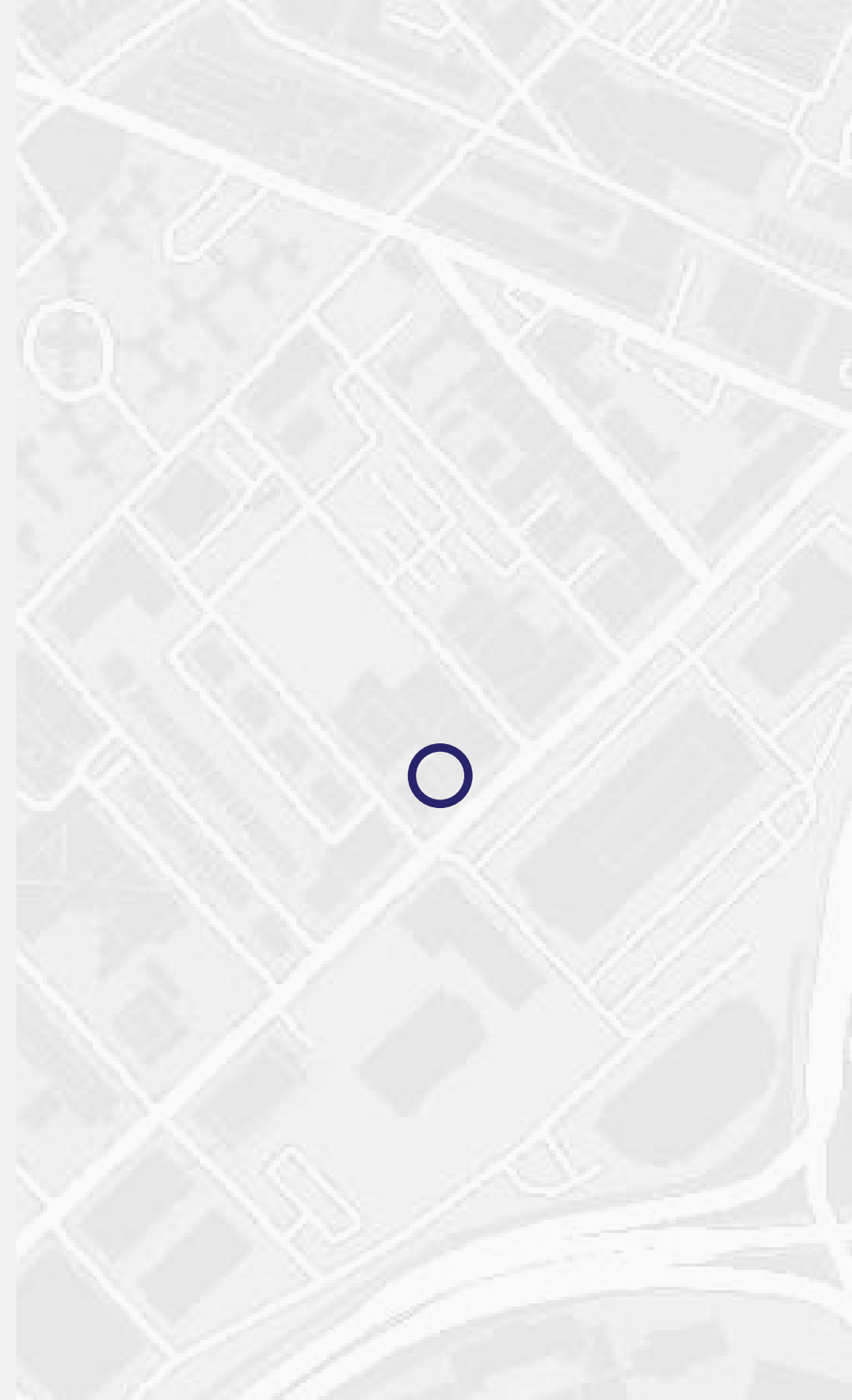


CITY REALTY

SOUTH END LANDMARKS COMMISSION

# 587 ALBANY STREET

BOSTON, MA 02118



**EMBARC**



AUGUST 6, 2024

# Project Overview



## PROJECT ADDRESS

- 587 ALBANY STREET, BOSTON MA 02118

## PROJECT DESCRIPTION

- NEW CONSTRUCTION OF A SIX (6) STORY BUILDING WITH SIX (6) CONDOMINIUM UNITS. THE PROJECT WILL PRESERVE THE EXISTING EXTERIOR ALBANY STREET FACADE.

