### **DRAWING LIST**

40.0 COVER SHEET

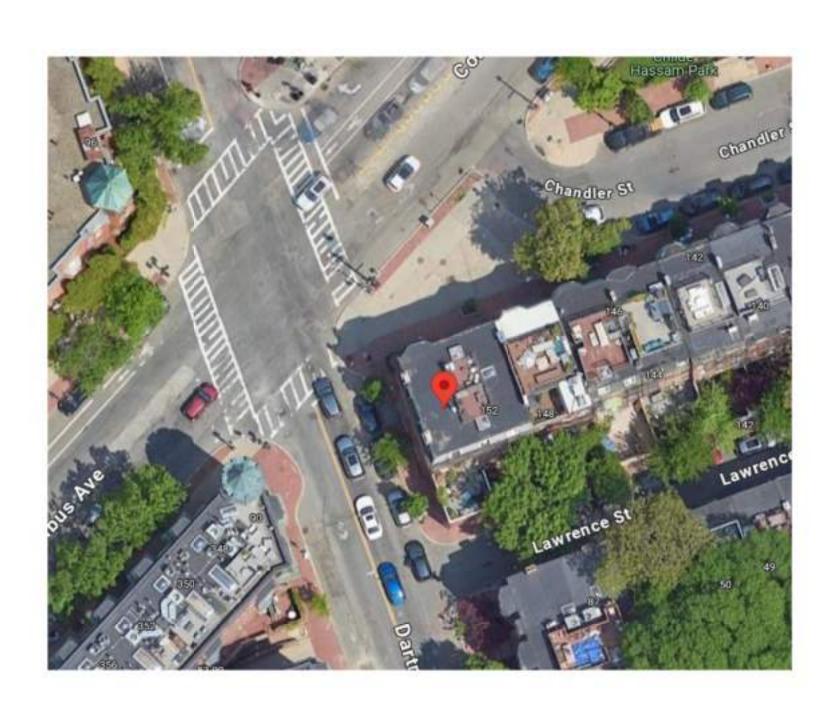
Architectural

A0.1 GENERAL NOTESA1.0 SCOPE OF WORKA1.1 PROPOSED DECK

Grand total: 4

# SCOPE OF WORK

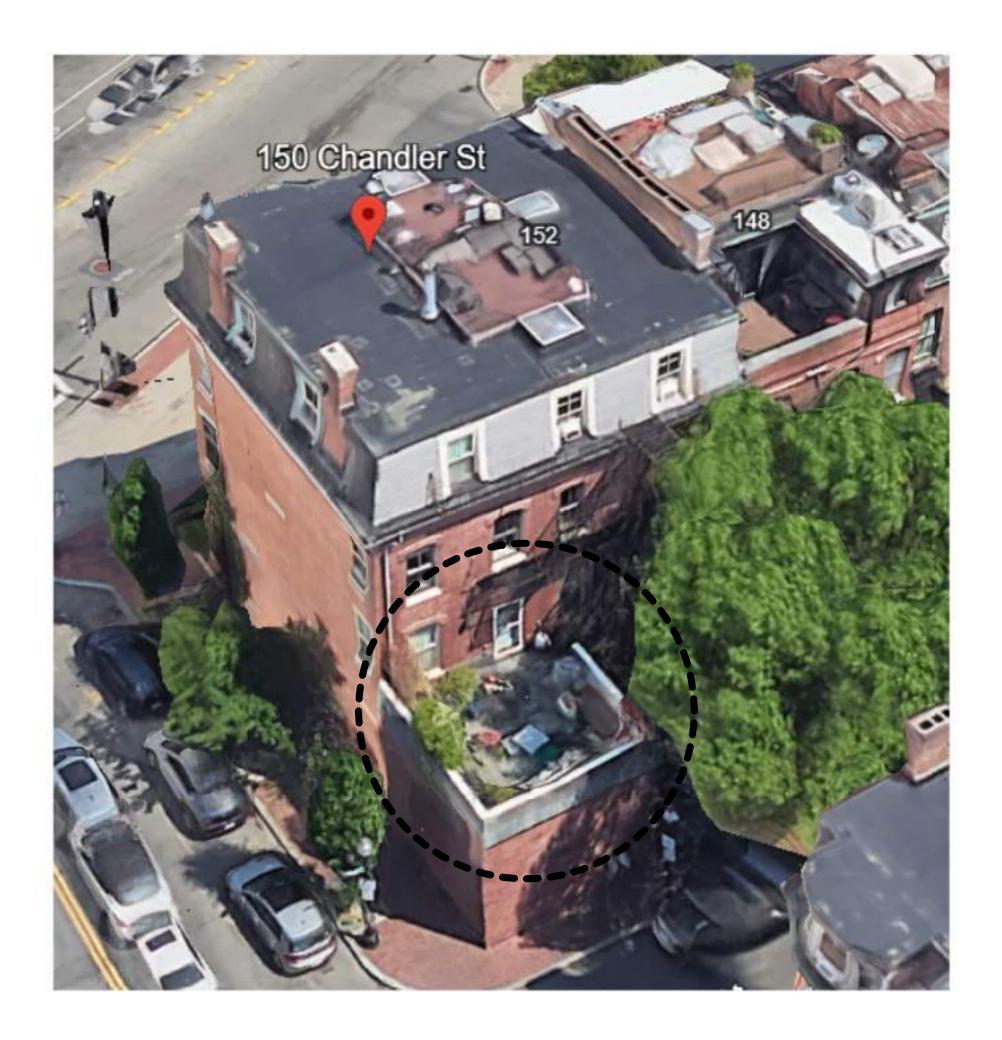
AXON VIEW FOR REFERENCE ONLY

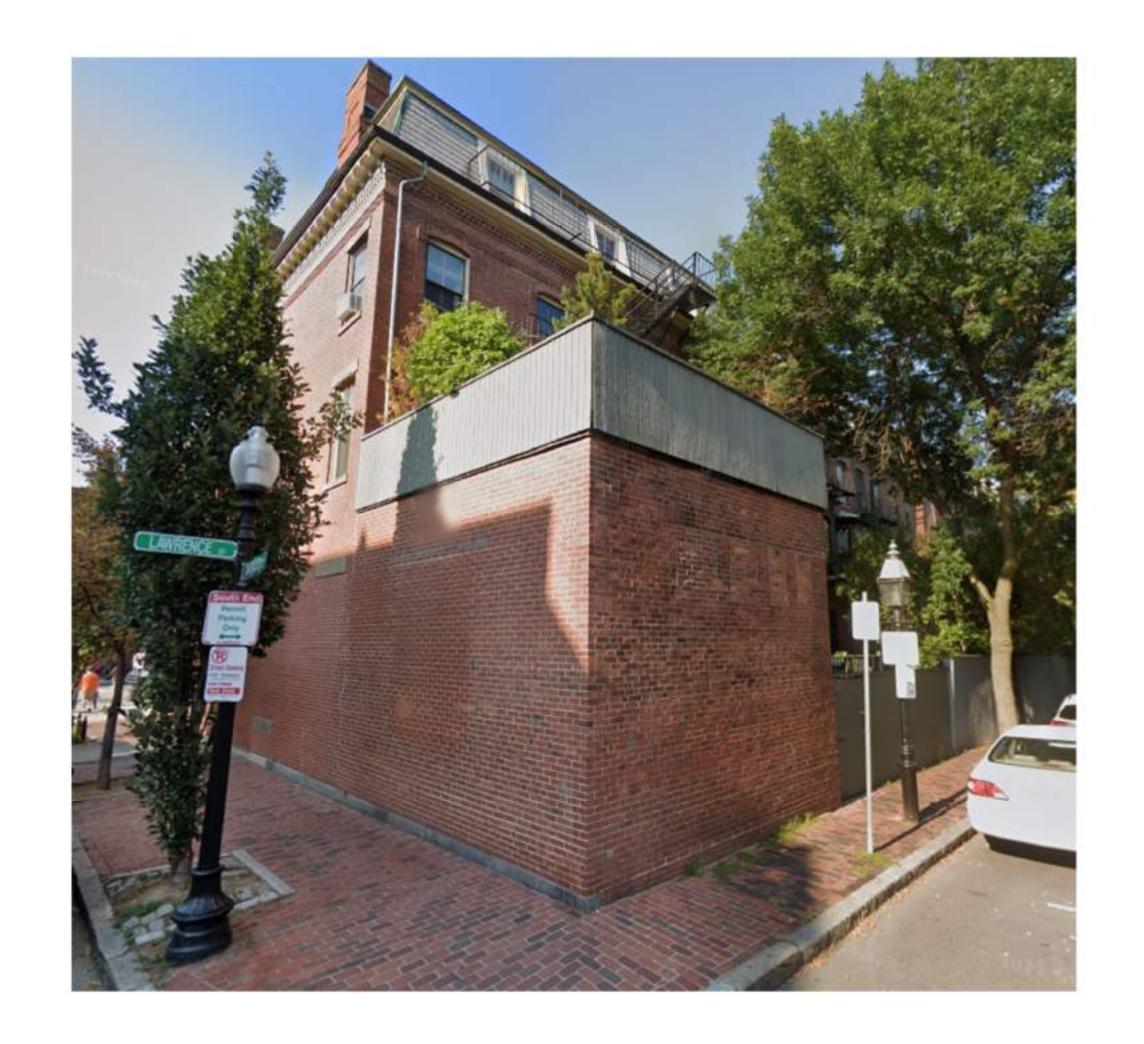


# 150 CHANDLER STREET UNIT 5

BOSTON, MA, 02116

# ROOF DECK REPAIR PERMIT DRAWINGS





# SCOPE OF WORK

REPLACE EXISTING ROOF DECK WITH NEW TIMBERTECH FLOOR BOARDS.
EXISTING ROOF STRUCTURE TO REMAIN. PROPOSED ROOF DECK TO
MATCH EXISTING SIZE. NO CHANGE TO EXTERIOR WALLS, TRIM, OR
FINISH. REPAIR EXISTING RUBBER ROOF FOR LEAKS. EXISTING PRIVACY
WALL TO REMAIN. NO CHANGE TO BRICK WORK OR FACADE ALTERATION.
PROPOSED DECK WILL NOT BE VISIBLE FROM STREET



300F DECK REPLACEMEN 150 CHANDLER STREET 30STON, MA, 02116



No.	Description	Date
		1

Scale:

Drawn By: SLHG

Drawing Name

**COVER SHEET** 

Sheet

A0.0

### **ARCHITECTURAL**

- 1. ALL HABITABLE ROOMS, EXCEPT KITCHENS, ARE TO HAVE AN AREA OF NOT LESS THEN 70 SQ FT WITH A MINIMUM OF 7 FT IN ANY DIMENSION. - IRC R304
- 2. MINIMUM WINDOW AREA SHALL EQUAL NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM UNLESS ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES. - IRC R303

3. WHERE THE AIR INFILTRATION RATE OF A DWELLING UNIT IS 5 AIR CHANGES PER HOUR OR LESS WHERE TESTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCH W.C. (50 PA) IN ACCORDANCE WITH SECTION N1102.4.1.2, THE DWELLING UNIT SHALL BE PROVIDED WITH WHOLE-HOUSE MECHANICAL VENTILATION IN ACCORDANCE WITH SECTION M1507.3 - IRC

4. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQ FT, ONE-HALF OF WHICH MUST BE OPERABLE. EXCEPTION: THE GLAZED AREAS SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A LOCAL EXHAUST SYSTEM ARE PROVIDED. THE MINIMUM LOCAL EXHAUST RATES SHALL BE DETERMINED IN ACCORDANCE WITH SECTION M1507. EXHAUST AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. - IRC R303.3

5. MECHANICAL AND GRAVITY OUTDOOR AIR INTAKE OPENINGS SHALL BE LOCATED NOT LESS THAN 10 FEET FROM ANY HAZARDOUS OR NOXIOUS CONTAMINANT, SUCH AS VENTS, CHIMNEYS, PLUMBING VENTS, STREETS, ALLEYS, PARKING LOTS AND LOADING DOCKS. EXHAUST AIR SHALL NOT BE DIRECTED ONTO WALKWAYS. - IRC R303.5

6. HABITABLE SPACE AND HALLWAYS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS, AND HABITABLE SPACE IN BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 6 FEET, 8 INCHES. - R305.1

7. EMERGENCY EGRESS FOR BASEMENTS WITH HABITABLE SPACE AND EACH SLEEPING ROOM: AN EXTERIOR DOOR OR WINDOW WITH A FINISHED SILL HEIGHT WITHIN 44" OF THE FLOOR, MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ FT, MINIMUM NET CLEAR OPERABLE WIDTH OF 20" AND MINIMUM NET CLEAR OPERABLE HEIGHT OF 24". GRADE FLOOR OPENINGS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQ FT. - IRC R310

8. GLAZING USED IN DOORS AND PANELS OF SHOWERS AND BATHTUB ENCLOSURES AND WALLS ENCLOSING THESE COMPARTMENTS SHALL BE TEMPERED. - IRC TABLE R308.3

9. TEMPERED GLASS SHALL BE PROVIDED IN: FRAMELESS GLASS DOORS, GLASS IN DOORS, GLASS WITHIN A 24" ARCH OF DOORS, GLAZING LESS THAN 60" ABOVE A WALKING SURFACE THAT IS WITHIN 5 FT OF STAIRS, OR GLAZING WITHIN 5 FT OF SPAS OR POOLS, CERTAIN FIXED GLASS PANELS, AND SIMILAR GLAZED OPENINGS SUBJECT TO HUMAN IMPACT. - IRC

