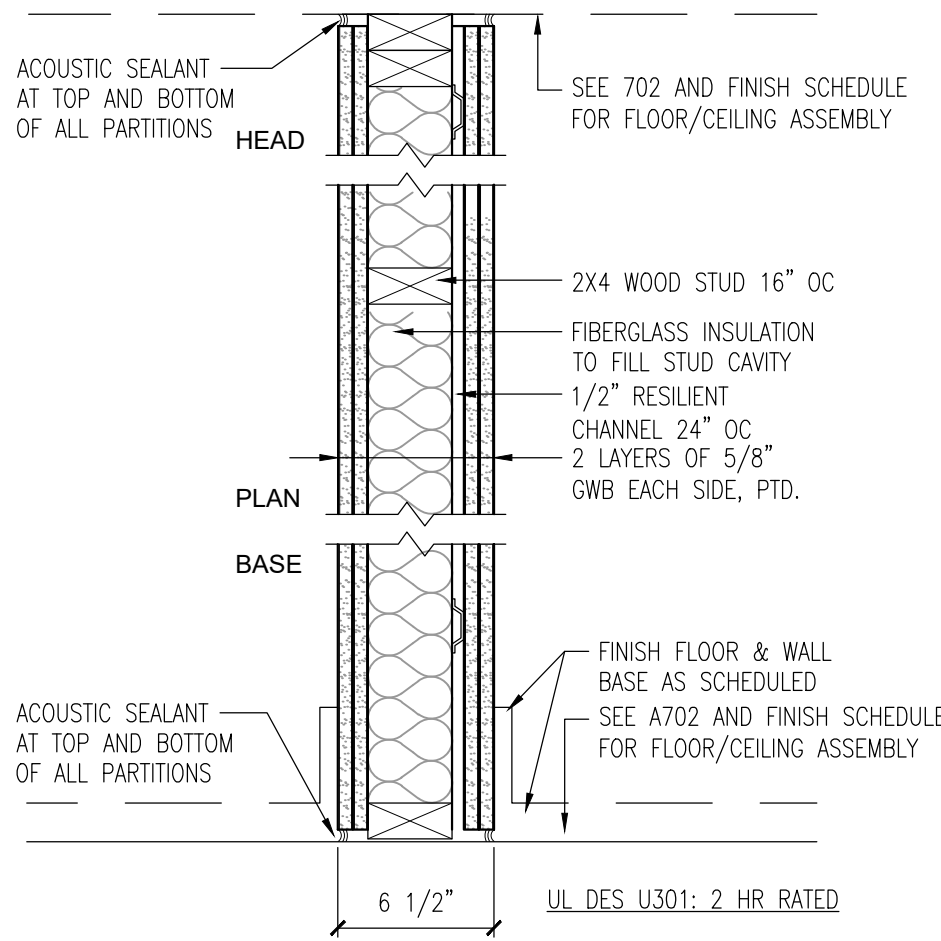
AS INDICATED



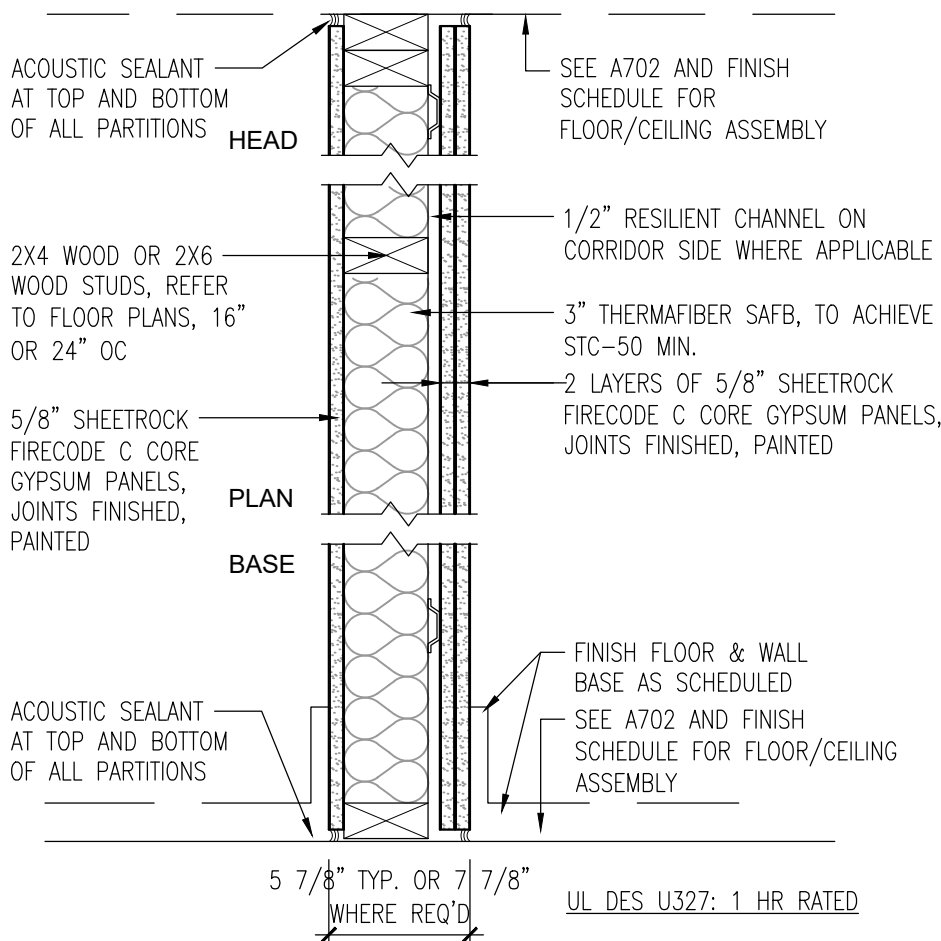
1 SIDE ELEVATION
SCALE: 3/8" = 1'-0"