## ZONING DISTRICT

- SOUTH END NEIGHBORHOOD
- ECONOMIC DEVELOPMENT AREA (EDA SOUTH)

## HISTORIC DISTRICT

- SOUTH END LANDMARKS COMMISSION

## LOT SIZE

- 1,834 SF

## DIMENSIONAL INFO

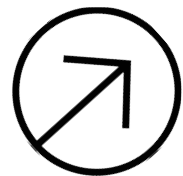
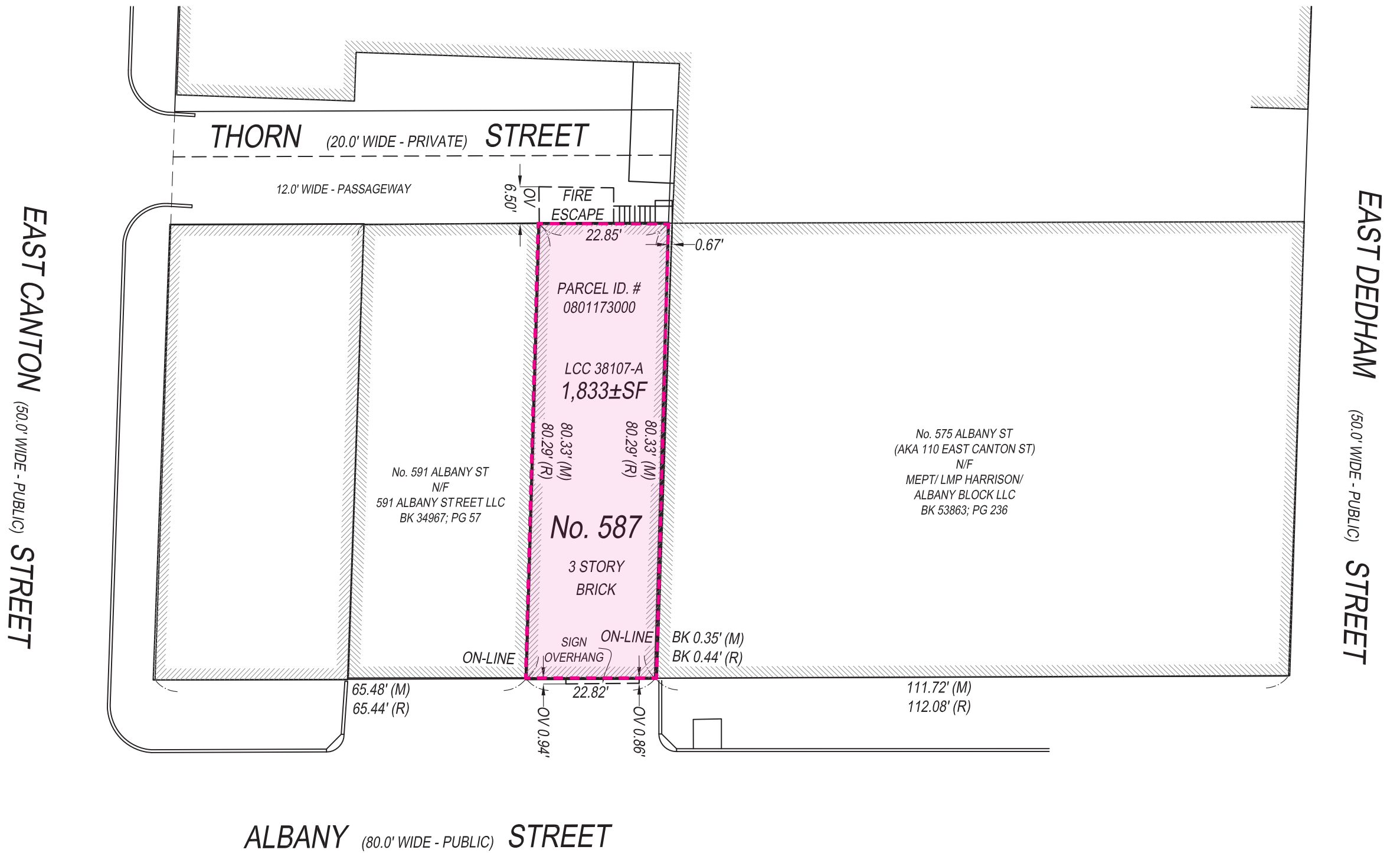
- GROSS SF: 10,445 SF
- FAR: 5.17
- HEIGHT: 66'-6"