10. NOT LESS THAN 1/2 INCH GYPSUM BOARD ON THE GARAGE SIDE OF THE WALL AND CEILING SEPARATING A GARAGE AND A DWELLING. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE ASSEMBLY AND THE STRUCTURE SUPPORTING THE SEPARATION SHALL BE PROTECTED WITH NOT LESS THAN 5/8 INCH TYPE X GYPSUM BOARD ON THE CEILING. - IRC R309.2 AND R302.6

11. DOORS LEADING FROM DWELLINGS TO THE GARAGE SHALL BE 1-3/8" THICK SOLID CORE OR 20 MINUTE RATED. DOORS SHALL NOT OPEN INTO A SLEEPING ROOM. ELECTRICAL PANELS PENETRATING THE GARAGE SIDE GYPSUM BOARD MEMBRANE SHALL BE WRAPPED WITH 5/8" TYPE X GYPSUM BOARD ON THE TOP, BOTTOM, SIDES, AND BACK. - IRC

12. STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE. - IRC 311.7.1

13. THE TOPS OF HANDRAILS SHALL BE PLACED BETWEEN 34 INCHES AND 38 INCHES ABOVE THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. THE HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NOR MORE THAN 2-5/8 INCHES IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1.5 INCHES BETWEEN THE WALL AND THE HANDRAIL. - IRC R311.7

14. ALL UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF LANDINGS AND STAIRS, BALCONIES AND PORCHES MORE THAN 30 INCHES ABOVE GRADE, AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING SHALL BE PROTECTED BY A GUARD (AKA "GUARDRAIL"). GUARDS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT NO SPHERE 4 INCHES IN DIAMETER CAN PASS THROUGH. - IRC R312

15. THE MINIMUM HEADROOM IN ALL PARTS OF A STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM. - IRC R311.7.2

16. LANDINGS SHALL HAVE A MINIMUM DIMENSION MEASURED IN THE DIRECTION OF TRAVEL OF 36 INCHES. - IRC R311

17. ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY INCLUDING LEDGERS AND FURRING WALLS MUST BE PRESERVATIVELY TREATED. - IRC R317

18. PROVIDE 1/2" AIRSPACE AT TOPS, SIDES, AND ENDS OF GIRDERS ENTERING EXTERIOR CONCRETE OR MASONRY WALLS UNLESS WOODS RESISTANT TO DECAY ARE USED. - IRC R317

19. NO WOOD SHALL BE NEARER THAN 8 INCHES TO EARTH UNLESS SEPARATED BY CONCRETE AT LEAST 3 INCHES IN THICKNESS WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN THE EARTH AND CONCRETE. THIS INCLUDES DECKS

20. COMPOSITION SHINGLES SHALL NOT BE INSTALLED ON ROOFS HAVING A SLOPE LESS THAN 4 TO 12 UNLESS DOUBLE UNDERLAYMENT IS INSTALLED IN ACCORDANCE WITH IRC SECTION R905.2.2

21. ASPHALT SHINGLE, CLAY AND CONCRETE TILE, METAL SHINGLE, MINERAL-SURFACED WOOL ROOFING, SLATE AND SLATE-TYPE SHINGLE, WOOD SHINGLE, AND WOOD SHAKE ROOF MATERIALS REQUIRE AN ICE BARRIER THAT EXTENDS FROM THE EDGE OF THE EAVES TO A POINT NOT LESS THAN 24 INCHES INSIDE THE EXTERIOR WALL LINE OF THE

22. ACCESSIBLE BELOW-FLOOR AREAS SHALL BE PROVIDED WITH A MINIMUM 18" X 24" ACCESS OPENING. IRC R408.4. FOR ACCESS TO MECHANICAL EQUIPMENT IN THESE AREAS SEE IRC M1305.1.4

23. CROSS VENTILATION FOR ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS FOR EACH SEPARATE SPACE. VENTILATING OPENINGS SHALL BE PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED. THIS MAY BE REDUCED TO NOT LESS THAN 1 TO 300 IF: (1) OPENINGS ARE PROVIDED IN THE UPPER AND LOWER PORTIONS OF THE VENTILATED SPACE, OR (2) A 1 PERM VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE CEILING. - IRC R806

24. UNVENTED CONDITIONED ATTIC ASSEMBLIES SHALL COMPLY WITH R806.5

25. MINIMUM 22" X 30" ATTIC ACCESS IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. - IRC R807. SEE M1305.1.3 FOR ACCESS TO FURNACES AND OTHER MECH. EQUIPMENT IN ATTICS.

26. EXTERIOR SIDING SHALL COMPLY WITH R703.11 AND TABLE R703.3(1)

COORDINATION:

DISCREPANCIES

**UPON REQUEST** 

**SPECIFICATIONS** 

CONSTRUCTION SCHEDULE

27. MINIMUM 4-MIL POLYETHYLENE VAPOR RETARDER OVER THE INSULATION ON THE INSIDE (WARM SIDE) OF ALL EXTERIOR WALLS AND ROOF CEILINGS. - IRC R702.7

28. EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTIVE EXTERIOR WALL ENVELOPE. PROVIDE WEATHER-RESISTIVE BARRIER FLASHING DETAILS FOR WINDOWS, DOOR, AND OTHER OPENINGS IN THE BUILDING ENVELOPE, INCLUDE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALSO PROVIDE FLASHING DETAILS OVER DOORS. WINDOWS, SILLS, AT FOUNDATION, COLUMNS, AND OTHER LOCATIONS REQUIRING FLASHINGS. R703.1 AND R703.4

29. TUBS AND SHOWERS WITH TILED WALLS REQUIRE A PORTLAND CEMENT APPLICATION, FIBERED-CEMENT OR GLASS MAT GYPSUM BACKER

30. THE DRAWINGS THAT INSPECTIONS ARE REQUIRED FOR ALL STUCCO AND EIFS SYSTEMS. PROVIDE PRODUCT SPECIFICATIONS AND ICBO EVALUATION REPORT (OR EQUAL) FOR ANY STUCCO OR EIFS SYSTEM USED. - IRC R109.1.5

31. WINDOW WELLS WILL PROVIDE A MINIMUM NET CLEAR OPENING OF 9 SQ FT WITH A MINIMUM DIMENSION OF 36 INCHES. SHOW A PERMANENT LADDER IF WINDOW WELL IS MORE THAN 44 INCHES DEEP. - IRC R310.2

32. SILLS OF EXTERIOR WINDOWS WHICH ARE LOCATED MORE THAN 6 FEET ABOVE GRADE, AND LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST MEET SOME NEW REQUIREMENTS. THE AREA OF THE WINDOW LESS THAN 24 INCHES ABOVE THE INTERIOR FLOOR SURFACE MUST NOW BE FIXED OR HAVE AN OPENING OR A GUARD WHICH DOES NOT ALLOW THE PASSAGE OF A 4 INCH DIAMETER SPHERE. R312.2