SHEET NOTES

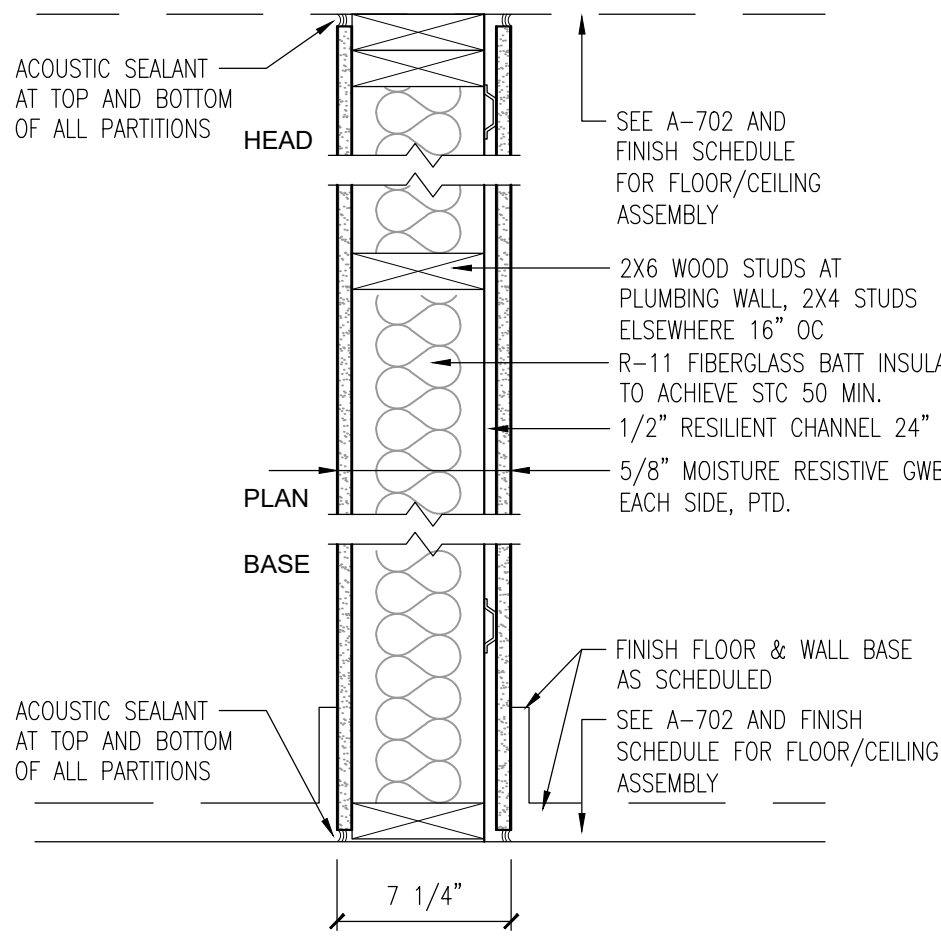
1. EWA = EXTERIOR WALL ASSEMBLY
2. IP = INTERIOR PARTITION
3. NR = NOT RATED



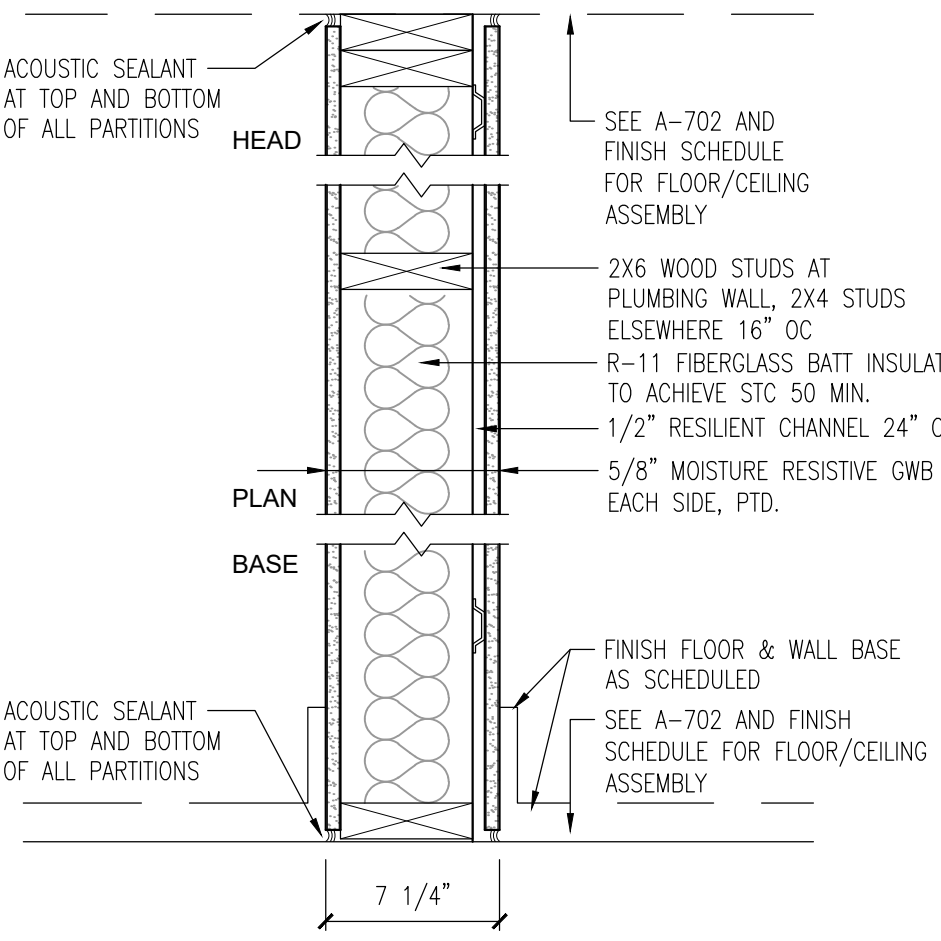
E IP: STAIRWALL (2HR)
SCALE: 1 1/2" = 1'-0"



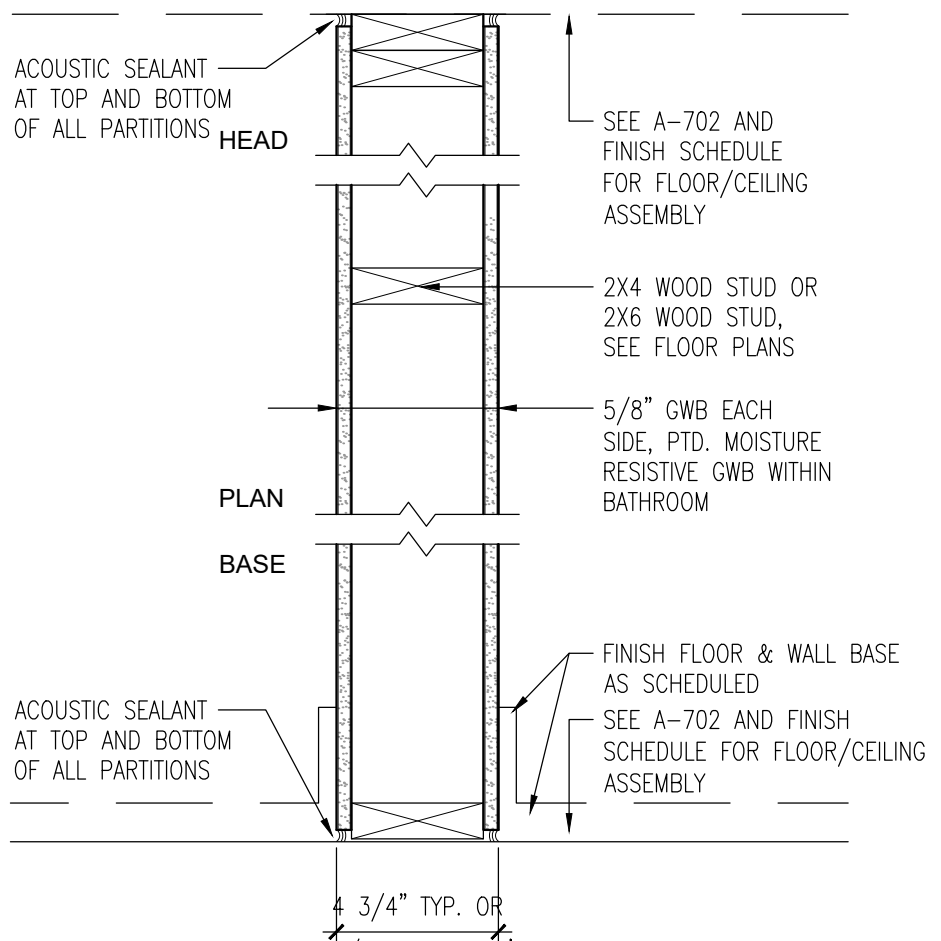
D IP: UNIT DEMISING WALL (1HR)
SCALE: 1 1/2" = 1'-0"



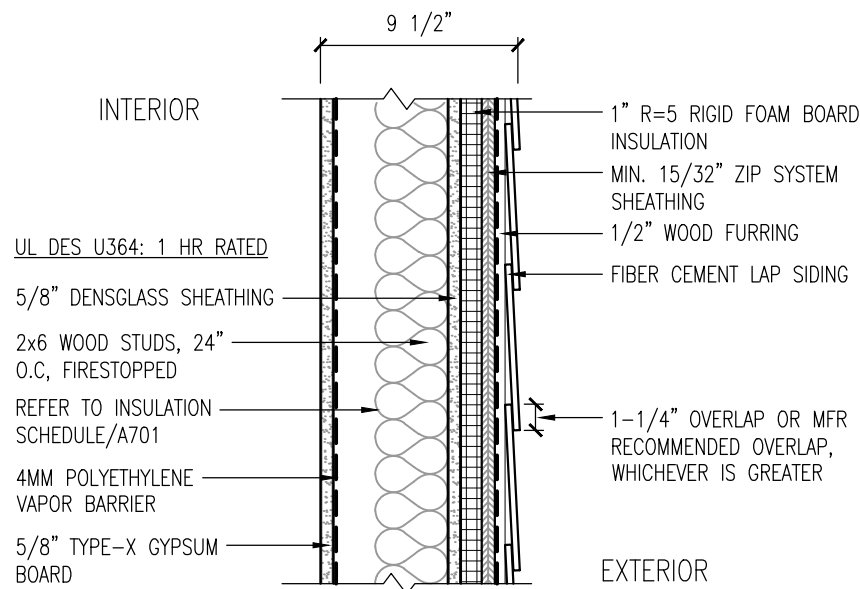
C IP: CORRIDOR WALL (1/2HR)
SCALE: 1 1/2" = 1'-0"



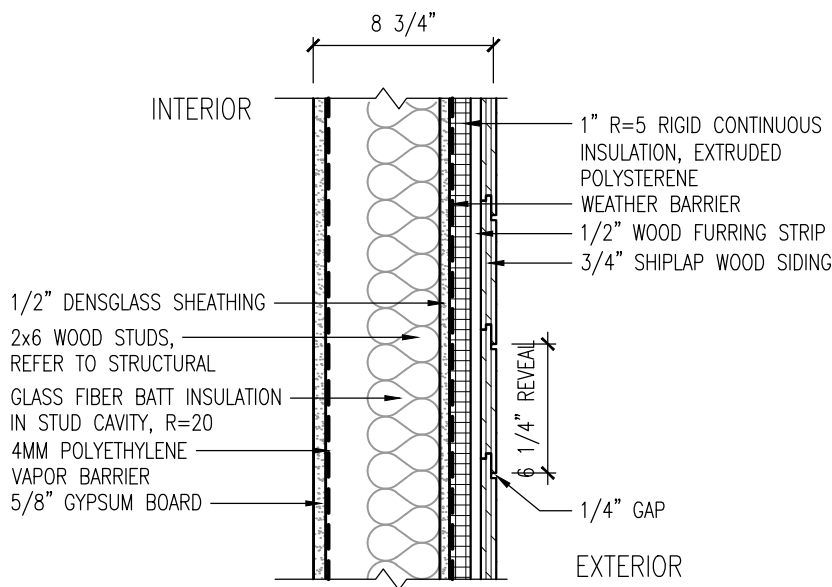
B IP: BATHROOM PARTITION (NR)
SCALE: 1 1/2" = 1'-0"



A IP: INTERIOR PARTITION (NR)
SCALE: 1 1/2" = 1'-0"

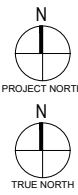


2 EWA: LAP SIDING (1HR)
SCALE: 1 1/2" = 1'-0"



1 EWA: LAP SIDING
SCALE: 1 1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

00

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EXTERIOR WALL &
INTERIOR PARTITION
ASSEMBLIES

PROJECT

No.

0693

SHEET

No.

