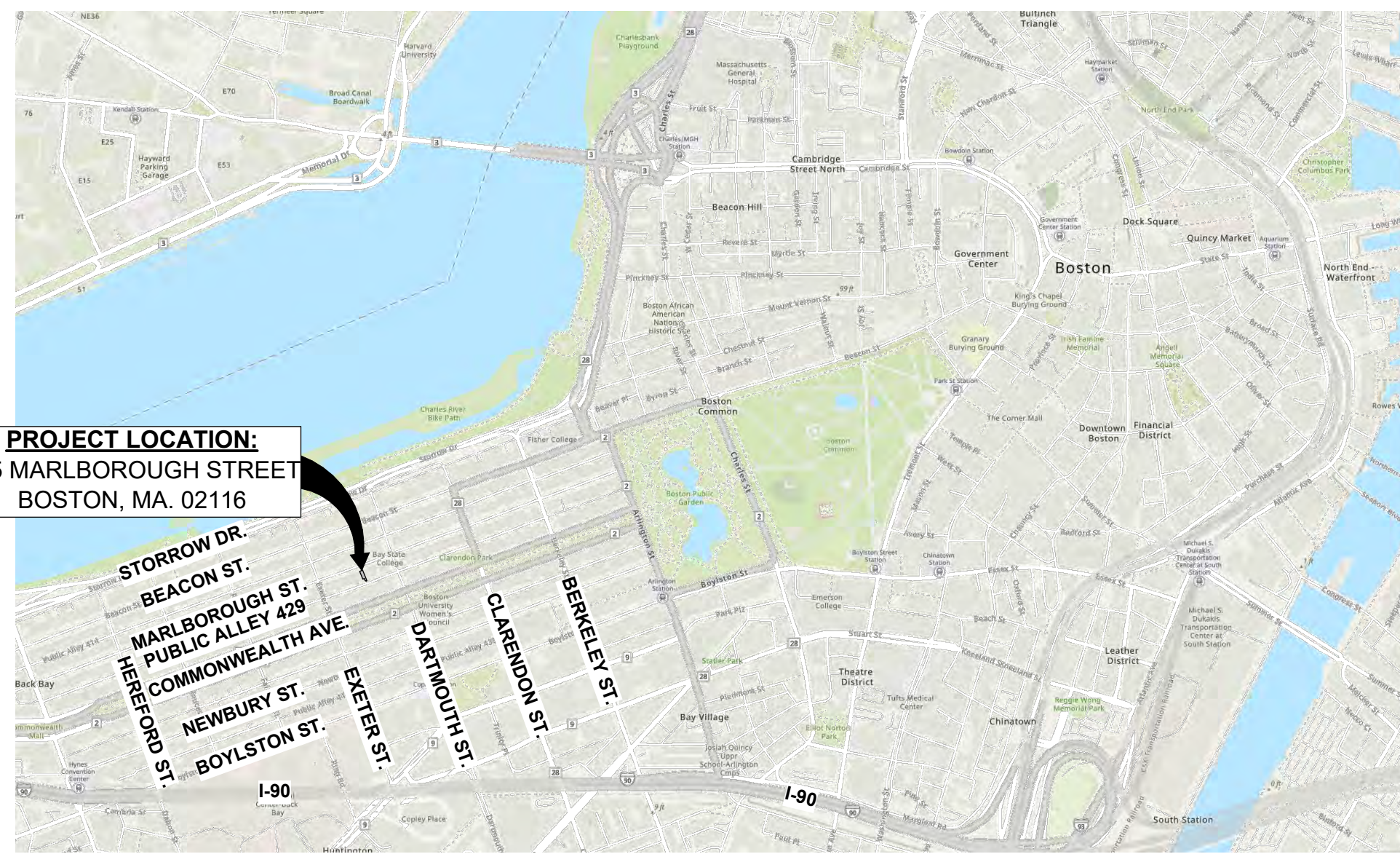


# 175 MARLBOROUGH ST.

BOSTON, MASSACHUSETTS  
SUFFOLK COUNTY

## VICINITY MAP



**PROJECT LOCATION:**  
175 MARLBOROUGH STREET  
BOSTON, MA. 02116

## PROJECT TEAM

|                             |   |  |  |
|-----------------------------|---|--|--|
| <b>OWNER:</b>               | GERALDINE MCGOWAN   |  |  |
| <b>ARCHITECT OF RECORD:</b> | <b>MESHBURG GROUP</b><br>195 Broadway, Floor 4<br>Brooklyn, NY 11211<br>ct: <b>ADAM MESHBERG, AIA</b><br>ph: 718.222.1980<br>wb: <a href="https://meshberggroup.com">https://meshberggroup.com</a><br>em: adam@meshberggroup.com                      | <b>CONSULTING ARCHITECT &amp; APPLICANT:</b><br><br><b>DAVID SHARFF ARCHITECT, P.C.</b><br>800 Boylston St.<br>PO Box 990431<br>Boston, MA. 02199<br>ct: <b>DAVID SHARFF, AIA</b><br>ph: 808.359.5737<br>wb: <a href="https://davidsharffarchitect.com/">https://davidsharffarchitect.com/</a><br>em: david@davidsharffarchitect.com |  |
| <b>SURVEYOR:</b>            | <b>BOSTON SURVEY INC.</b><br>C4 Shipway Place, Inc.<br>Chareston, MA 02129<br>ct: <b>ROSS A. PHILLIPS</b><br>ph: 617.292.1313<br>wb: <a href="http://www.bostonsurveyinc.com">http://www.bostonsurveyinc.com</a><br>em: rphillips@bostonsurveyinc.com | <b>CONTRACTOR:</b><br><br><b>FBN CONSTRUCTION</b><br>17 Wolcott Ct.<br>Boston, MA. 02136<br>ct: <b>MATT AYERS</b><br>ph: 617.333.6800<br>wb: <a href="http://www.fbnconstruction.com">http://www.fbnconstruction.com</a><br>em: mayers@fbnconstruction.com   |  |

## DRAWING INDEX

### ARCHITECTURAL / CIVIL / LANDSCAPE

|       |   |
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| A000  | COVER SHEET   |
| A001  | EXISTING CONDITIONS SURVEY                            |
| AS100 | SITE PLAN   |
| A100  | EXISTING / DEMO / PROPOSED 2ND LEVEL FLOOR PLAN       |
| A101  | EXISTING / DEMO / PROPOSED PENTHOUSE LEVEL FLOOR PLAN |
| A110  | EXISTING / DEMO / PROPOSED ROOF LEVEL FLOOR PLAN      |
| A200  | EXISTING / DEMO SOUTH & EAST ELEVATIONS               |
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| A300  | SITE BUILDING SECTIONS W/ SITE HEIGHT CALCULATIONS    |
| A400  | WINDOW & DOOR SCHEDULES                               |