33. A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING / ROOF, WALLS, FOUNDATIONS (SLAB, BASEMENT WALL, CRAWLSPACE WALL AND/OR FLOOR) AND DUCTS OUTSIDE THE CONDITIONED SPACES; U-FACTORS OF WINDOWS, AND THE SOLAR HEAT GAIN COEFFICIENT OF WINDOWS. THE TYPE AND EFFICIENCY OF HEATING, COOLING AND SERVICE WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. NOTE: THE LISTING WILL NOT ALLOW YOU TO DRILL OR MODIFY THE PANEL OR COVER IN ANY WAY ACCOMPLISH THIS. IRC N1101.10

34. SHOWERS SHALL HAVE DOORS SIZED TO PROVIDE A MINIMUM OF 22 INCHES NET CLEAR OPENING. P2708.1.1

35. THE RISER HEIGHT SHALL BE NOT MORE THAN 8 1/4 INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENINGS LOCATED MORE THAN 30 INCHES, AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW DO NOT PERMIT THE PASSAGE OF A FOUR-INCH-DIAMETER SPHERE. R311.7.5.1

36. THE TREAD DEPTH SHALL BE NO LESS THAN NINE INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. R311.7.5.2

37. NOSINGS. THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NOT GREATER THAN 9/16 INCH. A NOSING PROJECTION NOT LESS THAN 3/4 INCH AND NOT MORE THAN 1 1/4 INCHES SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8 INCH BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2 INCH. R11.7.5.3

1. G.C. SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS, NOTIFY OWNER IMMEDIATELY OF ANY MAJOR

3. G.C. TO NOTIFY OWNER AFTER LAYOUT AND PRIOR TO FRAMING IF: DIMENSION LABELED +/- VARIES MORE THAN 2" FROM

ACTUALLY FIELD MEASUREMENT; ANY DISCREPANCY, OMISSION OR UNANTICIPATED FILED CONDITION ALTERS THE INTENT

5. G.C. SHALL BE RESPONSIBLE FOR ALL PREPARATION WORK REQUIRED TO INSTALL NEW FLOORING TO MANUFACTURER'S

6. G.C. TO COORDINATE WITH OWNER'S VENDORS TO ALLOW FOR PROPER INSTALLATION OF ALL OWNER SUPPLIED ITEMS.

G.C. TO SCHEDULE DELIVERY/ INSTALLATION DATES AT THE BEGINNING OF THE JOB TO GUARANTEE COMPLIANCE WITH

4. G.C. SHALL SUPPLY FIELD CONDITIONS AND DIMENSIONS TO THE ARCHITECT, OWNER AND OWNER'S CONTRACTORS

2. G.C. TO COORDINATE ALL TRADES PRIOR TO COMMENCING ANY WORK

OF THESE DRAWINGS; ANY DIMENSIONS LABELED "MIN" CANNOT BE ACHIEVED

7. WHEN IN DOUBT, CONSULT WITH ARCHITECT/OWNER PRIOR TO ANY ACTION

### CONSTRUCTION NOTES

### **GENERAL**

- 1. REPAIR ANY DAMAGED STAIR TREADS AND RISERS.
- 2. REPLACE ALL OLD DAMAGED DOORS AND WINDOWS WITH ENERGY CODE REQUIRED REPLACEMENTS 3. G.C. IS RESPONSIBLE FOR MAINTAINING THE FIRE RATING INTEGRITY AT ALL DEMISING & FIRE RATED WALLS AS WELL AS
- AT THE SLAB AND THE CEILING/ROOF 4. WHEREVER WALL OR ROOF CAVITIES ARE OPENED, INSULATE EXISTING CAVITIES AT R3.5/INCH TO THE THICKNESS OF THE EXISTING CAVITIES.
- 5. PROVIDE R-49 CAVITY INSULATION AT ROOF IF AND WHEN ANY ROOF ELEMENT IS CHANGE IN ANY WAY. 6. SLEEVE, FIRESTOP, AND CAULK ALL PENETRATIONS OF FLOORS SO THAT ODORS AND/OR LIQUIDS WILL NOT PENETRATE
- THE SLAB. DO THE SAME IN FLOORS BETWEEN UNITS. 7. G.C. IS TO PROVIDE LABELS AT COMMON WIRING THROUGHOUT TO IDENTIFY COMMON ELECTRICAL SERVICE.
- 8. PROVIDE A FULL CLEANING, BROOM-SWEPT, OF BUILDING PRIOR TO OCCUPANCY. 9. INCLUDE REPLACING ALL GWB/PLASTER. INCLUDE PAINTING ALL ROOMS AND CEILINGS.
- 10. INCLUDE REWIRING BUILDING. INCLUDE NEW PANELS.
- 11. REPLACE ANY DAMAGED PIPING, EQUIPMENT, OR MECHANICAL UNITS AS NEEDED.
- 12. FOLLOW ALL APPLICABLE CODES AND REGULATIONS. 13. WORK TO BE PERFORMED IN A PROFESSIONAL AND LAWFUL MANNER.
- 14. WORKMANSHIP STANDARD OF CARE TO MEET INDUSTRY STANDARD/EXPECTATIONS.
- 15. G.C. TO PROVIDE ALL NECESSARY PERMITS.
- 16. G.C. TO CARRY ALL INSURANCE REQUIRED BY LAW; G.C. TO CARRY INSURANCE AS WOULD BE TYPICAL FOR THIS SCOPE OF WORK.

### LAYOUT:

- 1. LAYOUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONDITIONS IS SHOWN, U.N.O. 2. DRAWINGS ARE NOT BE SCALED, DIMENSIONS GOVERN, IF DIMENSIONS ARE MISSING OR UNCLEAR, G.C. SHALL NOTIFY ARCHITECT FOR DIRECTION.
- 3. G.C. TO VERIFY EXTENT OF WALL DAMAGE. 4. G.C. TO VERIFY THAT ALL EXISTING DEMISING WALLS ARE PLUMB. IF NOT G.C. TO PROVIDE AND INSTALL FURRING AND
- GWB TO MAKE PLUMB. 5. TYPICAL INTERIOR PARTITIONS ARE TYPE "A", UNLESS OTHERWISE NOTED TO MATCH EXISTING CONDITIONS
- 6. PROVIDE CONVENIENCE ELECTRICAL OUTLETS EVERY 12 LINEAR FEET OF ROOM PERIMETER. PROVIDE GFIC OUTLETS @ 48" AFF IN BATHROOMS
- 7. MATCH NEW LIGHTING WITH EXISTING AS MUCH AS POSSIBLE. PROVIDE ASSOCIATED SWITCHES

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL FEDERAL, STATE, AND TOWN LAWS, CODES, AND REGULATIONS

2. THE TOTAL LIABILITY OF SL HAUS GROUP FOR ANY CLAIMS ARISING OUT OF THE SERVICES PERFORMED UNDER THIS CONTRACT SHALL BE LIMITED TO A MAXIMUM OF THE NET FEES RECEIVED BY SL HAUS GROUP. 3. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. IF DISCREPANCIES ARE FOUND, THEY HAVE TO BE REPORTED TO THE ARCHITECT

PRIOR TO START OF WORK. OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND OR THE SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF SUCH WORK

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL TRADES AND SHALL CHECK ALL DIMENSIONS. ALL DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT AND SHALL BE RESOLVED PRIOR TO 5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS,

METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, INCLUDING BUT NOT LIMITED TO BRACING AND SHORING. 6. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL

WORKING HOURS 7. ALL WORK SHALL BE PERFORMED IN A FIRST CLASS AND WORKMANLIKE MANNER IN CONFORMITY WITH THE PLANS AND SPECIFICATIONS, AND SHALL BE IN GOOD USABLE CONDITION AT THE COMPLETION OF THE PROJECT.

8. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND STRUCTURE PLACEMENT, PRIOR TO START OF THE WORK. THE CONTRACTOR WILL OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGE TO SAME. ANY DAMAGE TO EXISTING STRUCTURES AND UTILITIES, WHETHER SHOWN OR NOT ON THE DRAWINGS, SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S

9. PRIOR TO BIDDING THE WORK THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY SATISFY HIMSELF AS TO THE ACTUAL CONDITIONS AND QUANTITIES, IF ANY. NO CLAIM AGAINST THE OWNER OR ARCHITECT WILL BE ALLOWED FOR ANY EXCESS OR DEFICIENCY THEREIN. ACTUAL OR RELATIVE.

10. CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND RELOCATION WORK, IF ANY.

## STRUCTURAL NOTES:

**GENERAL NOTES:** 

- 1. ALL LOADS AND LOADING CONDITIONS ARE PER IRC 2015 (9TH EDITION OF MASSACHUSETTS BUILDING CODE).
- 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
- 3. CONCRETE SHALL BE FC=3000 PSI, MIN. 5-7% AIR ENTRAINED. 4. FOUNDATION DESIGNED BASED ON ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF.
- 5. ALL EXTERIOR FOUNDATIONS SHALL BE A MIN. 4'-0" BELOW FINISHED GRADE.
- 6. NO FOUNDATIONS OF SLAB SHALL BE PLACED IN WATER OR FROZEN GROUND.
- 7. BASEMENT FOUNDATION WALLS ARE NOT DESIGNED TO BE FREE STANDING. PROVIDE ADEQUATE BRACING PRIOR TO BACKFILL; OR BACKFILL AFTER FIRST FLOOR FRAMING HAS BEEN INSTALLED.
- 8. ALL REBAR SHALL BE FY=60 KSI.
- 9. ALL EXTERIOR WALLS SHALL BE 2X6 @ 16" O.C. 10. ALL MEMBERS DESIGNATED AS 1.75"X\_" SHALL BE LVL BEAMS.
- 11. ALL MEMBERS DESIGNATED AS 2X SHALL BE DIMENSIONAL LUMBER.
- 12. ALL DIMENSIONAL LUMBER SHALL BE SPRUCE-PINE-FIR:
- 12.1 FB=875 PSI
- 12.2 FV=135 PSI
- 12.3 FCPAR=425 PSI 12.4 NO.1/NO.2 OR BETTER
- 13. LVL PLIES SHALL BE FB=3100 PSI, PSL'S SHALL BE FB=2650 PSI, MIN.
- 14. ALL HEADER SIZES SHALL BE IN ACCORDANCE WITH TABLES 602.7(1), 602.7(2) AND 602.7(3) OF 2015 IRC, U.N.O.
- 15. NUMBER OF JACK STUDS SHALL BE IN ACCORDANCE WITH TABLES 602.7(1) AND 602.7(2) OF 2015 IRC, U.N.O. 16. EXTERIOR WALLS SHALL BE SHEATHED W/7/16" PLYWOOD OR OSB, U.N.O.
- 17. ALL FLOORS AND ROOFS SHALL BE SHEATHED W23/32" PLYWOOD OR OSB, U.N.O. ALL LVL HEADERS SHALL BE SUPPORTED BY 4X6 PSL
- 18. ALL LVL GIRDERS AND HEADERS SHALL BE SUPPORTED BY 4X6 PSL POSTS, U.N.O.
- 19. APPLY (2) 2X JOISTS UNDER NEW PARTITION WALLS WHICH ARE PARALLEL TO FRAMING. 20. PROVIDE BLOCKING UNDER PARTITION WALLS WHICH ARE PERPENDICULAR TO DIRECTION OF FRAMING.





No.	Description	Date

1" = 1'-0" Scale: 12/10/24 Drawn By: SLHG

Drawing Name

**GENERAL** 

Sheet No.

### **GENERAL CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE FEDERAL, STATE, & TOWN LAWS, ORDINANCES, CODES, AND REGULATIONS.
2. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. CONTRACTOR IS TO STOP WORK AND IMMEDIATELY INFORM ARCHITECT AND STRUCTURAL ENGINEER UPON DISCOVERY OF ANY SIGNIFICANT & CONSEQUENTIAL

DISCREPANCY BETWEEN EXISTING CONDITIONS AND DESIGN DRAWINGS. 3. DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECT'S AND STRUCTURAL ENGINEER'S DRAWINGS -SHOULD THEY BE FOUND TO EXIST - ARE NOT TO BE RESOLVED BY EITHER ARCHITECT NOR ENGINEER ALONE. CONTRACTOR IS INSTEAD TO STOP WORK AND NOTIFY BOTH ARCHITECT AND ENGINEER OF CONFLICT AT ONCE, PROCEEDING ONLY ONCE BOTH PARTIES HAVE APPROVE A COMMON RESOLUTION. SIMILARLY, CONTRACTOR SHALL NOT PROCEED WITH ANY WORK DISCOVERED TO BE IN CONFLICT. (I.E. WORK DESCRIBED BY EITHER ARCHITECT OR ENGINEER THAT CANNOT BE PRACTICABLY CONSTRUCTED IN UNION WITH OTHER DESCRIBED WORK.)

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL

5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK. THIS INCLUDES BUT IS NOT LIMITED TO BRACING AND SHORING. 6. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION

PRACTICES, THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. 7. ALL WORK SHALL BE PERFORMED IN A FIRST-CLASS AND WORKMANLIKE MANNER IN CONFORMITY WITH THE SPECIFICATIONS DRAWINGS & DOCUMENTS AND SHALL BE IN GOOD USABLE CONDITION AT THE

8. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL VISIT THE SITE AND INDEPENDENTLY VERIFY EXISTING CONDITIONS AND QUANTITIES. NO CLAIM AGAINST THE OWNER OR ENGINEER WILL BE ALLOWED FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE.

9. THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS INCLUDING UTILITY LOCATIONS, ELECTRICAL PANEL LOCATIONS, BEARING WALL LOCATIONS, AND OTHER RELEVANT INFORMATION PRIOR TO START OF THE WORK.

### STRUCTURAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. STRUCTURAL DRAWING DIMENSIONS ARE TAKEN FROM FACE OF STRUCTURAL MEMBER U.N.O. 2. ALL LOADS AND LOADING CONDITIONS ARE TO ACCORD WITH INTERNATIONAL CODE COUNCIL INTERNATIONAL RESIDENTIAL CODE AND MASSACHUSETTS BUILDING CODE 9TH EDITION. 3. CONTRACTOR SHALL STOP WORK AND IMMEDIATELY INFORM ARCHITECT UPON DISCOVERY OF ANY CONFLICT BETWEEN ARCHITECTURAL AND ENGINEERING

4. ALL DIMENSIONAL LUMBER MUST BE OF CONSTRUCTION GRADE OR BETTER.

### 

LIFE	E SAFETY LEGEND
SYMBOL	DESCRIPTION
SD	CEILING SURFACE-MOUNTED COMBINED SMOKE & CARBON MONOXIDE DETECTOR W/ AUDIO/VISUAL ALARM, HARD-WIRED
	DEVICES TO COMPLY W/ NFPA 2®, MOST CURRENT EDITION

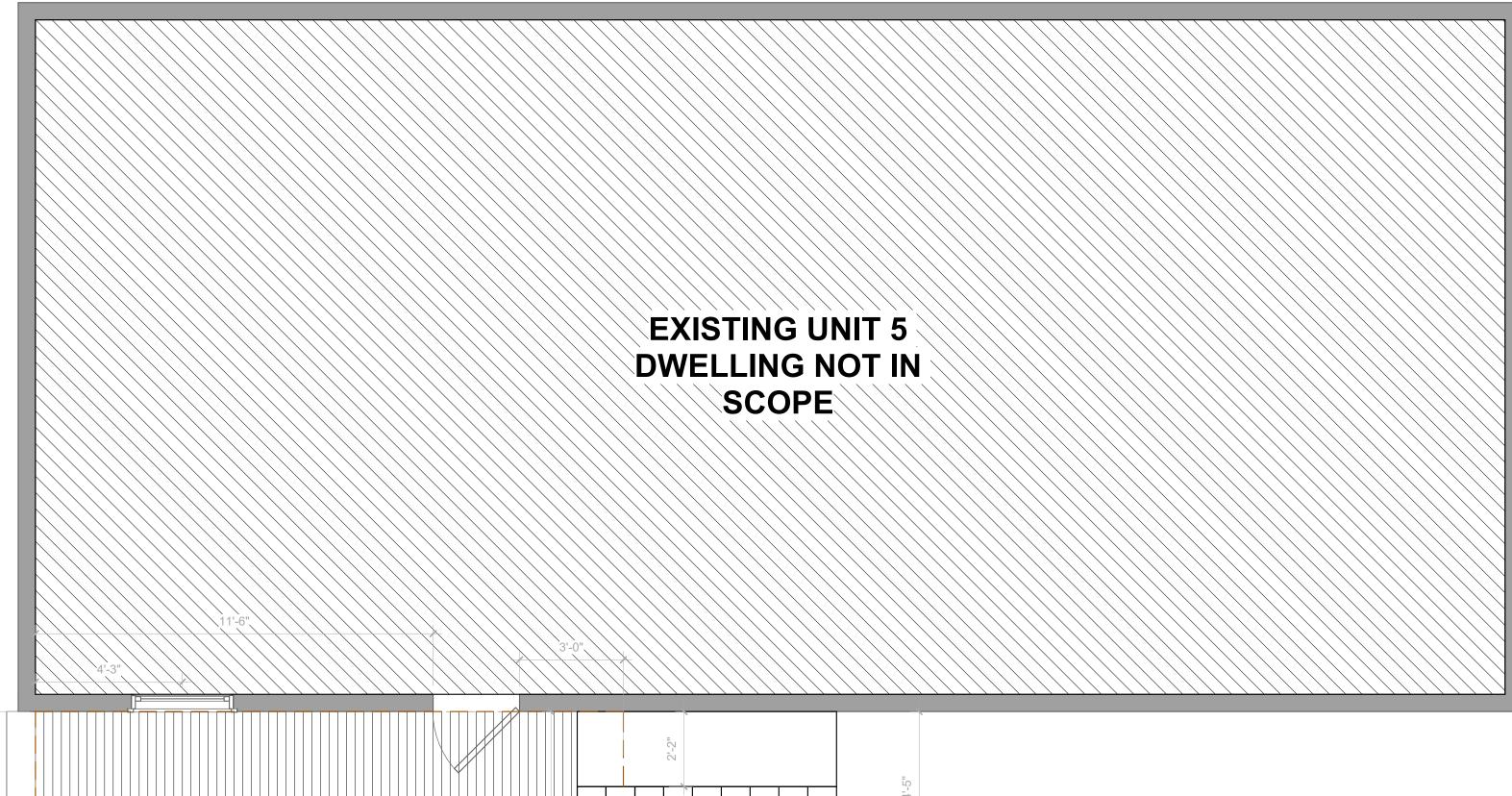
### PHASING LEGEND

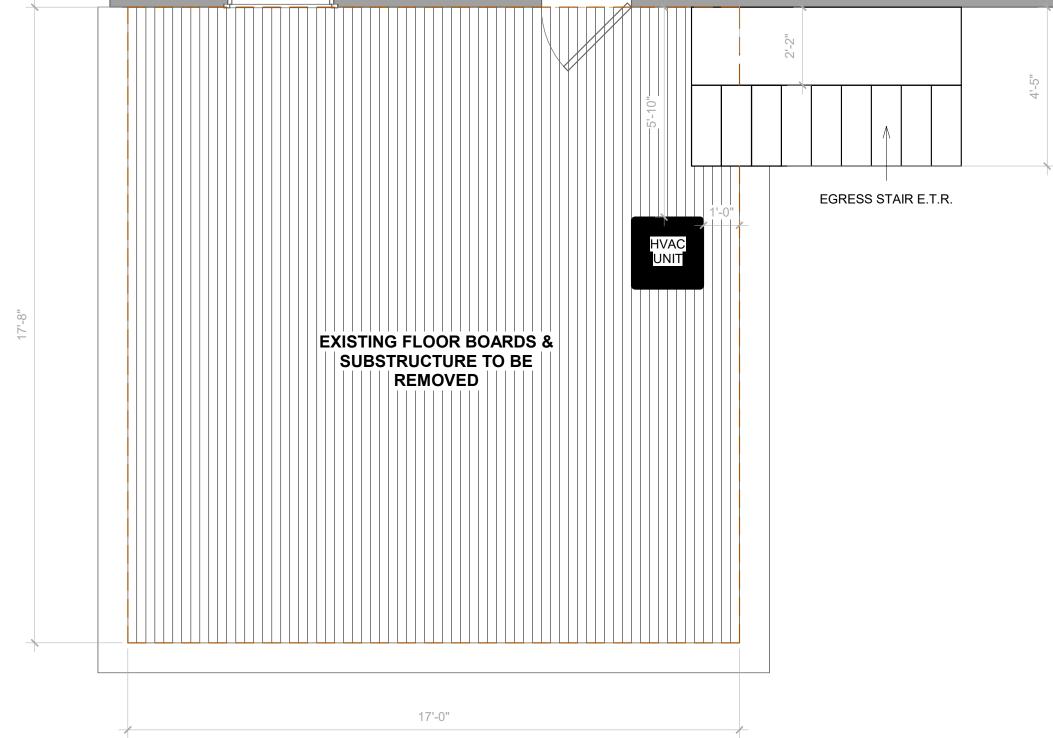
DRAWINGS.