SITE

INTERSTATE I-93



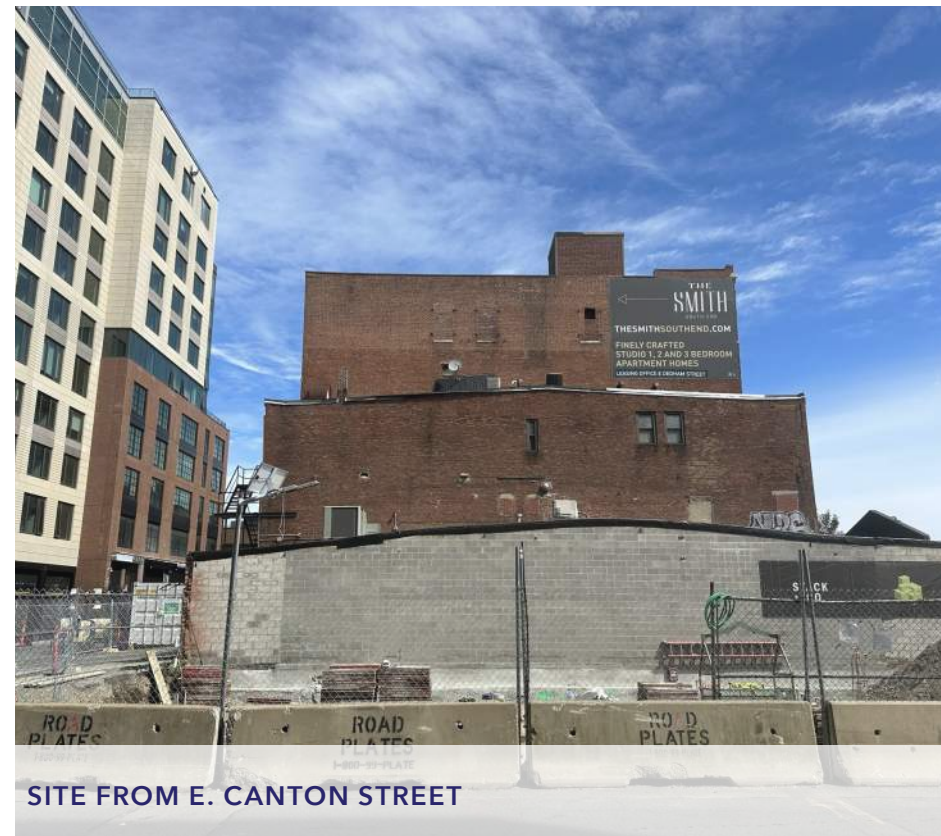




SITE FROM ALBANY STREET



SITE FROM E. CANTON STREET



SITE FROM E. CANTON STREET



SITE FROM THORN STREET





Graphics from 5/15/2022 595 Albany Landmarks Commission Design Review Presentation