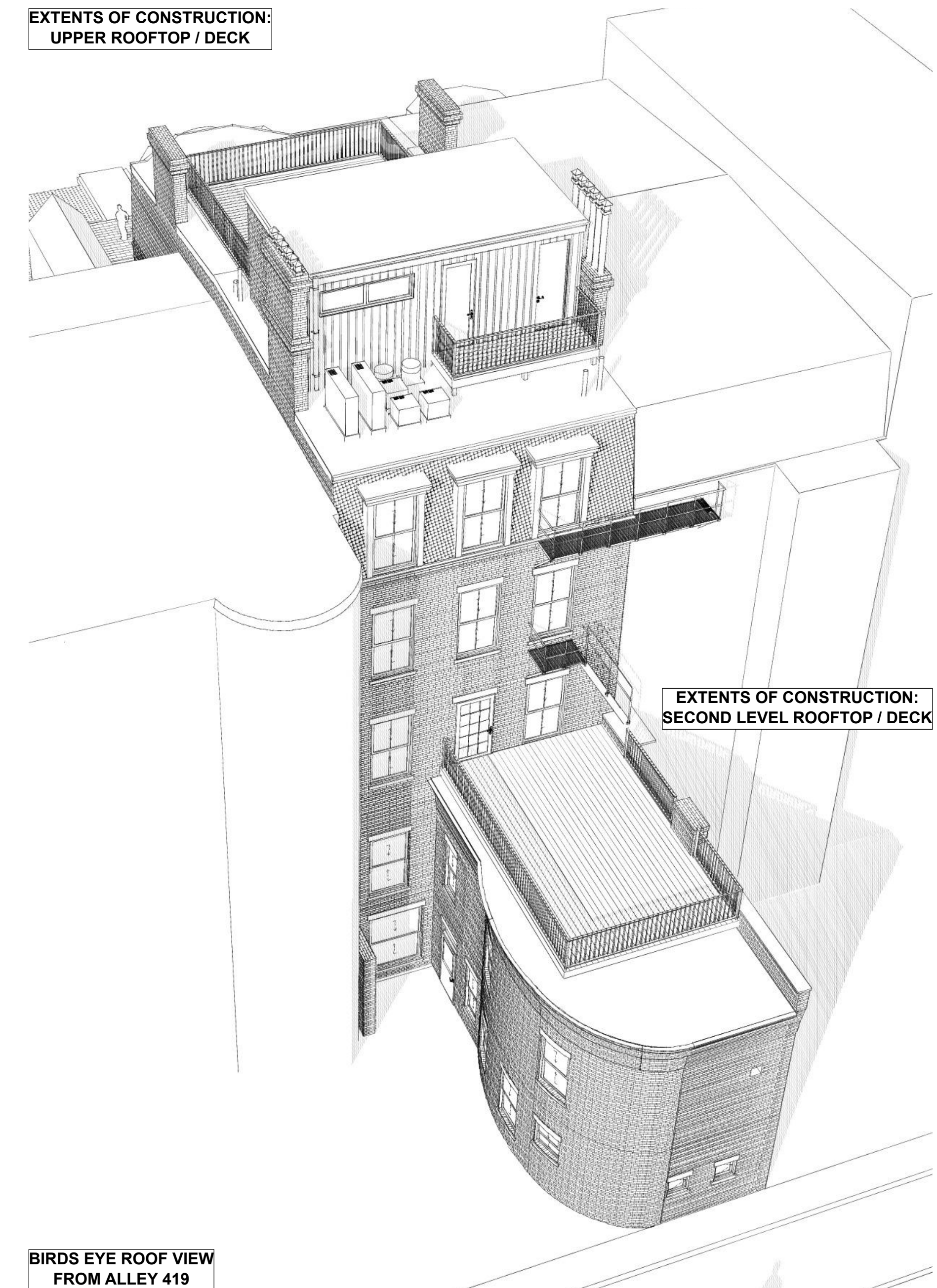
## CODE ANALYSIS

|                           |   |
|---------------------------|---|
| <b>PROJECT SCOPE</b>      | SECOND LEVEL ROOF DECK REMODEL & UPPER ROOF DECK REMODEL  |
| <b>LAND USE SUMMARY</b>   |   |
| LEGAL DESCRIPTION:        | 175 MARLBOROUGH ST.<br>BOSTON, MA. 02116                  |
| ZONING:                   | BOSTON PROPER / H-3-65                                    |
| BUILDING USE:             | RESIDENTIAL CONDO   |
| <b>SETBACKS / HEIGHTS</b> |   |
| FRONT SETBACK:            | EXISTING - UNALTERED                                      |
| REAR SETBACK:             | EXISTING - UNALTERED                                      |
| SIDE SETBACK:             | EXISTING - UNALTERED                                      |
| MAXIMUM HEIGHT:           | HEIGHT OF (EX) STRUCT. (12.31.1964) = 10'-0" MAX INCREASE |
| ALLOWED HEIGHT:           | 10'-0" MAX INCREASE                                       |
| PROPOSED HEIGHT:          |   |
| <b>SITE COVERAGE</b>      |   |
| LOT SIZE:                 | 2,800 SF / .064 ACRES                                     |
| SITE COVERAGE ALLOWED:    | EXISTING  |
| PROPOSED:                 | UNALTERED TO EXISTING                                     |
| <b>BUILDING</b>           |   |
| CODE REVIEW:              | 9TH EDITION OF THE MA STATE BUILDING CODE / CMR780        |
| OCCUPANCY TYPE:           | R3, U   |
| CONSTRUCTION TYPE:        | V-N   |
| STORIES ABOVE GRADE:      | 4 STORIES W/ BASEMENT & ROOF DECK                         |

## PERSPECTIVE SKETCHES



BIRDS EYE ROOF VIEW  
FROM MARLBOROUGH ST.



BIRDS EYE ROOF VIEW  
FROM ALLEY 419

CONSULTING ARCHITECT:



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PH: 718.222.1980

**175 MARLBOROUGH ST.**  
175 MARLBOROUGH ST.  
BOSTON, MASSACHUSETTS  
SUFFOLK COUNTY  
ZONE DISTRICT: BOSTON PROPER / H-3-65  
PARCEL NUMBER: 0502647016

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**JULY 24, 2024**

DATE OF REVISIONS  
07.24.24 CITY SUBMISSION FOR 2ND LEVEL DECK & ROOFTOP ELEV & STAIR ENHANCEMENT

DRAWN BY:  
DRAWN BY

PROJECT NUMBER:  
**MARLBOROUGH**

PROJECT TITLE:  
COVER SHEET  
RESIDENTIAL

SHEET NUMBER:

**A000**

**PREPARED FOR:**  
OWNER OF RECORD:  
175 MARLBOROUGH CONDOMINIUM TRUST  
175 MARLBOROUGH STREET  
BOSTON, MA 02116

**REFERENCES:**  
MASTER DEED: BK 9059, PG 461  
PLAN: BK 743, PG END  
BK 12910, PG 337  
BK 16324, PG 220  
LCC: 14629-A  
14629-B1  
21807-A

CITY OF BOSTON ENGINEERING RECORDS  
L-3040 PUBLIC ALLEY No. 418  
L-862 BACK BAY  
FB 409, PGS 28-33  
FB 534, PG 25  
FB 571, PG 143  
FB 704, PG 124-125

**ZONING**  
PARCEL ID: 0502647000  
DISTRICT: BOSTON PROPER  
SUBDISTRICT: H-3-65  
SUB DISTRICT TYPE: APARTMENT RESIDENTIAL  
OVERLAYS: COASTAL FLOODING RESILIENCE  
GROUNDWATER CONSERVATION  
RESTRICTED PARKING

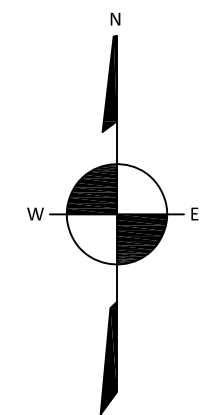
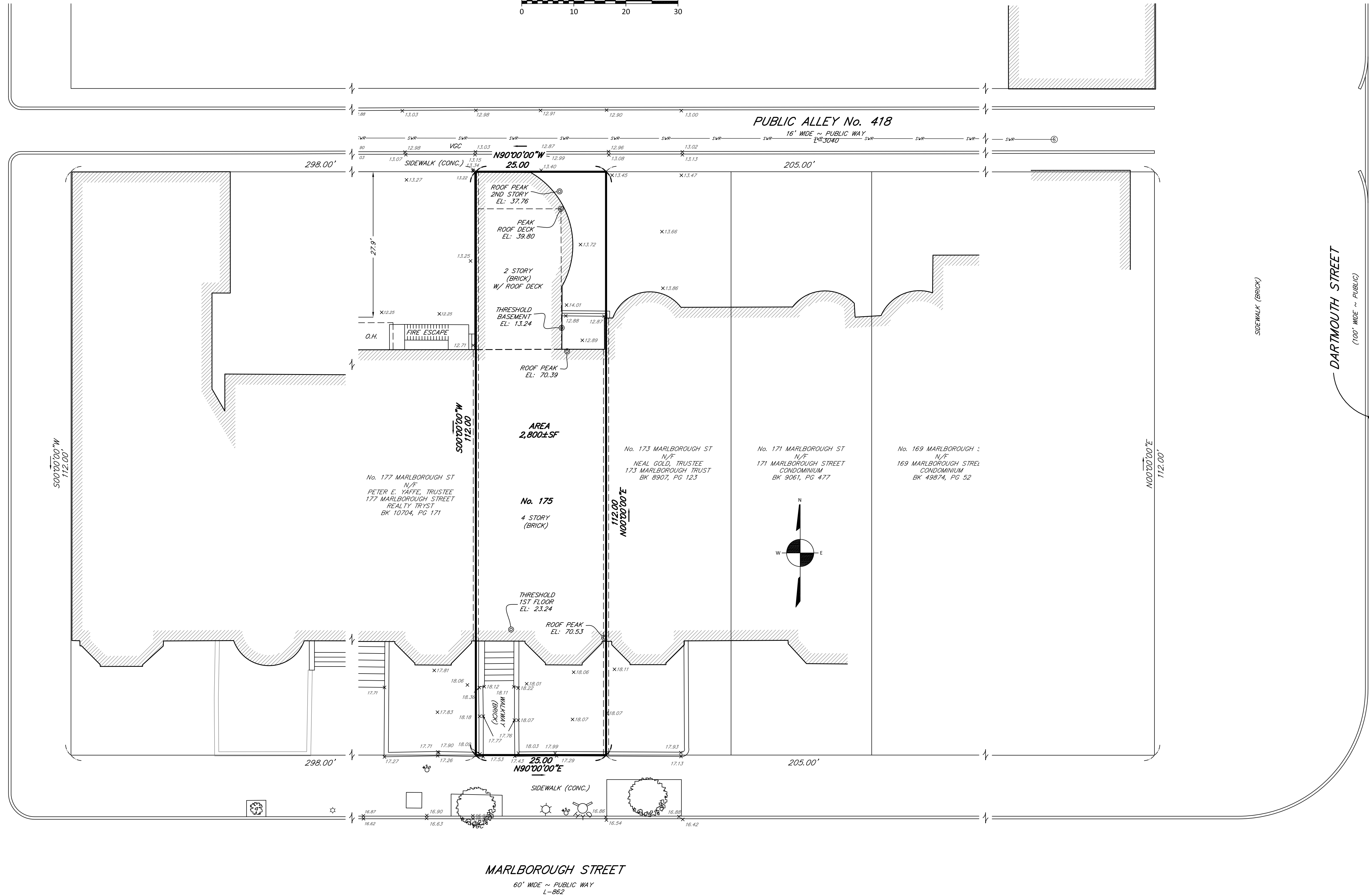
I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 19, 2024 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

**VERTICAL DATUM**  
THE ELEVATIONS SHOWN ON THIS PLAN ARE RELATIVE TO BOSTON CITY BASE.

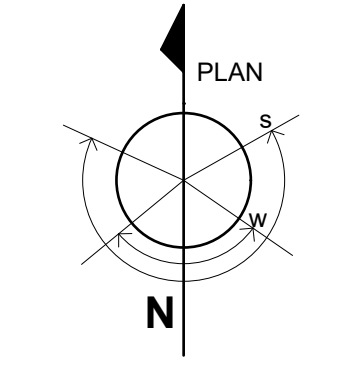
**FEMA**  
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS ZONE: X  
COMMUNITY PANEL: 25025C00771  
EFFECTIVE DATE: 03/16/2016

# SITE PLAN OF LAND LOCATED AT 175 MARLBOROUGH STREET BOSTON, MA

DATE: JULY 19, 2024 SCALE: 1.0 INCH = 10.0 FEET



|        |          |
|--------|----------|
| FIELD: | JJH      |
| DRAFT: | RAP      |
| CHECK: | GCC      |
| DATE:  | 07/19/24 |
| JOB #  | 24-00543 |



**BOSTON**  
**SURVEY, INC.**  
UNIT C-4 SHIPWAY PLACE  
CHARLESTOWN, MA 02129  
(617) 242-1313

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**175 MARLBOROUGH ST.**  
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BOSTON, MASSACHUSETTS  
SUFFOLK COUNTY  
ZONE DISTRICT: BOSTON PROPER / H-3-65  
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**JULY 24, 2024**