EXISTING TO REMAIN
NEW
TO BE DEMOLISHED

### **DEMOLITION LEGEND**

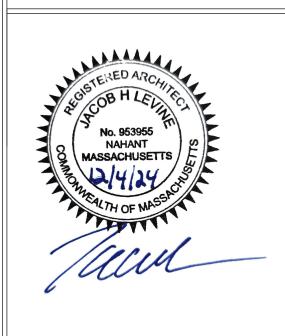
DEMOLITI	ON LEGEND
(D1)	DEMOLISH EXISTING WALL
D2	REMOVE EXISTING DOOR, HARDWARE AND FRAME
D3	REMOVE EXISTING WINDOW, HARDWARE AND FRAME
D4	DEMOLISH EXISTING DECK AS NEEDED
<b>D</b> 5	REMOVE EXISTING FLOOR AND FLOOR STRUCTURE AS REQ
D6	DEMOLISH EXISTING STAIR
D7	REMOVE EXISTING PLUMBING FIXTURES
(D8)	REMOVE CABINETS & COUNTERTOPS
(D9)	(RESERVED)





1 EXISTING UNIT 5 DECK FLOOR
A1.0 3/8" = 1'-0"





No.	Description	Date

As indicated 12/10/24

Drawn By: SLHG

Drawing Name

SCOPE OF WORK

Sheet No.

A1.0

### **GENERAL CONSTRUCTION NOTES**

1. ALL WORK SHALL CONFORM TO MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE FEDERAL, STATE, & TOWN LAWS, ORDINANCES, CODES, AND REGULATIONS. 2. ALL EXISTING CONDITIONS MUST BE VERIFIED IN FIELD. CONTRACTOR IS TO STOP WORK AND IMMEDIATELY INFORM ARCHITECT AND STRUCTURAL ENGINEER UPON DISCOVERY OF ANY SIGNIFICANT & CONSEQUENTIAL

DISCREPANCY BETWEEN EXISTING CONDITIONS AND DESIGN DRAWINGS. 3. DISCREPANCIES OR CONFLICTS BETWEEN ARCHITECT'S AND STRUCTURAL ENGINEER'S DRAWINGS -SHOULD THEY BE FOUND TO EXIST - ARE NOT TO BE RESOLVED BY EITHER ARCHITECT NOR ENGINEER ALONE. CONTRACTOR IS INSTEAD TO STOP WORK AND NOTIFY BOTH ARCHITECT AND ENGINEER OF CONFLICT AT ONCE, PROCEEDING ONLY ONCE BOTH PARTIES HAVE APPROVE A COMMON RESOLUTION. SIMILARLY, CONTRACTOR SHALL NOT PROCEED WITH ANY WORK DISCOVERED TO BE IN CONFLICT. (I.E. WORK DESCRIBED BY EITHER ARCHITECT OR ENGINEER THAT CANNOT BE PRACTICABLY CONSTRUCTED IN UNION WITH OTHER DESCRIBED WORK.)

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULING AND WORK OF ALL 5. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR

THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF THE WORK, THIS INCLUDES BUT IS

NOT LIMITED TO BRACING AND SHORING. 6. THE CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS 7. ALL WORK SHALL BE PERFORMED IN A FIRST-CLASS AND WORKMANLIKE MANNER IN CONFORMITY WITH

THE SPECIFICATIONS DRAWINGS & DOCUMENTS AND SHALL BE IN GOOD USABLE CONDITION AT THE COMPLETION OF THE WORK. 8. PRIOR TO BIDDING THE WORK, THE CONTRACTOR SHALL VISIT THE SITE AND INDEPENDENTLY VERIFY EXISTING CONDITIONS AND QUANTITIES. NO CLAIM AGAINST THE OWNER OR ENGINEER WILL BE ALLOWED

FOR ANY EXCESS OR DEFICIENCY THEREIN, ACTUAL OR RELATIVE. 9. THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS INCLUDING UTILITY LOCATIONS, ELECTRICAL PANEL LOCATIONS, BEARING WALL LOCATIONS, AND OTHER RELEVANT INFORMATION PRIOR TO START OF THE WORK.

NEW DECK FRAMING 1X3 P.T. @ 12" O.C.

PROVIDE BLOCKING 1X3'S WILL BE LEDGERLOK/HURRICANE

TIES TO EXISTING FRAMING

**USE HIDDEN FASTENERS TO ATTACH** FLOOR BOARDS TO 1X3'S

**EXISTING CEILING JOISTS TO REMAIN** 

REMOVE EXISTING PRIVACY WALL

5 PROPOSED LEFT ELEVATION
A1.1 1/4" = 1'-0"

EXISTING UNIT 5 DWELLING NOT IN SCOPE

### STRUCTURAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS. STRUCTURAL DRAWING DIMENSIONS ARE TAKEN FROM FACE OF STRUCTURAL MEMBER U.N.O. 2. ALL LOADS AND LOADING CONDITIONS ARE TO ACCORD WITH INTERNATIONAL

CODE COUNCIL INTERNATIONAL RESIDENTIAL CODE AND MASSACHUSETTS BUILDING 3. CONTRACTOR SHALL STOP WORK AND IMMEDIATELY INFORM ARCHITECT UPON DISCOVERY OF ANY CONFLICT BETWEEN ARCHITECTURAL AND ENGINEERING

DRAWINGS. 4. ALL DIMENSIONAL LUMBER MUST BE OF CONSTRUCTION GRADE OR BETTER.