## ALBANY STREET PERSPECTIVE





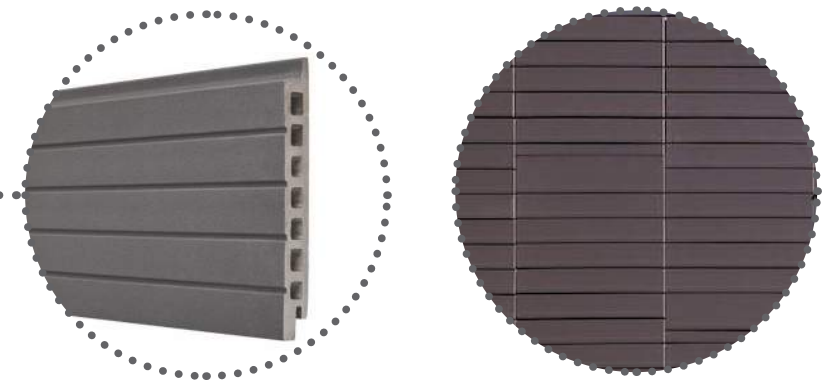
STUCCO



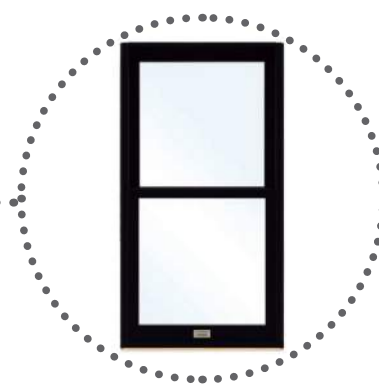
EXISTING BRICK



TERRACOTTA PANELS



ALUMINUM CLAD WOOD WINDOWS



ACM METAL PANEL CANOPY





PROPOSED RENDERED ELEVATION



PROPOSED SCALED ELEVATION





MASONRY SETTLEMENT DAMAGE AT CORNICE

05/16/2018



DIFFERENTIAL SETTLEMENT DAMAGE TO MASONRY

05/16/2018



DIFFERENTIAL SETTLEMENT DAMAGE TO MASONRY

05/16/2018



MASONRY DEGRADATION AT EXISTING ENTRY

05/16/2018



VERTICAL CRACKING AT LEFT PARTY WALL

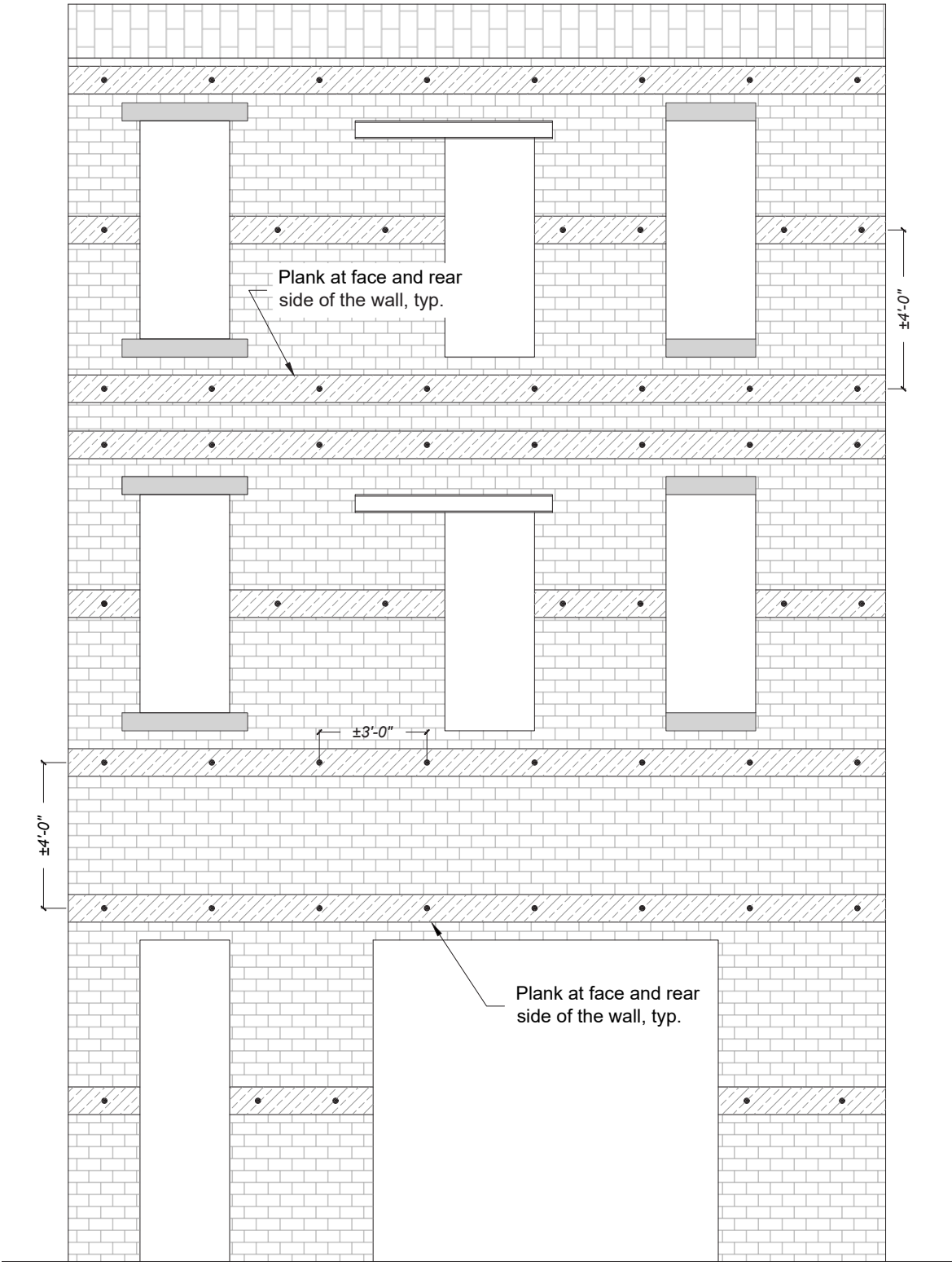
05/16/2018



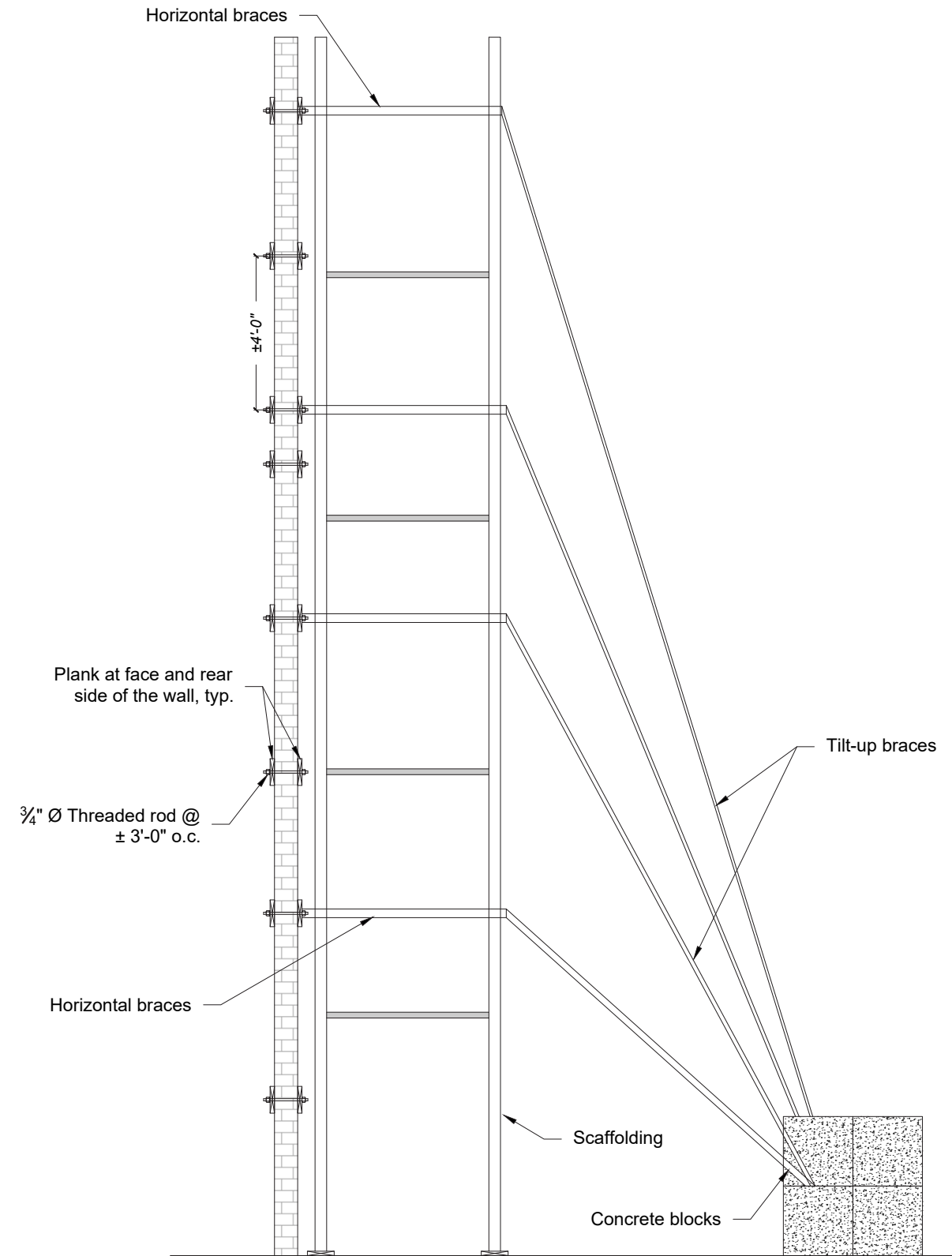
MASONRY DEGRADATION AT REAR OF BUILDING

05/16/2018