DATE OF REVISIONS  
07.24.24 CITY SUBMISSION FOR 2ND LEVEL DECK & ROOFTOP ELEV & STAIR ENHANCEMENT

DRAWN BY:  
DRAWN BY  
PROJECT NUMBER:  
**MARLBOROUGH**

PROJECT TITLE:  
**SURVEY / SITE  
IMPROVEMENT PLAT**

SHEET NUMBER:  
**A001**

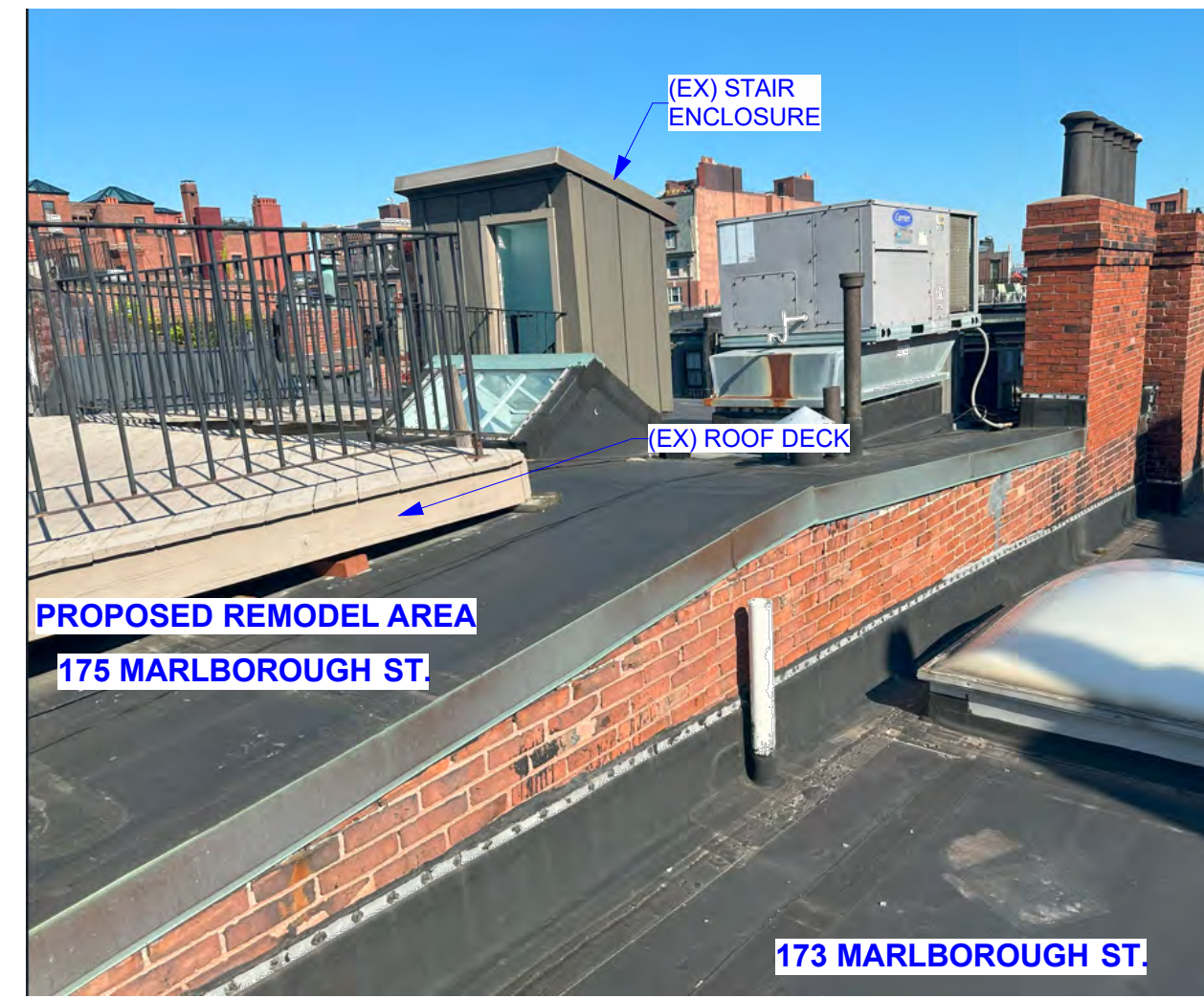
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**1 PHOTO** EXISTING VIEW FROM MARLBOROUGH ST.

A001 SCALE: NOT TO SCALE



**2A EXISTING ROOF DECK & STAIR ENCLOSURE**



**2B EXISTING SECOND LEVEL DECK**

**2 PHOTO** EXISTING ROOF DECK & SECOND LEVEL DECK

A001 SCALE: NOT TO SCALE



**3 PHOTO** EXISTING VIEW FROM ALLEY 418

A001 SCALE: NOT TO SCALE



**4 PHOTO** EXISTING AERIAL ROOFTOP VIEW

A001 SCALE: NOT TO SCALE

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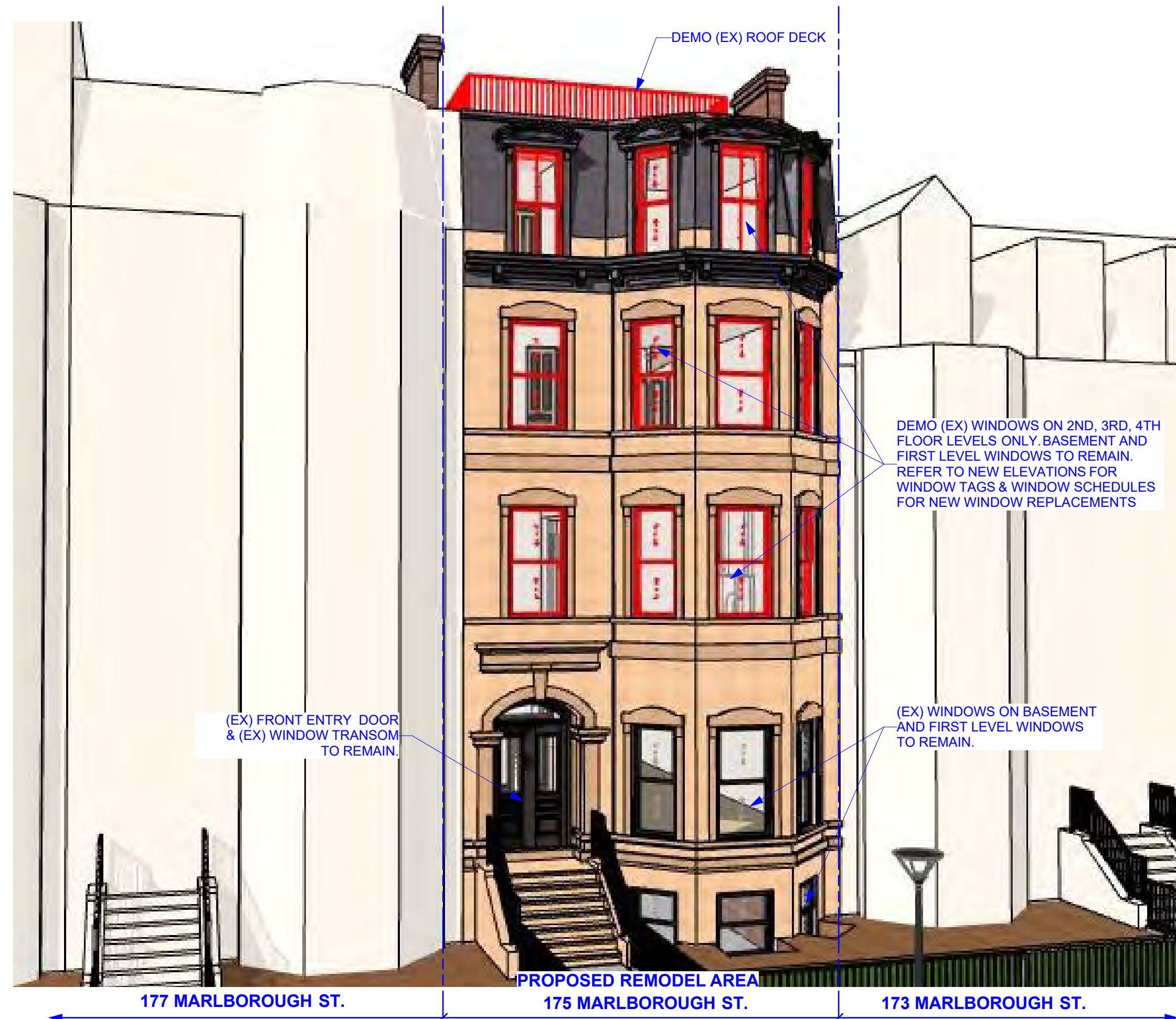
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**MARLBOROUGH**

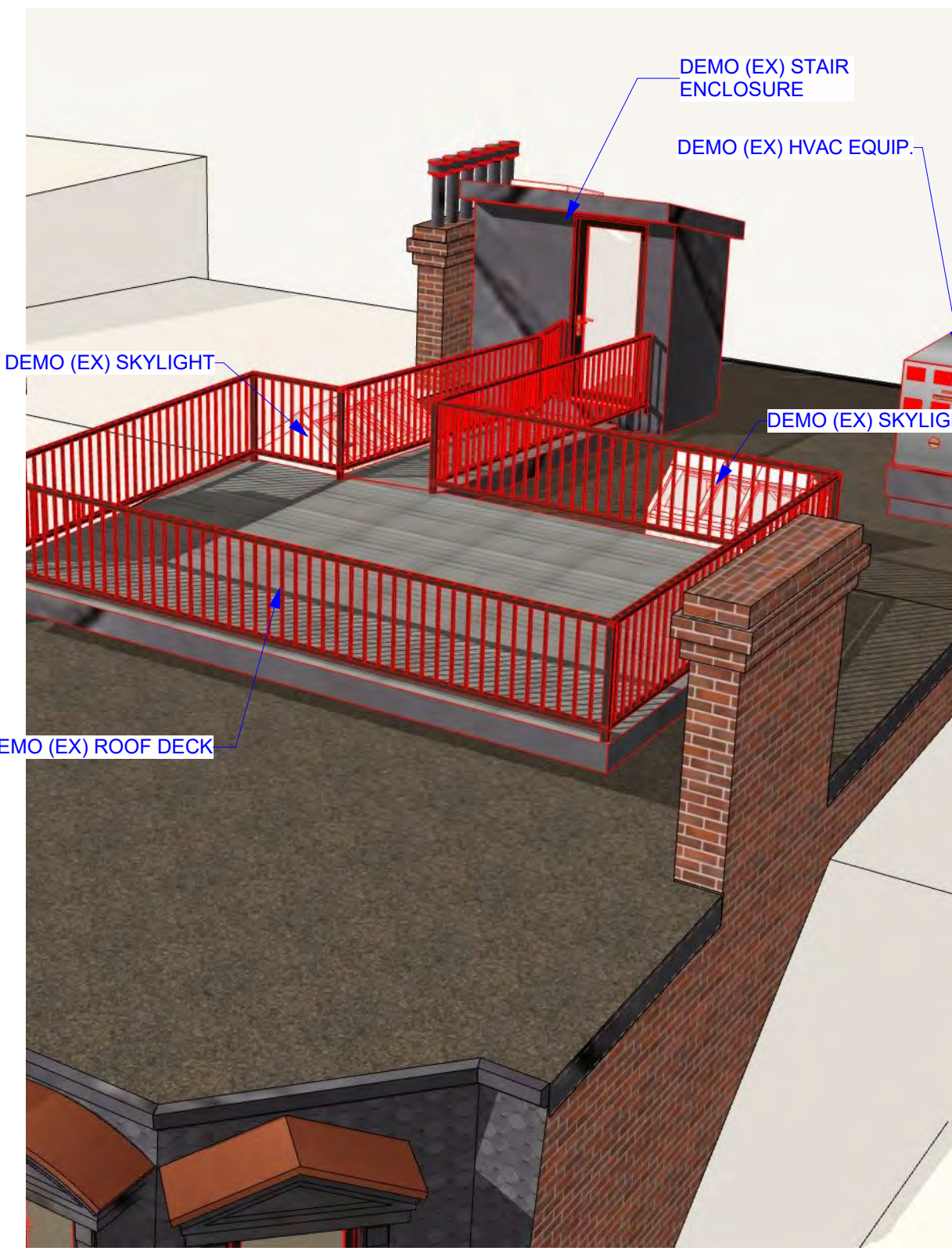
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EXISTING PHOTOS