DATE:

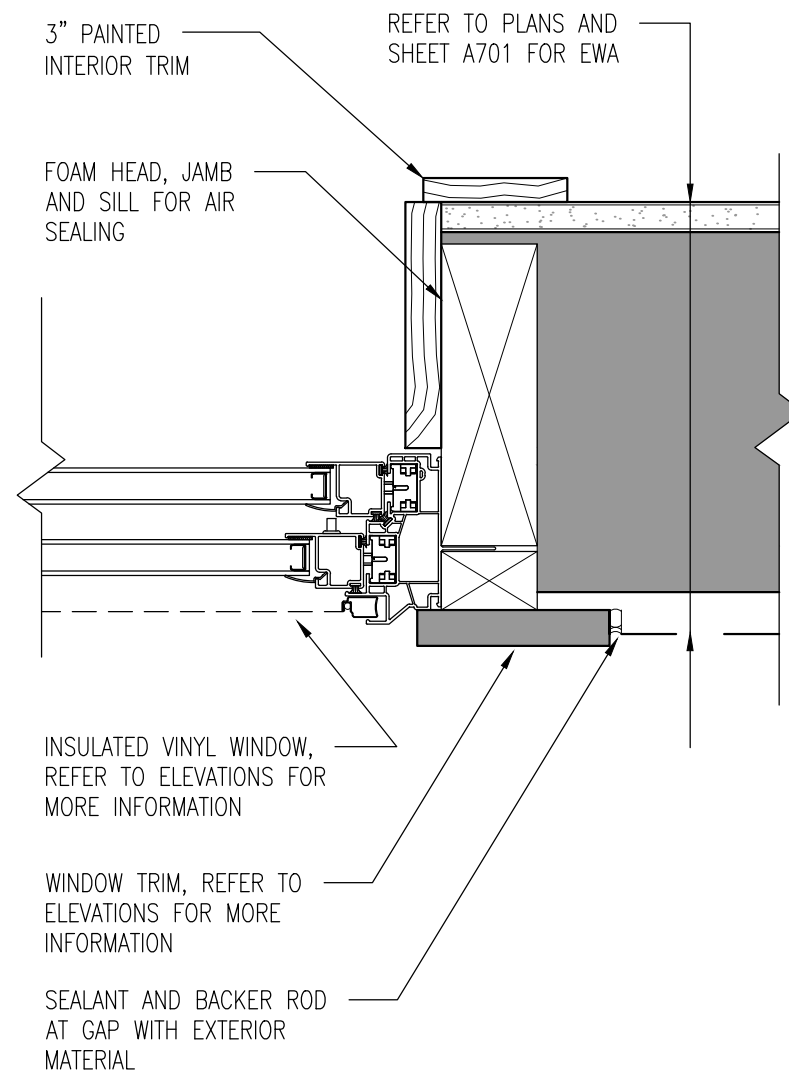
08-14-2024

SCALE:

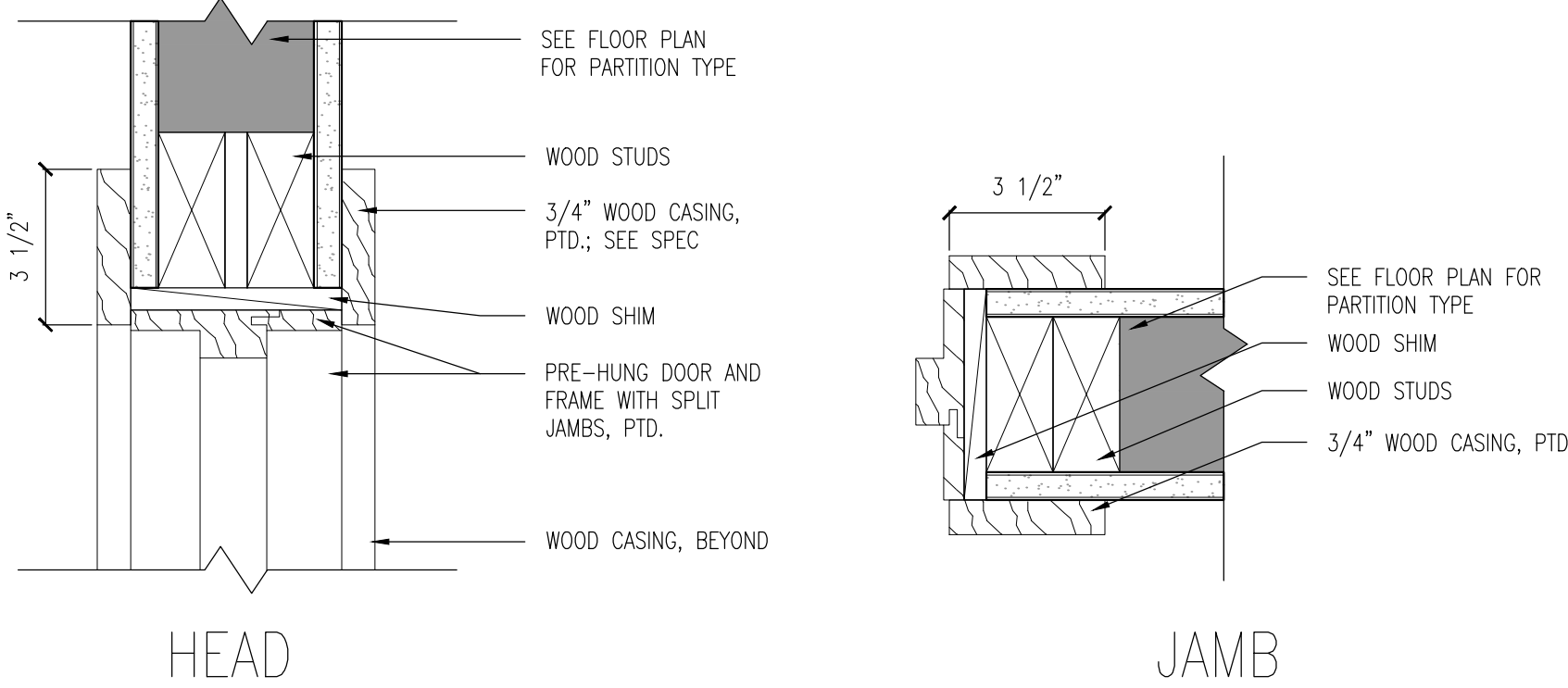
AS INDICATED

A701

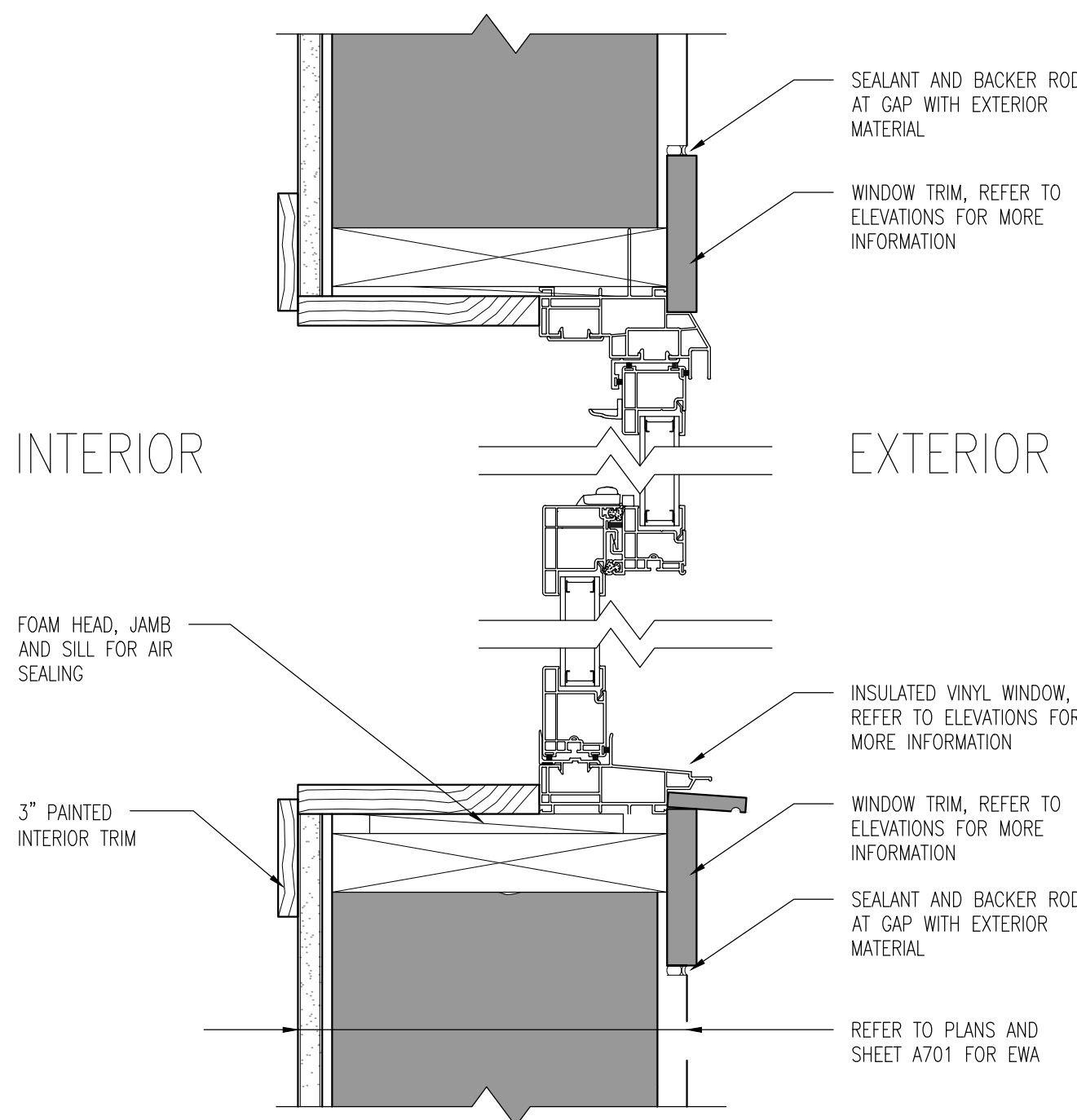
SHEET NOTES
1.