### PHOTOS FROM STRUCTURAL OBSERVATION REPORT - 05/16/2018



ELEVATION



SECTION



BRACING IN PLACE AGAINST BOWED MASONRY WALL



FACADE BRACING IN PLACE



SEPARATION OF MASONRY WALLS



SEPARATION OF MASONRY WALLS



MASONRY WALL LEANING FORWARDS

## CURRENT CONDITIONS - 08/01/2024



## MEMORANDUM

July 2, 2024

Jacob Simmons  
City Real Estate Development  
500 Lincoln St, 2nd Floor  
Boston, MA 02134

**RE: 587 Albany St. Boston, MA**  
**Conceptual Structural Pricing Narrative**  
**H+O Project #24-022**

Dear Jacob,

As requested, H+O Structural Engineering (H+O) made a visit to the existing building located at 587 Albany St in Boston, MA, on June 28, 2024. The purpose of our visit was to observe the condition of the existing front masonry façade. Our assessment was only visual in nature and did not include the removal of finished materials for a more detailed investigation or testing.

The existing structure is a 3-story unreinforced brick masonry building, a common construction type from this time period. The attached photos show several deficiencies observed during our visit. There was extensive loss of mortar, step cracking, and loose and missing bricks. At approximately the elevation of the second level, the outer wythe of masonry has pulled away and delaminated from the inner wythes. All of the above have created paths for water to enter the façade and further degrade it over time.