SHEET NUMBER:

**A010**



**1 PERSPECTIVE 1** EXISTING VIEW FROM MARLBOROUGH ST.  
A011 NOT TO SCALE

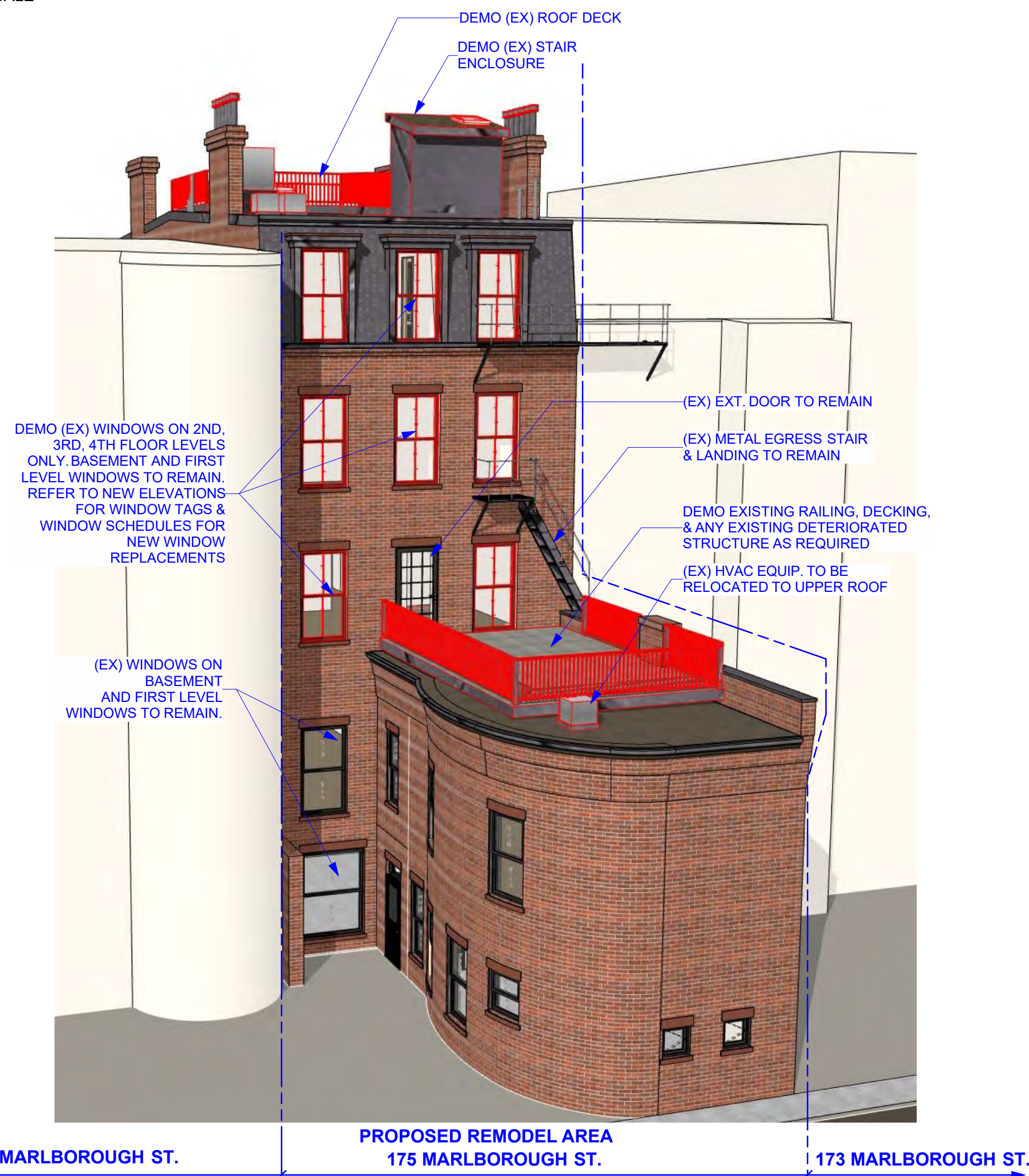


**2A EXISTING ROOF DECK & STAIR ENCLOSURE**

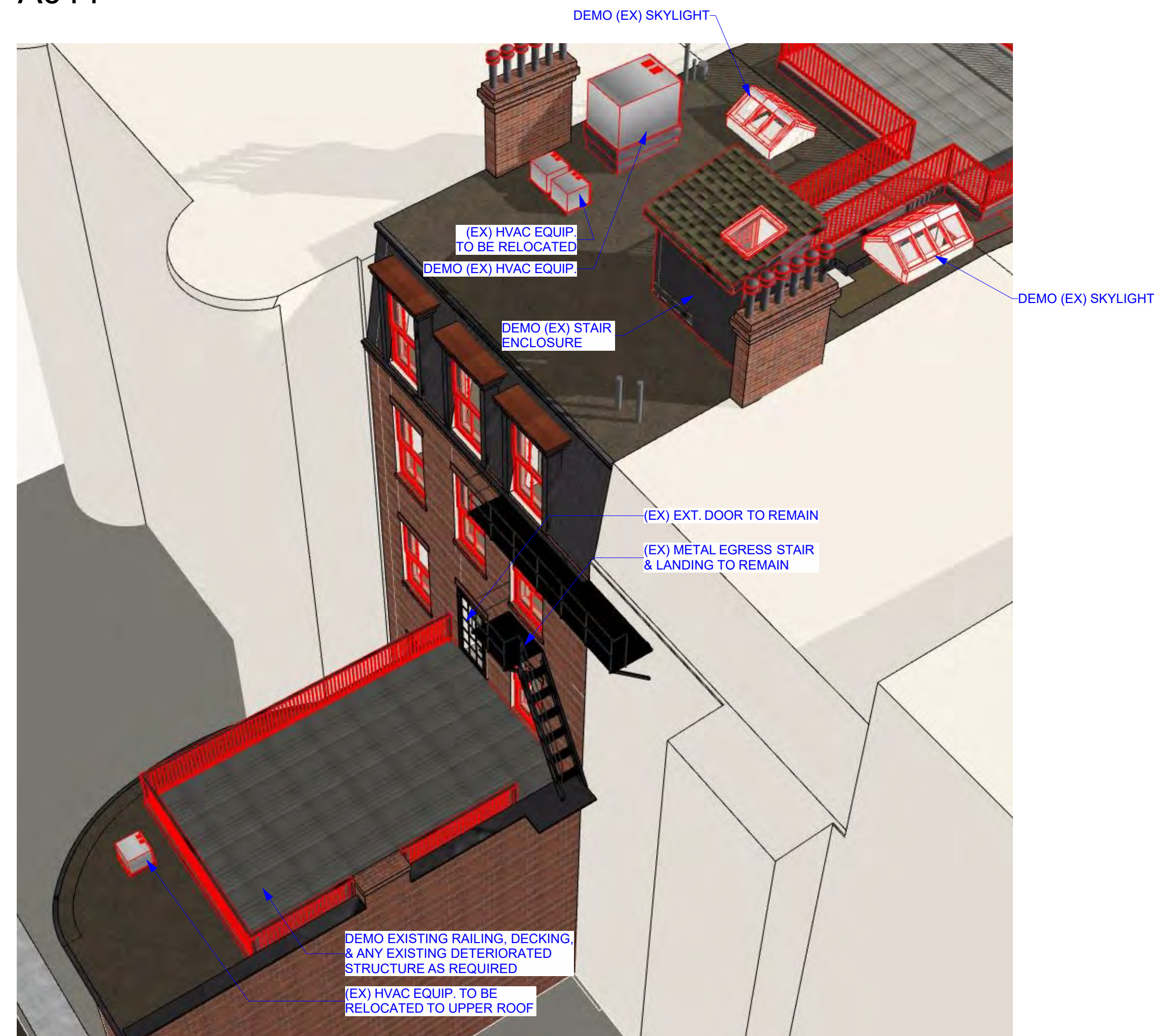


**2B EXISTING SECOND LEVEL DECK**

**2 PERSPECTIVE 2** EXISTING ROOF DECK & SECOND LEVEL DECK  
A011 NOT TO SCALE



**3 PERSPECTIVE 3** EXISTING VIEW FROM ALLEY 418  
A011 NOT TO SCALE



**4 PERSPECTIVE 4** EXISTING AERIAL ROOFTOP VIEW  
A011 NOT TO SCALE

CONSULTING ARCHITECT:



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PROJECT NUMBER:  
**MARLBOROUGH**

PROJECT TITLE:  
**EXISTING PERSPECTIVES**

SHEET NUMBER:

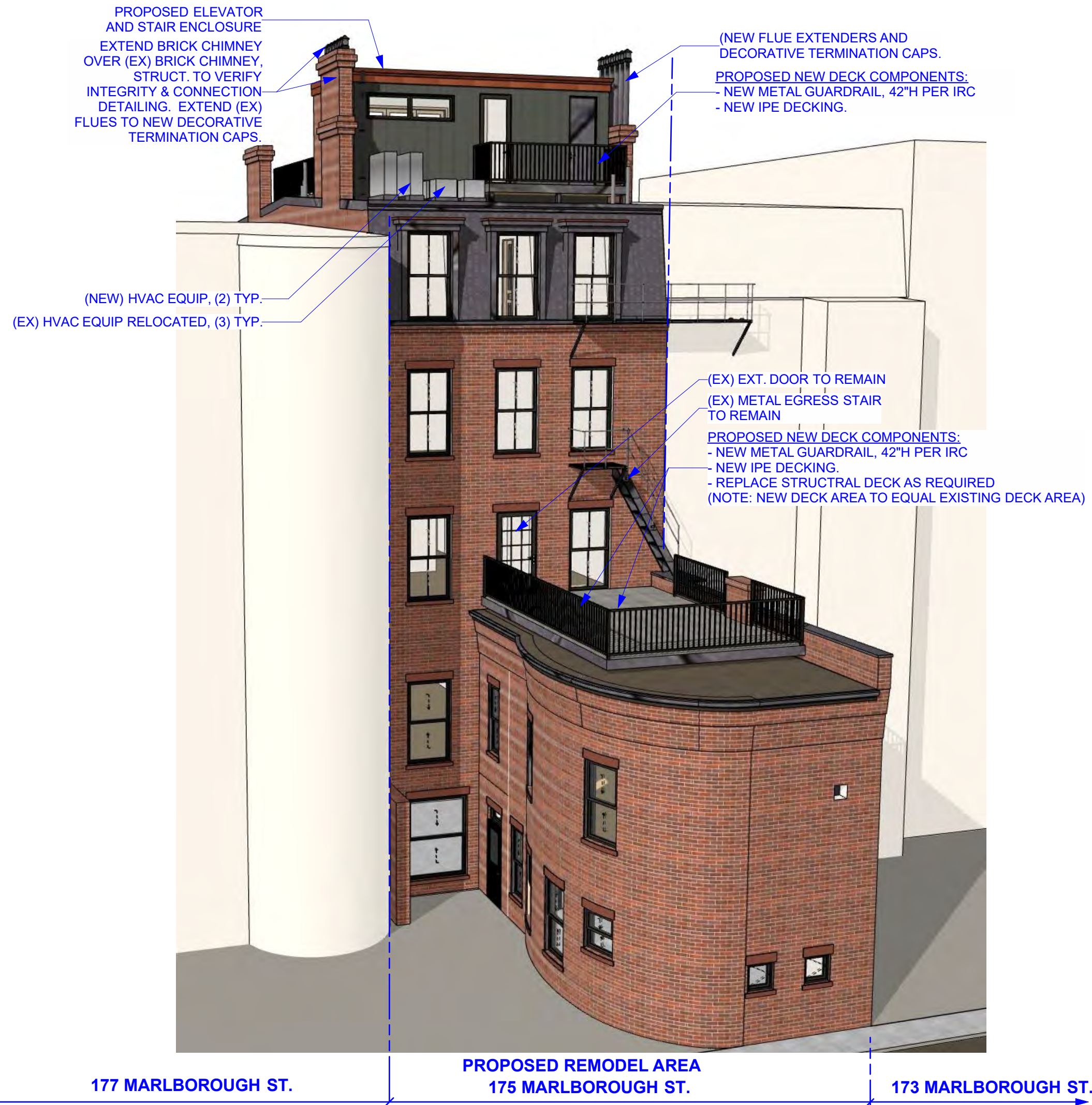
**A011**



**1 PERSPECTIVE 1** PROPOSED VIEW FROM MARLBOROUGH ST.

A012

NOT TO SCALE



**3 PERSPECTIVE 3** PROPOSED VIEW FROM ALLEY 418

A012

NOT TO SCALE



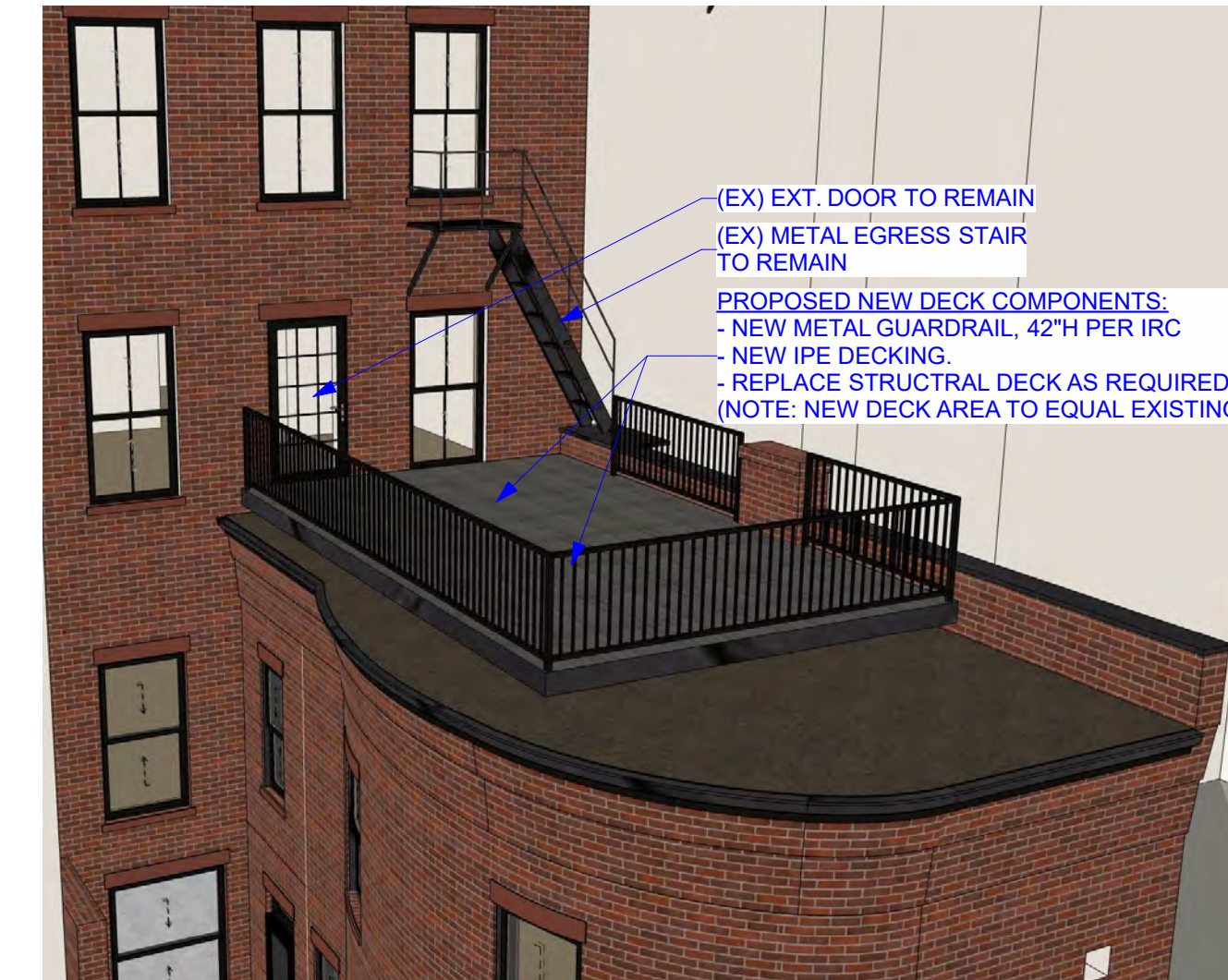
**2A PROPOSED ROOF DECK & STAIR ENCLOSURE**

2

**PERSPECTIVE 2** PROPOSED ROOF DECK / EXPANDED ELEVATOR & STAIR PENTHOUSE

A012

NOT TO SCALE



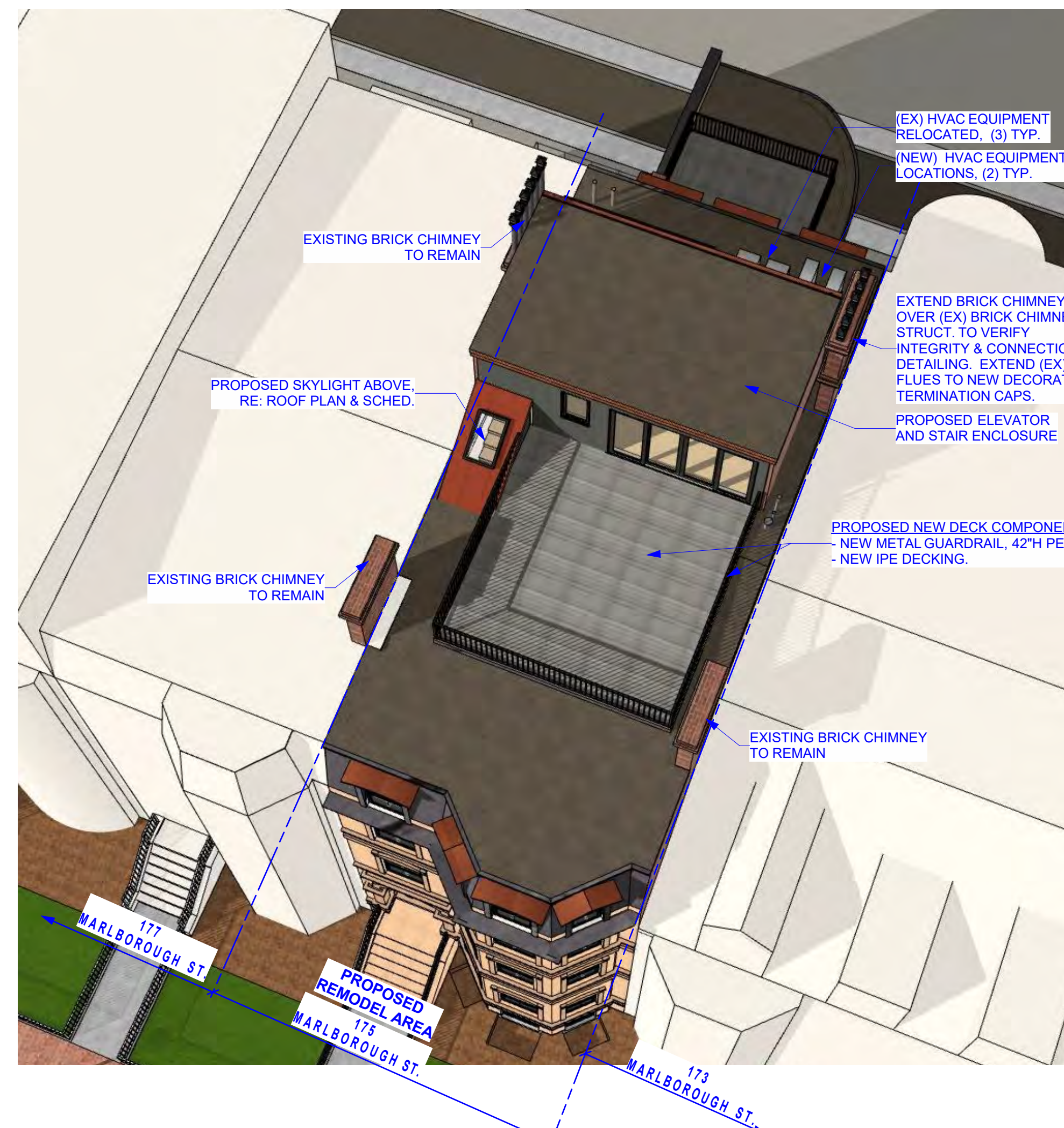
**2B PROPOSED SECOND LEVEL DECK REFURBISHED**