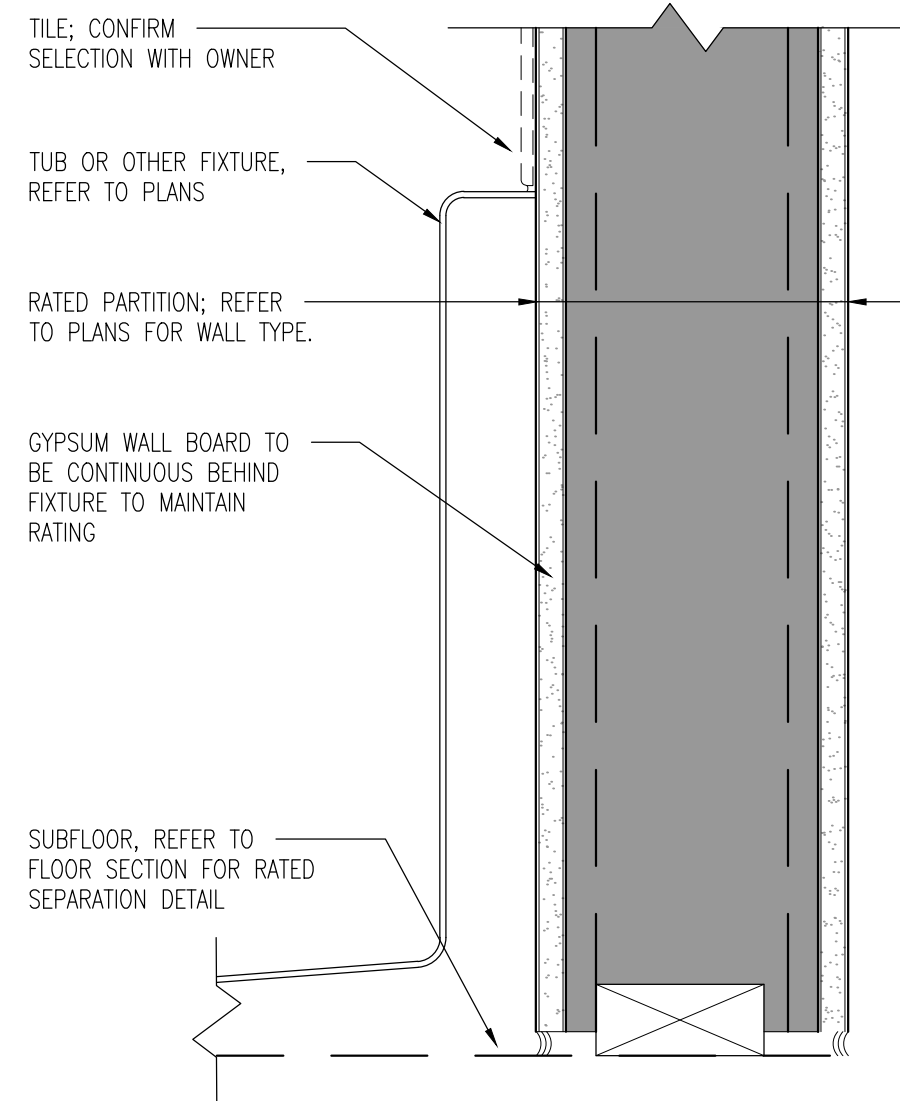
5 TYPICAL WINDOW JAMB DETAIL
SCALE: 3" = 1'-0"



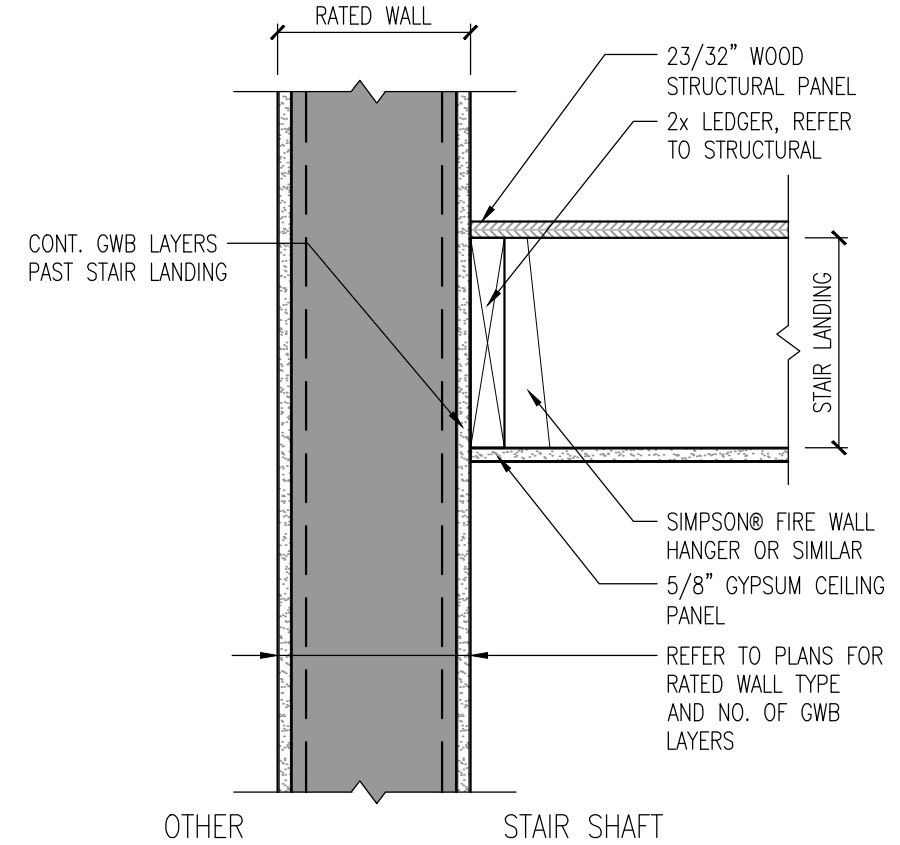
6 TYPICAL WOOD DOOR FRAME DETAILS
SCALE: 3" = 1'-0"



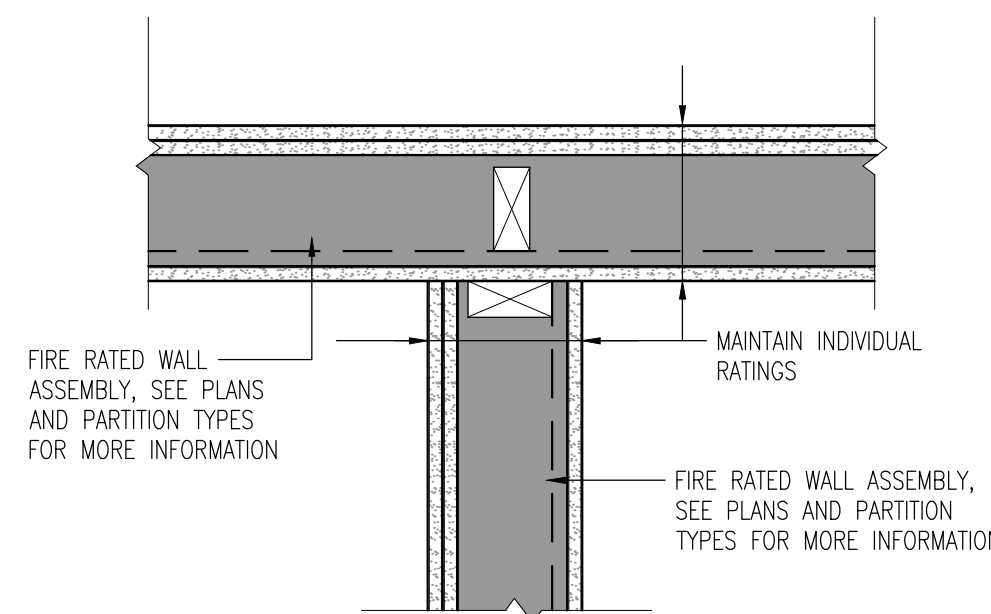
4 TYPICAL WINDOW HEAD/SILL DETAIL
SCALE: 3" = 1'-0"



3 FIXTURE @ FIRE-RATED WALL
SECTION DETAIL
SCALE: 3" = 1'-0"

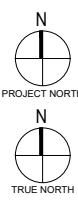


2 FIRE-RATED WALL @ STAIR LANDING
SCALE: 1-1/2" = 1'-0"



1 FIRE-RATED PARTITION PLAN DETAIL
SCALE: 1-1/2" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

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08-14-2024

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TYPICAL DETAILS

PROJECT No.:

0693

DATE:

08-14-2024

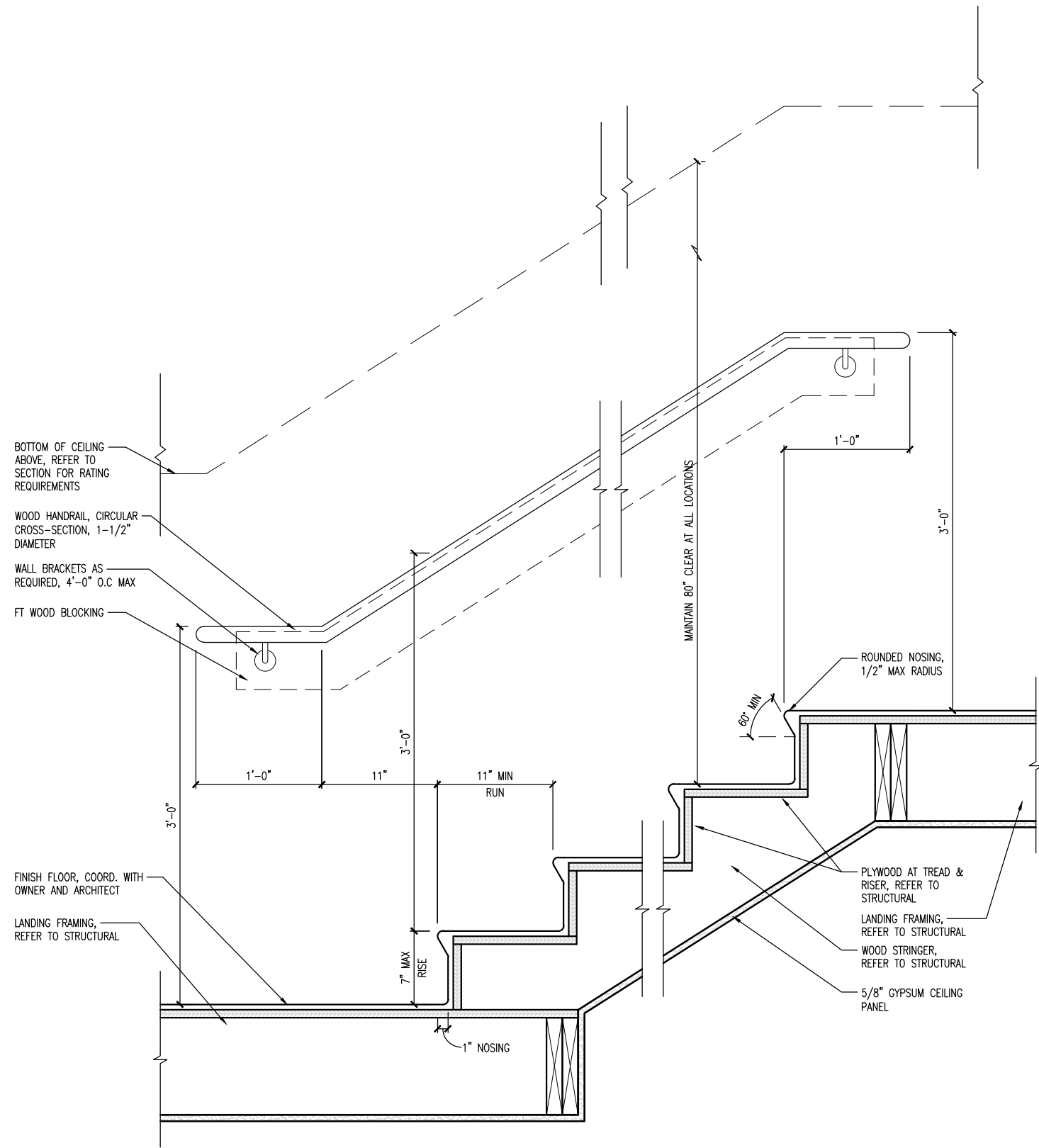
SCALE:

AS INDICATED

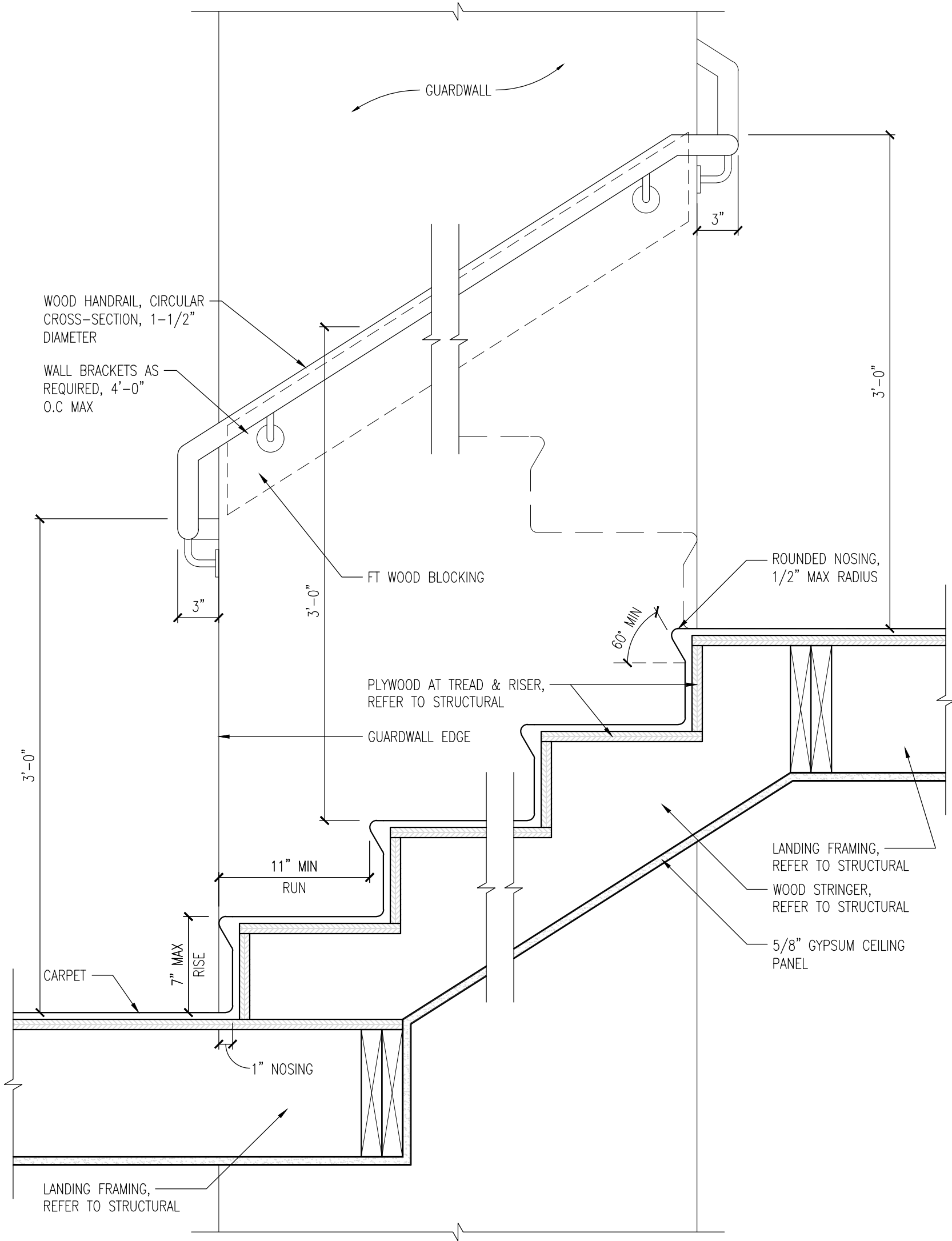
SHEET No.:

A703

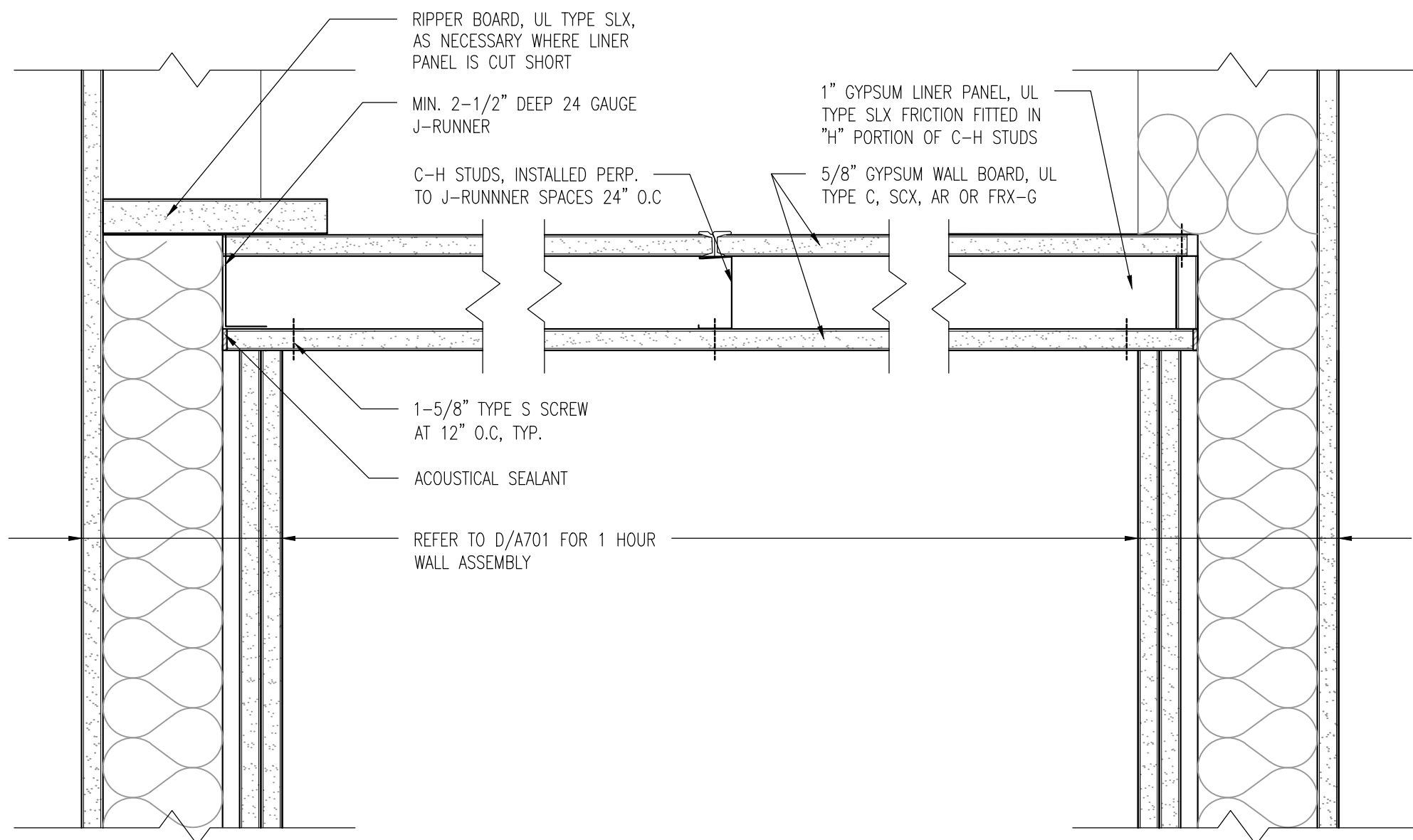
SHEET NOTES
1.



3 INTERIOR STAIR DETAIL (GUARDRAIL SIDE)
SCALE: 1-1/2" = 1'-0"

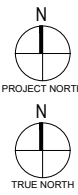


2 INTERIOR STAIR DETAIL (STAIRWALL SIDE)
SCALE: 1-1/2" = 1'-0"



1 SHAFT WALL/CEILING DETAIL (1 HR)
SCALE: 3" = 1'-0"

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM

CHECKED BY: EZ

(INITIAL HERE)

00

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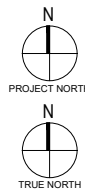
TYPICAL DETAILS

PROJECT No.: 0693
DATE: 08-14-2024
SCALE: AS INDICATED

SHEET No.:
A704

- SHEET NOTES**
- REFER TO SHEET A701 FOR TYP. WALL ASSEMBLIES
 - REFER TO SHEET A702 FOR TYP. FLOOR, ROOF, & CEILING ASSEMBLIES
 - ALL NEW INTERIOR PARTITIONS TO BE TYPE A UNLESS NOTED OTHERWISE
 - ALL NEW BATHROOM TUBS TO BE 30"X60", AND SHOWERS 36"X60" UNLESS NOTED OTHERWISE
 - COORD. WITH OWNER AND ARCHITECT ON FINISH MATERIALS

PROJECT KEY PLAN:



SEAL:



Eric Zylman

DRAWN BY: CM

CHECKED BY: EZ

(INITIAL HERE)

00 08-14-2024

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EXISTING PLANS

PROJECT No.:

0693

SHEET No.:

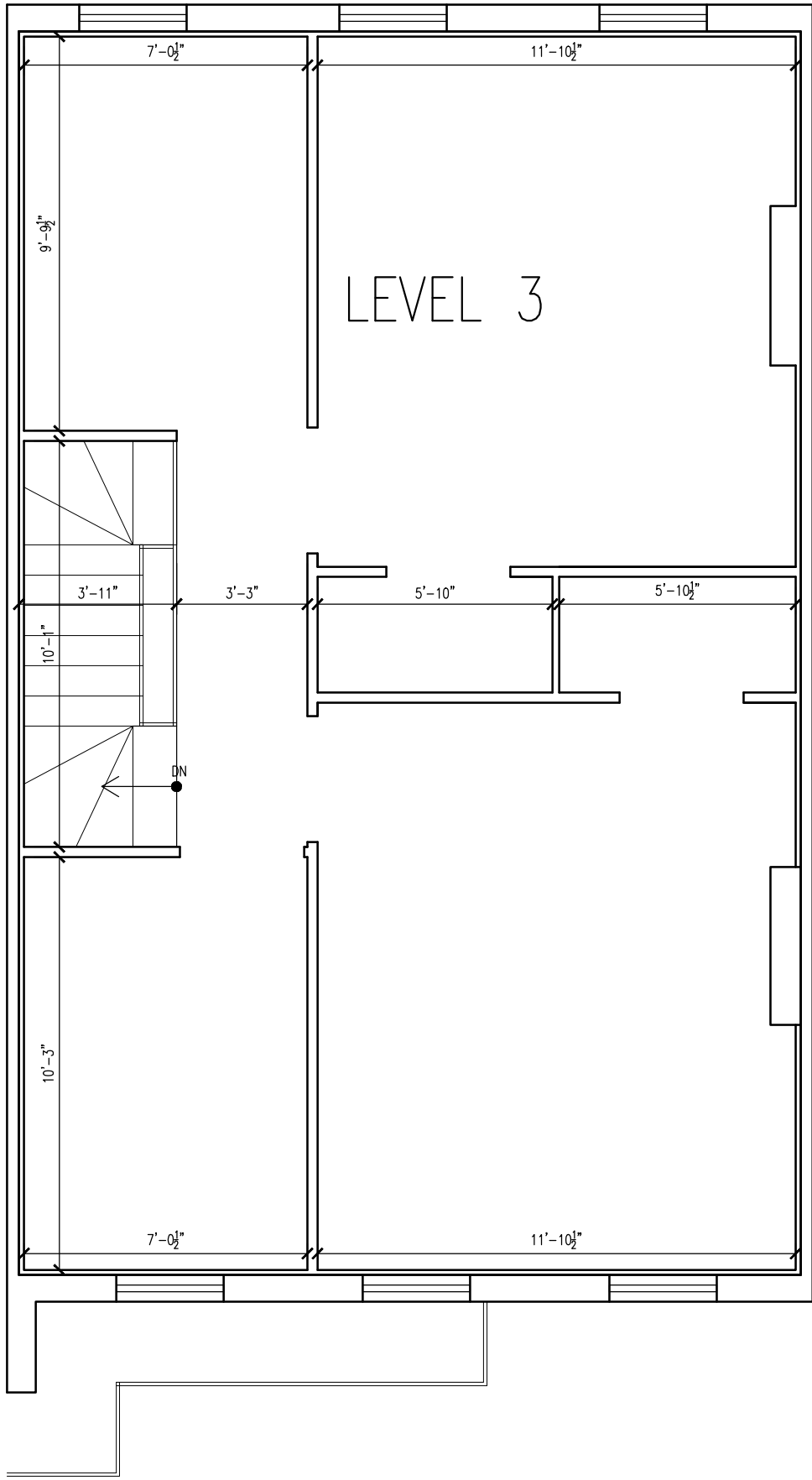
XA-101

DATE:

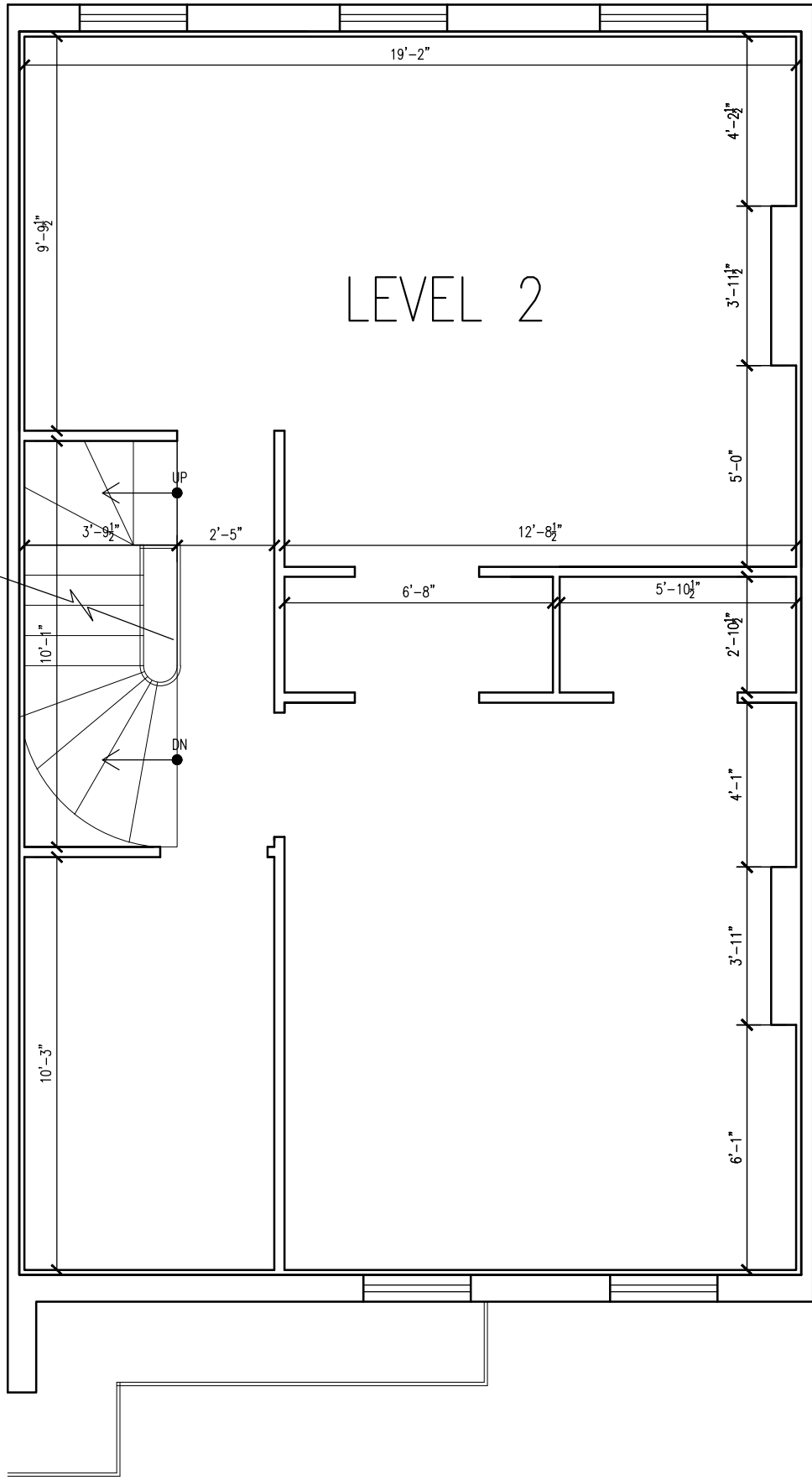
08-14-2024

SCALE:

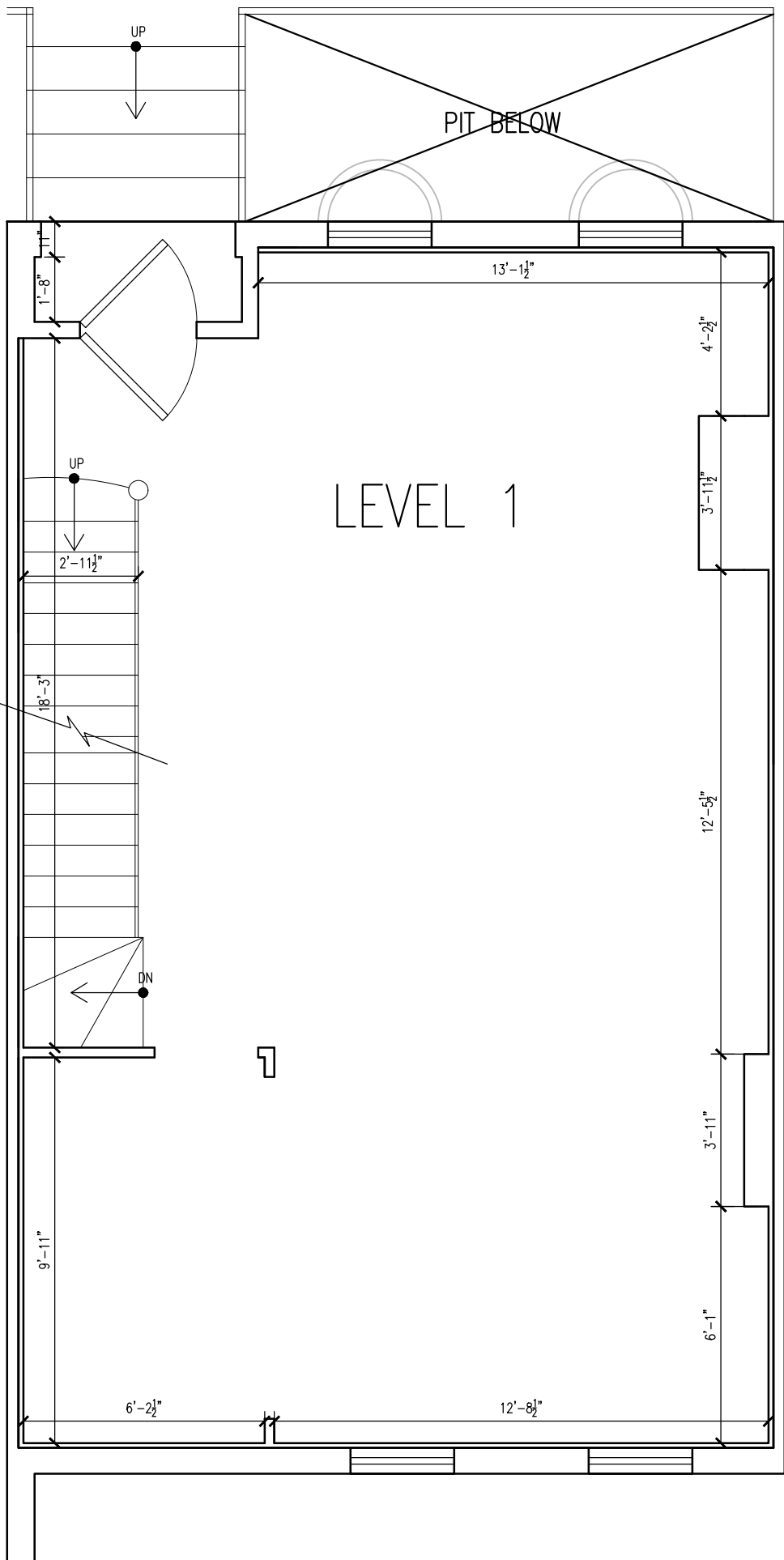
AS INDICATED



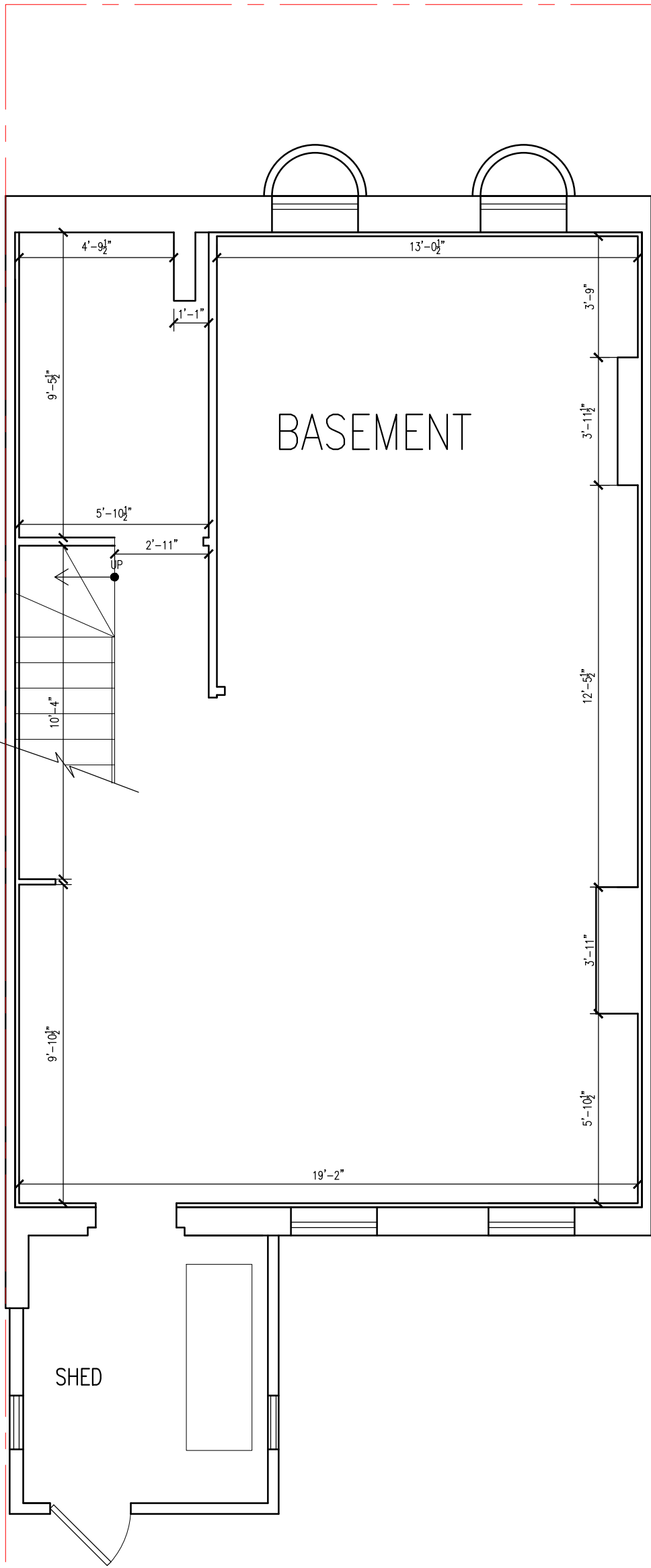
3 LEVEL 3 PLAN
SCALE: 1/4" = 1'-0"