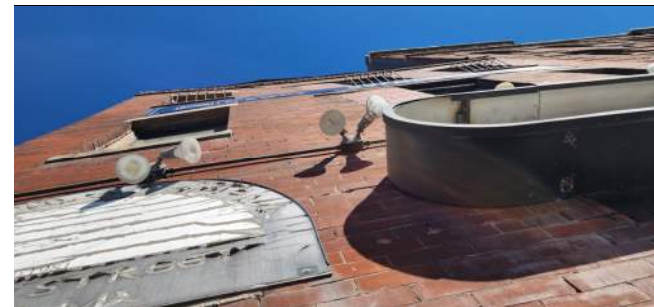
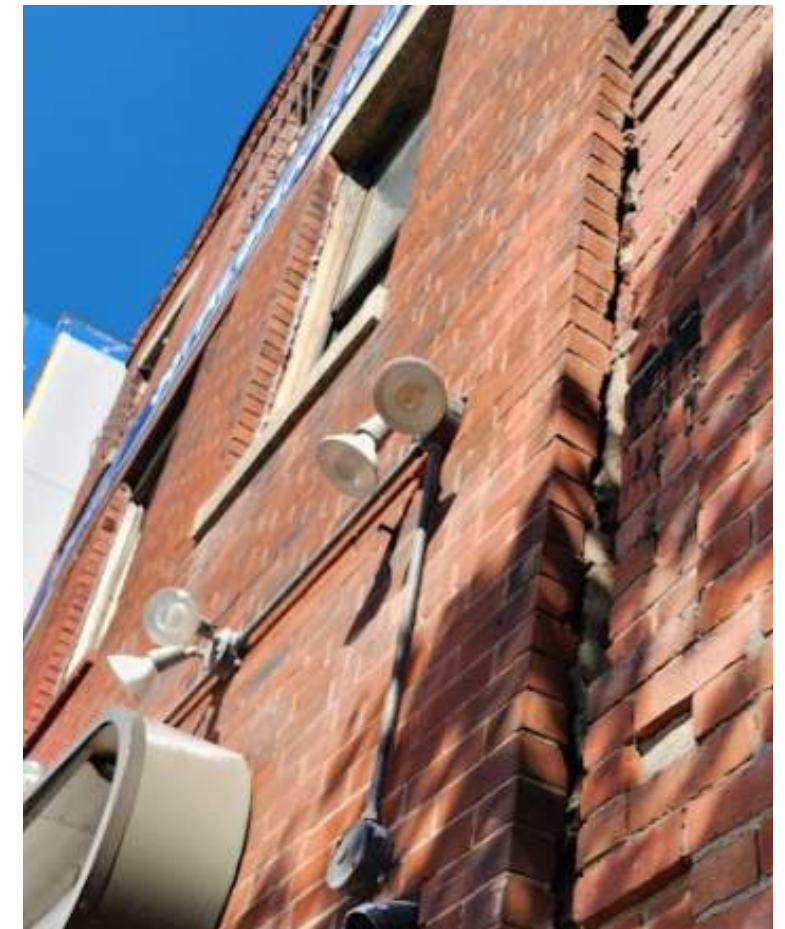
Of most concern, the back of the façade has pulled away from the framed second floor by about 3-5 inches. This is substantial movement, and we did not observe any floor ties, which suggests the façade currently has no bracing to prevent further movement.

There is planned redevelopment for this parcel that was intended to brace, restore, and reattach the façade to the new building. In our opinion, this façade cannot be safely braced and repaired in that manner given its out-of-plumbness and deteriorated condition. We suggest the full demolition of this wall and rebuilding or reincorporating it as a brick veneer in the new project.

This matter must be addressed promptly, as the current condition is unsafe. We recommend engaging a demolition and shoring contractor familiar with this type of work and installing appropriate sidewalk protection immediately.

Please contact us with any questions.

Jeremiah C. O'Neill, P.E.  
Principal





**EMBARC**



STACK  
+ CO.

ROAD  
PLATES

ROAD  
PLATES  
1-800-99-PLATES

rebelle

591

587 ALBANY

**THANK YOU**

TOW ZONE  
NO PARKING  
SNOW  
EMERGENCY