4

**PERSPECTIVE 4** PROPOSED AERIAL ROOFTOP VIEW

A012

NOT TO SCALE



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175 MARLBOROUGH ST.  
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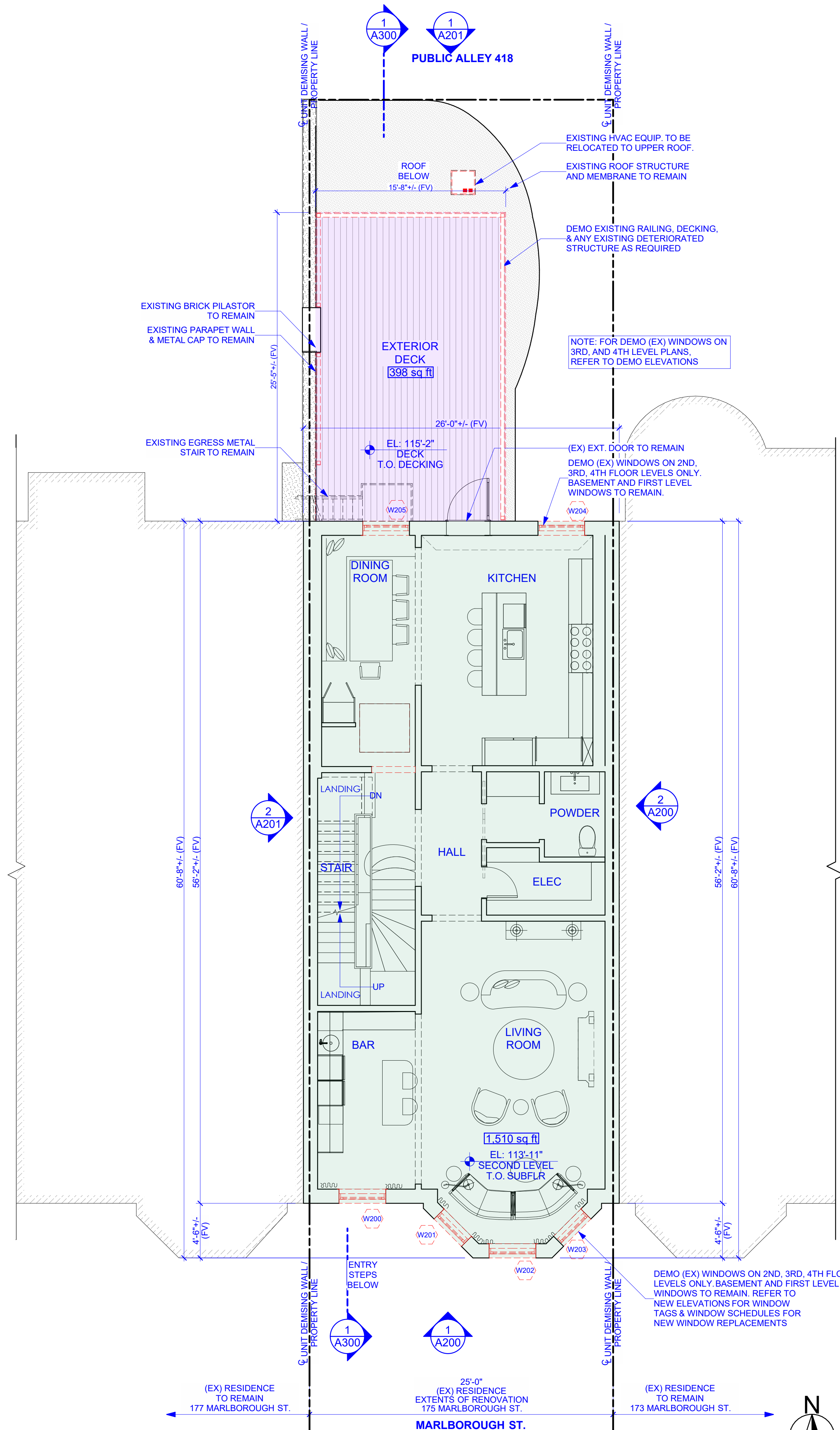
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MARLBOROUGH

PROJECT TITLE:  
PROPOSED PERSPECTIVES

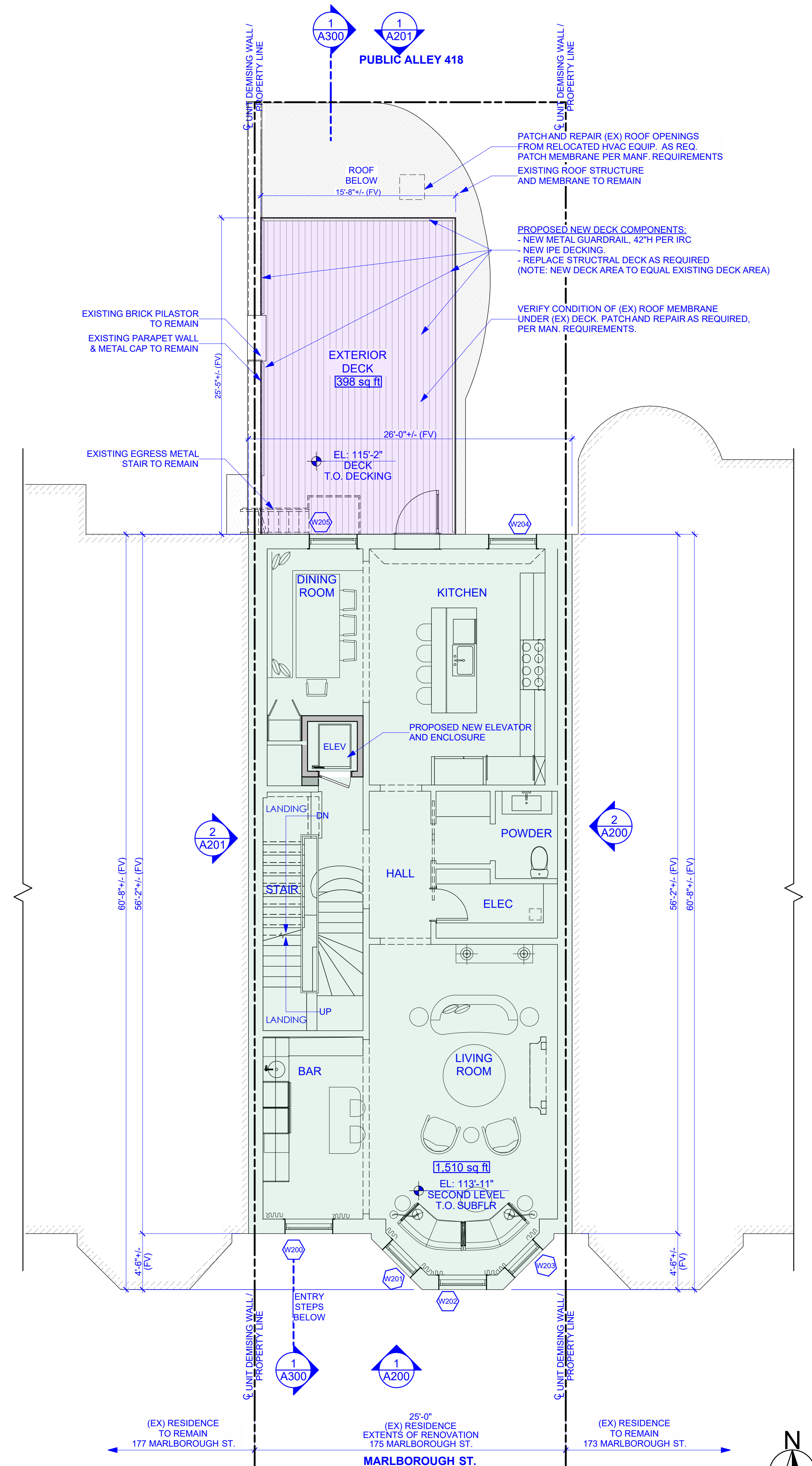
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**1 EXISTING / DEM SECOND LEVEL PLAN**  
 A100 SCALE: 3/16" = 1'-0"  
 PROJECT NORTH