2 LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"



1 LEVEL 1 PLAN
SCALE: 1/4" = 1'-0"



B BASEMENT PLAN
SCALE: 1/4" = 1'-0"



1 SPRINGFIELD ST ELEVATION
SCALE: 3/8" = 1'-0"

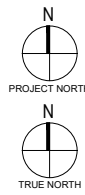
193 W. SPRINGFIELD
Boston, MA

OWNER NAME
Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:
context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

- SHEET NOTES**
- ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
 - A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
 - MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS

PROJECT KEY PLAN:



SEAL:



Eric Johnson

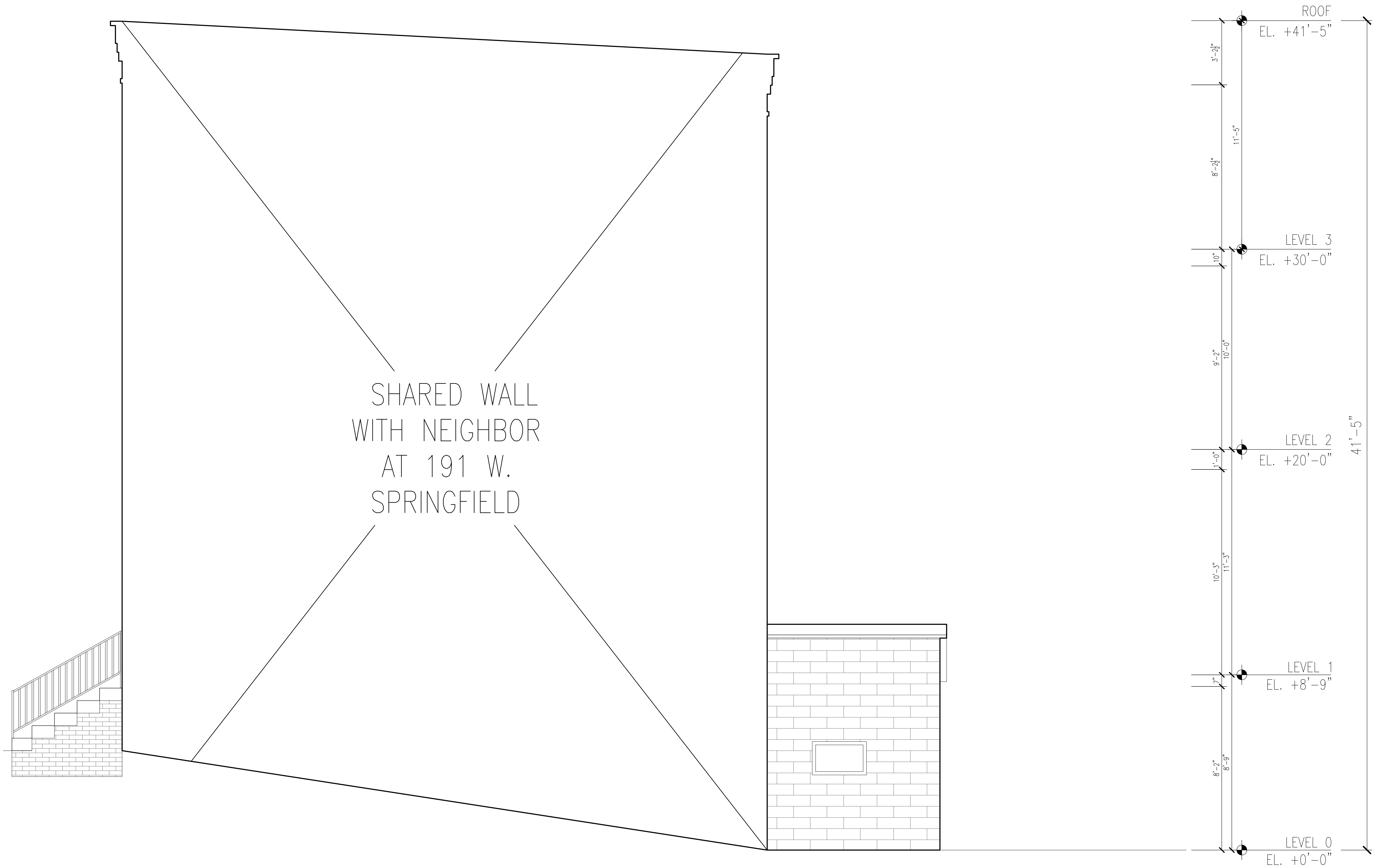
DRAWN BY: CM

CHECKED BY: EZ

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SPRINGFIELD ST
EXISTING ELEVATION

PROJECT No. 0693 SHEET No. XA102
DATE: 08-14-2024
SCALE: AS INDICATED



1 SIDE ELEVATION
SCALE: 3/8" = 1'-0"

193 W. SPRINGFIELD

Boston, MA

OWNER NAME
Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:

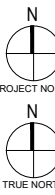
context
a collaborative design workshop

200 Portland Street, Boston, MA, 02114
(312) 780-9456

SHEET NOTES

1. ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
2. A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
3. MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS

PROJECT KEY PLAN:



SEAL:



Eric Zylman

DRAWN BY: CM

CHECKED BY: EZ

(INITIAL HERE)

00 08-14-2024

ISSUED FOR PERMIT

**SIDE EXISTING
ELEVATION**

PROJECT

No.:

0693

SHEET

No.:

103

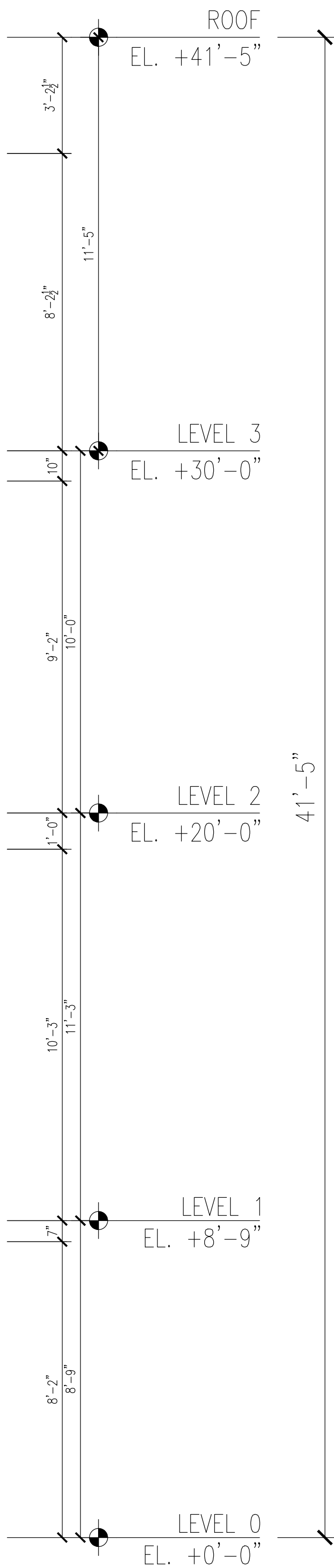
DATE:

08-14-2024

SCALE:

AS INDICATED

XA103



1 REAR ELEVATION
SCALE: 3/8" = 1'-0"

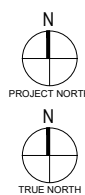
193 W. SPRINGFIELD
Boston, MA

OWNER NAME
Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:
context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

- SHEET NOTES**
- ELEVATION MARKERS INDICATE ELEVATION AT TOP OF FINISHED FLOOR
 - A.F.F = SILL ELEVATION AWAY FROM FINISHED FLOOR
 - MATERIAL DIMENSIONS SUGGEST NOMINAL SIZE; REFER TO MANUFACTURER FOR EXACT DIMENSIONS

PROJECT KEY PLAN:



SEAL:



Eric Zylman

DRAWN BY: CM

CHECKED BY: EZ

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REAR EXISTING
ELEVATION

PROJECT No. 0693 SHEET No. XA104
DATE: 08-14-2024
SCALE: AS INDICATED

193 W. SPRINGFIELD
Boston, MA

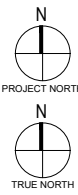
OWNER NAME
Owner Street Address, Town, MA, 0000
(xxx) xxx-xxxx

ARCHITECT:
context
a collaborative design workshop
200 Portland Street, Boston, MA, 02114
(312) 780-9456

- SHEET NOTES**
- 1. ELEVATION MARKERS
INDICATE ELEVATION
AT TOP OF FINISHED
FLOOR
 - 2. A.F.F = SILL ELEVATION
AWAY FROM FINISHED
FLOOR
 - 3. MATERIAL DIMENSIONS
SUGGEST NOMINAL
SIZE; REFER TO
MANUFACTURER FOR
EXACT DIMENSIONS

SHARED WALL
WITH NEIGHBOR
AT 195 W.
SPRINGFIELD

PROJECT KEY PLAN:



SEAL:



Eric Johnson

DRAWN BY: CM		CHECKED BY: EZ	
00	08-14-2024	ISSUED FOR PERMIT	

SIDE EXISTING
ELEVATION

1 SIDE ELEVATION
SCALE: 3/8" = 1'-0"

PROJECT No.	0693	SHEET No.	XA105
DATE:	08-14-2024		
SCALE:	AS INDICATED		