### LIFE SAFETY LEGEND

SYMBOL DESCRIPTION

CEILING SURFACE-MOUNTED COMBINED SMOKE & CARBON MONOXIDE DETECTOR W/ AUDIO/VISUAL ALARM, HARD-WIRED

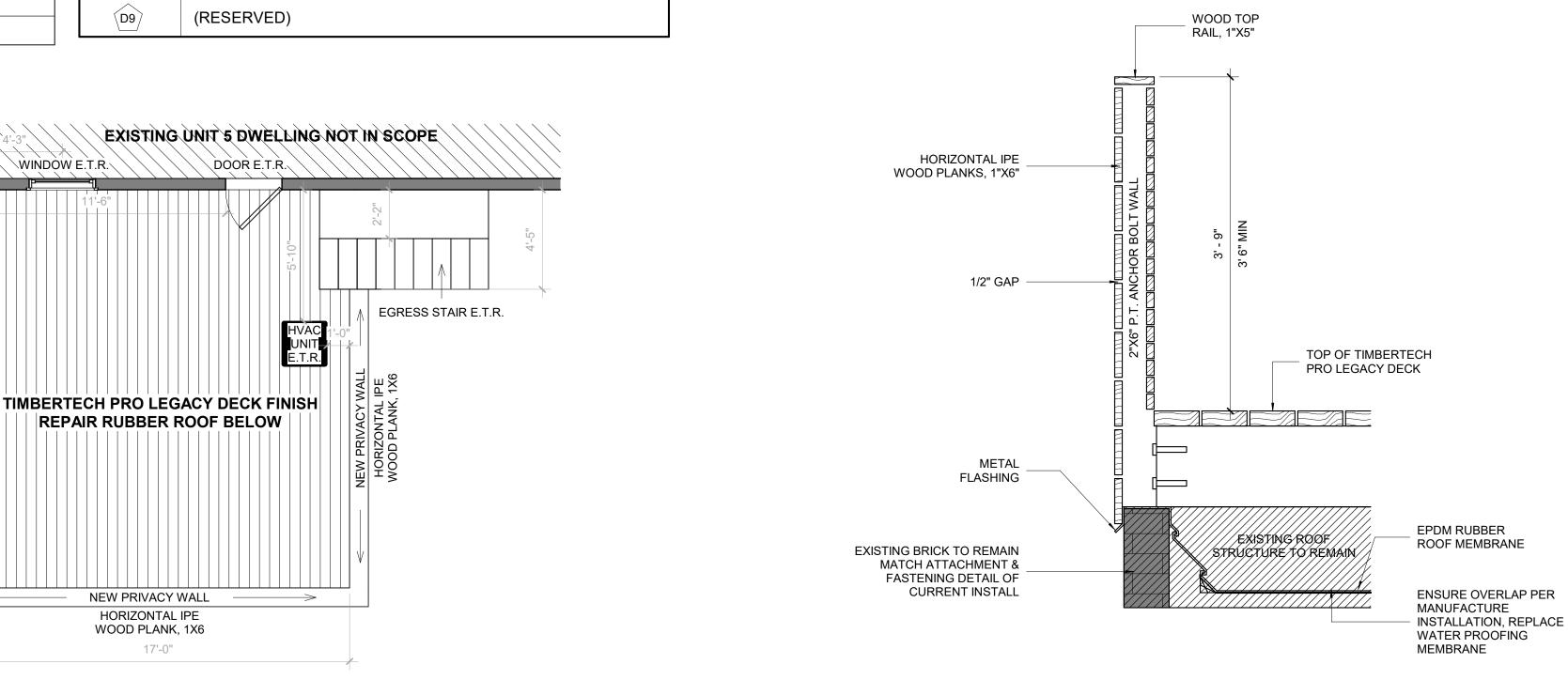
NOTE: DEVICES TO COMPLY W/ NFPA RULE 72®, MOST CURRENT EDITION

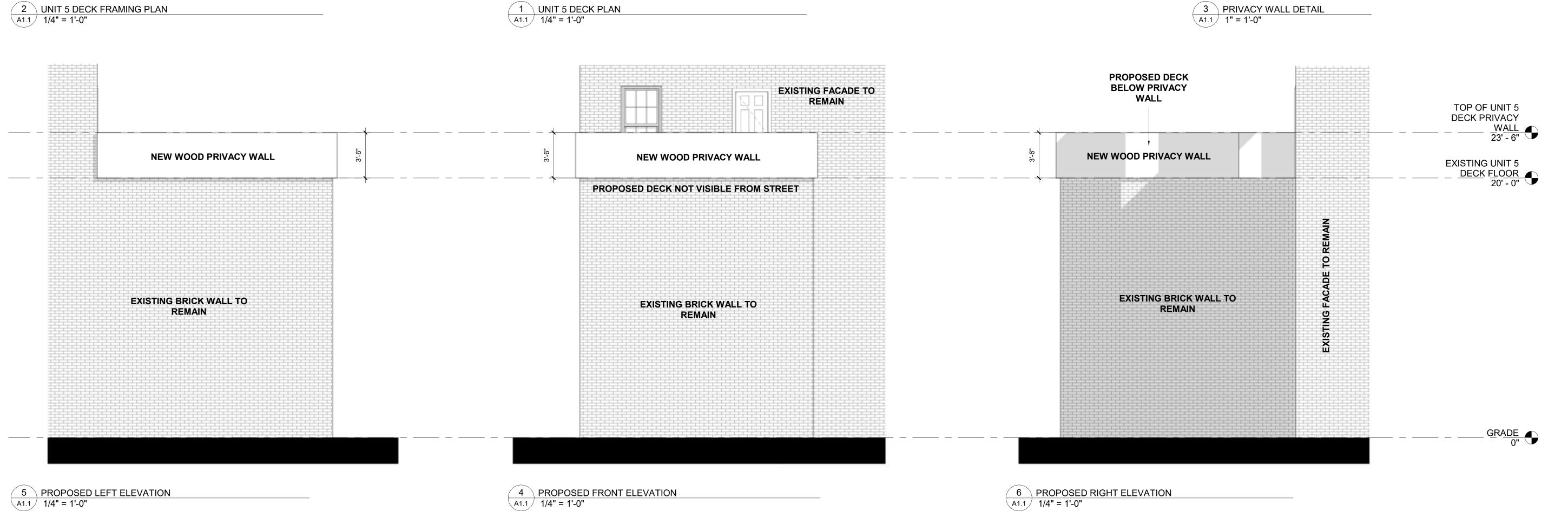
### PHASING LEGEND

EXISTING TO REMAIN
NEW
TO BE DEMOLISHED

### **DEMOLITION LEGEND**

DEMOLITI	ON LEGEND
(D1)	DEMOLISH EXISTING WALL
D2	REMOVE EXISTING DOOR, HARDWARE AND FRAME
D3	REMOVE EXISTING WINDOW, HARDWARE AND FRAME
D4)	DEMOLISH EXISTING DECK AS NEEDED
(D5)	REMOVE EXISTING FLOOR AND FLOOR STRUCTURE AS REC
D6	DEMOLISH EXISTING STAIR
(D7)	REMOVE EXISTING PLUMBING FIXTURES
D8	REMOVE CABINETS & COUNTERTOPS
D9	(RESERVED)





ELEVATIONS PROVIDED FOR REFERENCE ONLY

4 PROPOSED FRONT ELEVATION
A1.1 1/4" = 1'-0"

If ledger fasteners interfere with

deck joist they may be offset 3" max

screws in

two rows

1-1/2" minimum from top of ledger

and rim board

1-1/2" minimum from bottom

of ledger and rim board

Screw

Spacing





No.	Description	Date

As indicated 12/10/24 Drawn By: SLHG

Drawing Name

**PROPOSED** DECK

Sheet No.

A1.1