**2 PROPOSED SECOND LEVEL PLAN**  
 A100 SCALE: 3/16" = 1'-0"  
 PROJECT NORTH

**CONSULTING ARCHITECT:**  
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 DRAWN BY

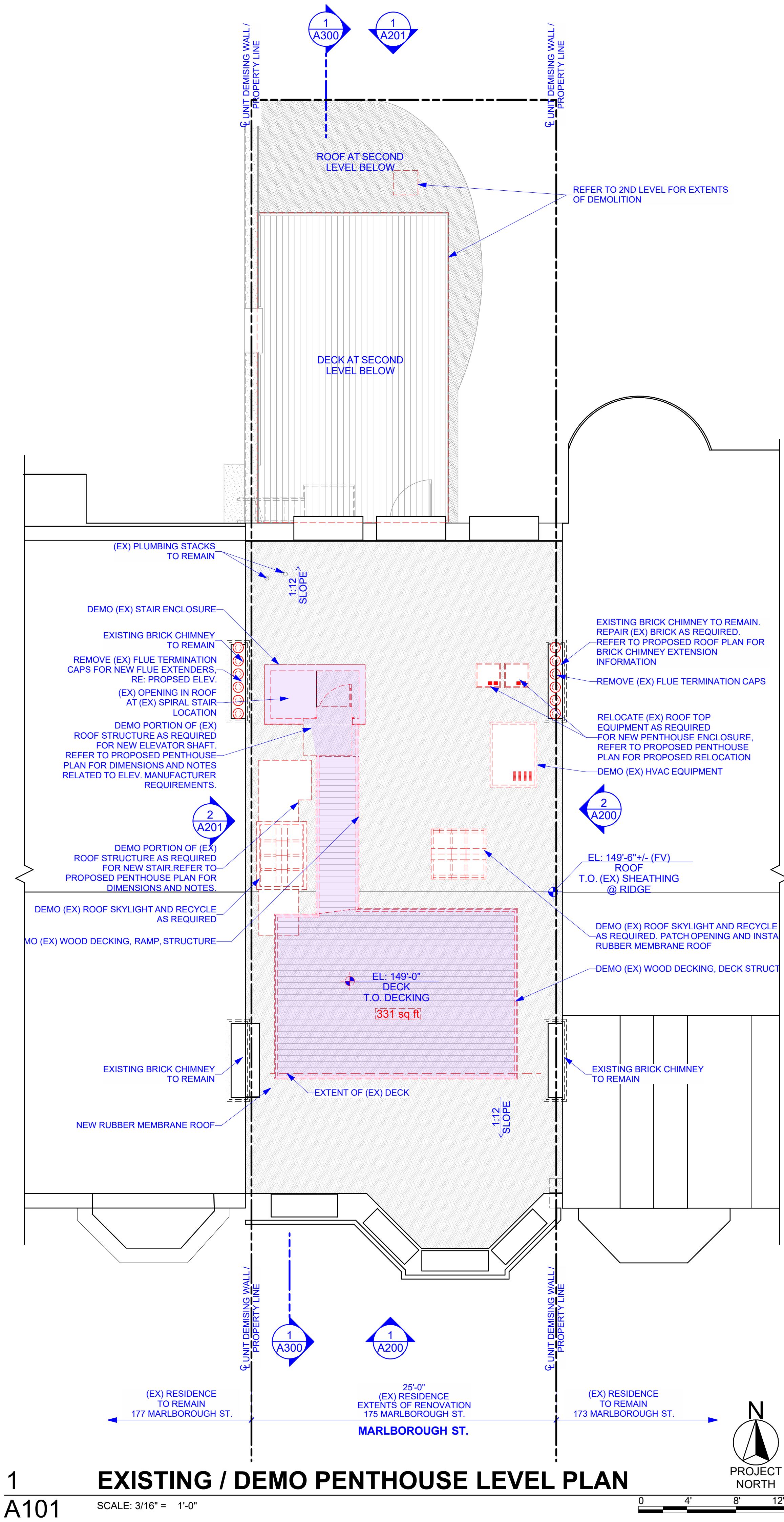
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**MARLBOROUGH**

PROJECT TITLE:  
**EXISTING / DEMO / PROPOSED SECOND LEVEL**

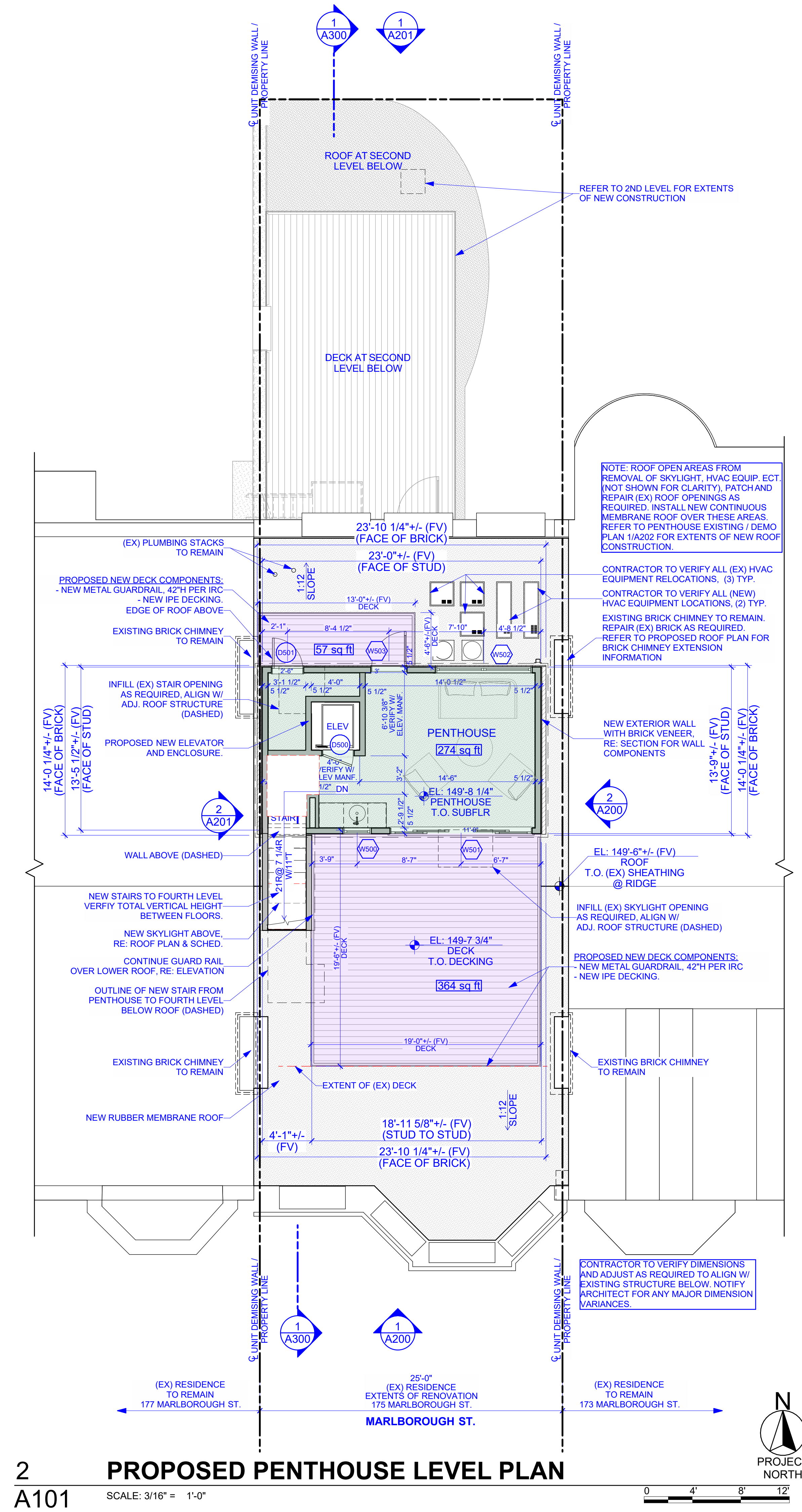
SHEET NUMBER:

**A100**

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**1** **EXISTING / DEMO PENTHOUSE LEVEL PLAN**  
 A101 SCALE: 3/16" = 1'-0" PROJECT NORTH



**2** **PROPOSED PENTHOUSE LEVEL PLAN**  
 A101 SCALE: 3/16" = 1'-0" PROJECT NORTH

**CONSULTING ARCHITECT:**  
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 175 MARLBOROUGH ST.  
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 SUFFOLK COUNTY

ZONE DISTRICT: BOSTON PROPER / H-3-65  
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 DRAWN BY

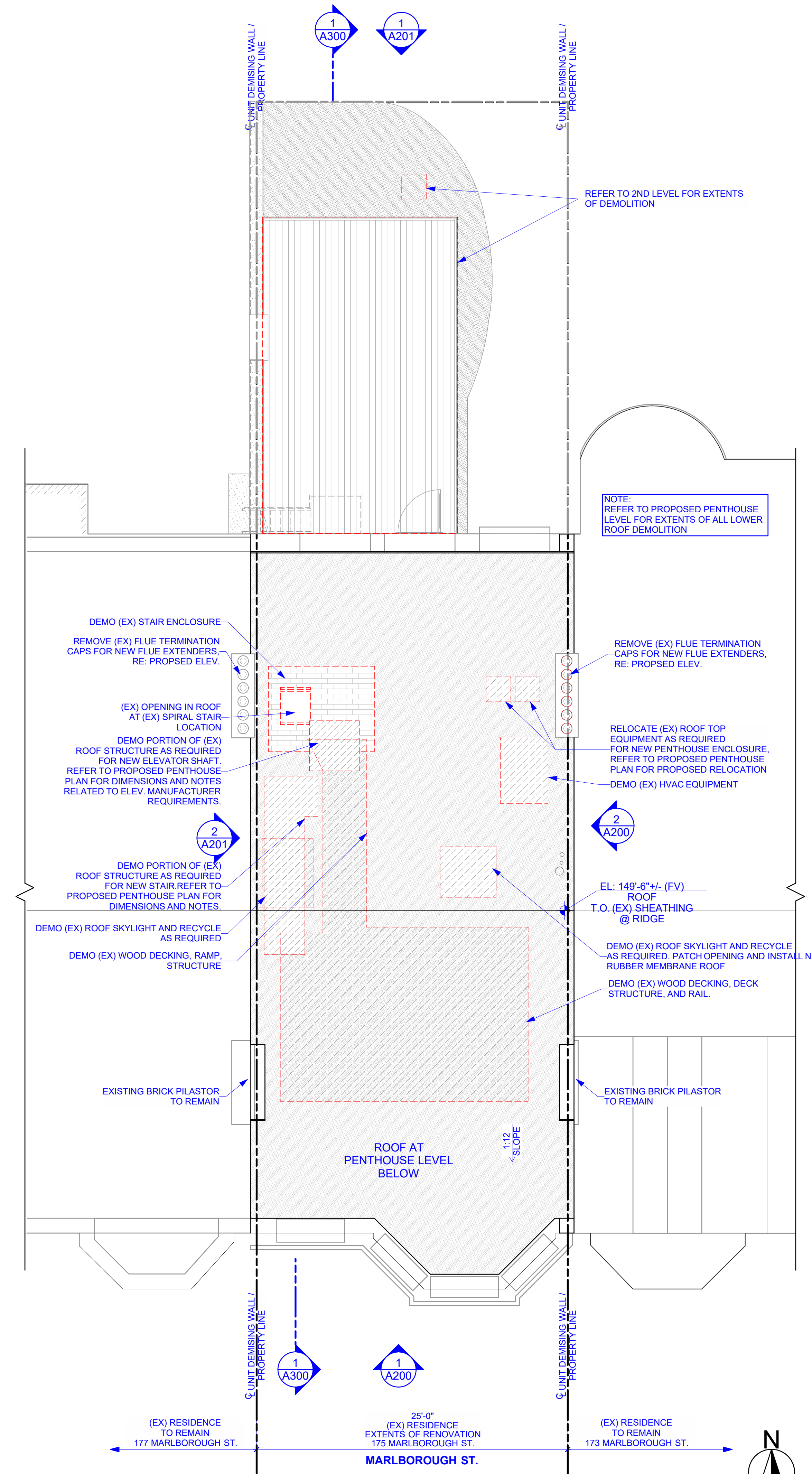
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**MARLBOROUGH**

PROJECT TITLE:  
**EXISTING / DEMO / PROPOSED PENTHOUSE LEVEL**

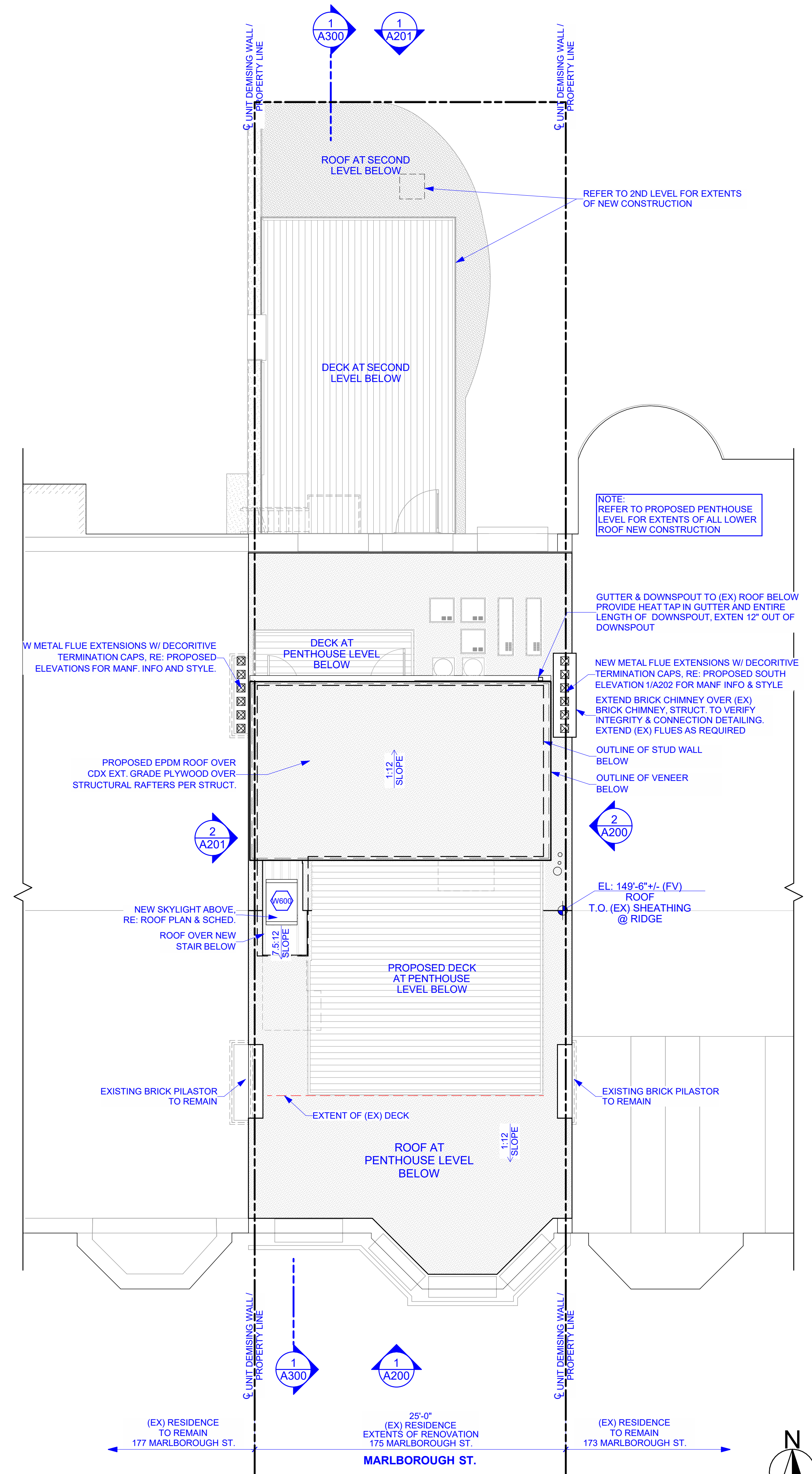
SHEET NUMBER:  
**A101**



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**1**  
**A110** **EXISTING / DEMO ROOF LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
PROJECT NORTH



**2**  
**A110** **PROPOSED ROOF LEVEL PLAN**  
SCALE: 3/16" = 1'-0"  
PROJECT NORTH

**CONSULTING ARCHITECT:**  
**DAVID SHARFF**  
ARCHITECT, P.C.  
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**175 MARLBOROUGH ST.**  
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BOSTON, MASSACHUSETTS  
SUFFOLK COUNTY  
ZONE DISTRICT: BOSTON PROPER / H-3-65  
PARCEL NUMBER: 0502647016

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DATE OF PUBLICATION  
**JULY 24, 2024**

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07.24.24 CITY SUBMISSION FOR 2ND LEVEL DECK & ROOFTOP ELEV & STAIR ENHANCEMENT

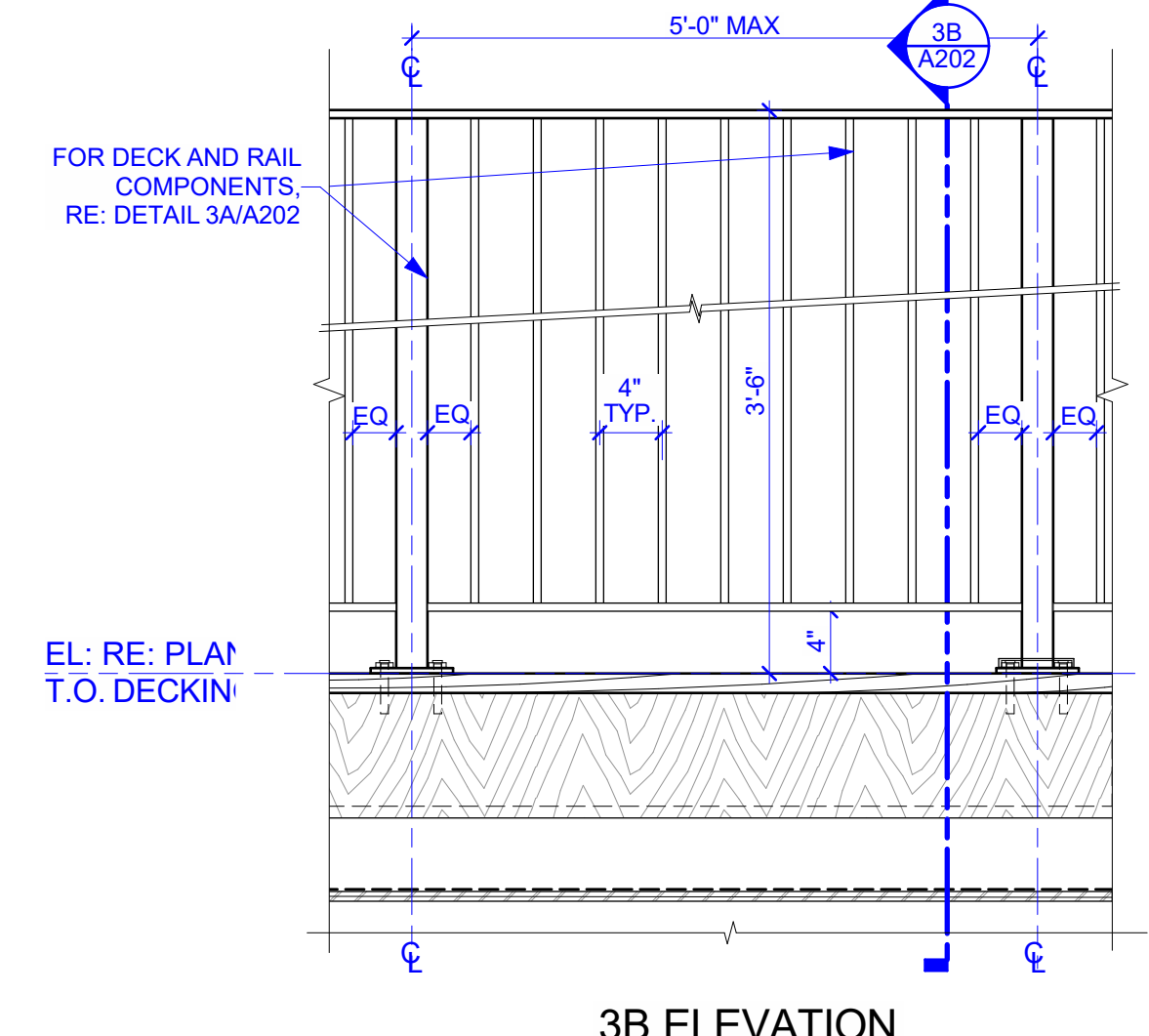
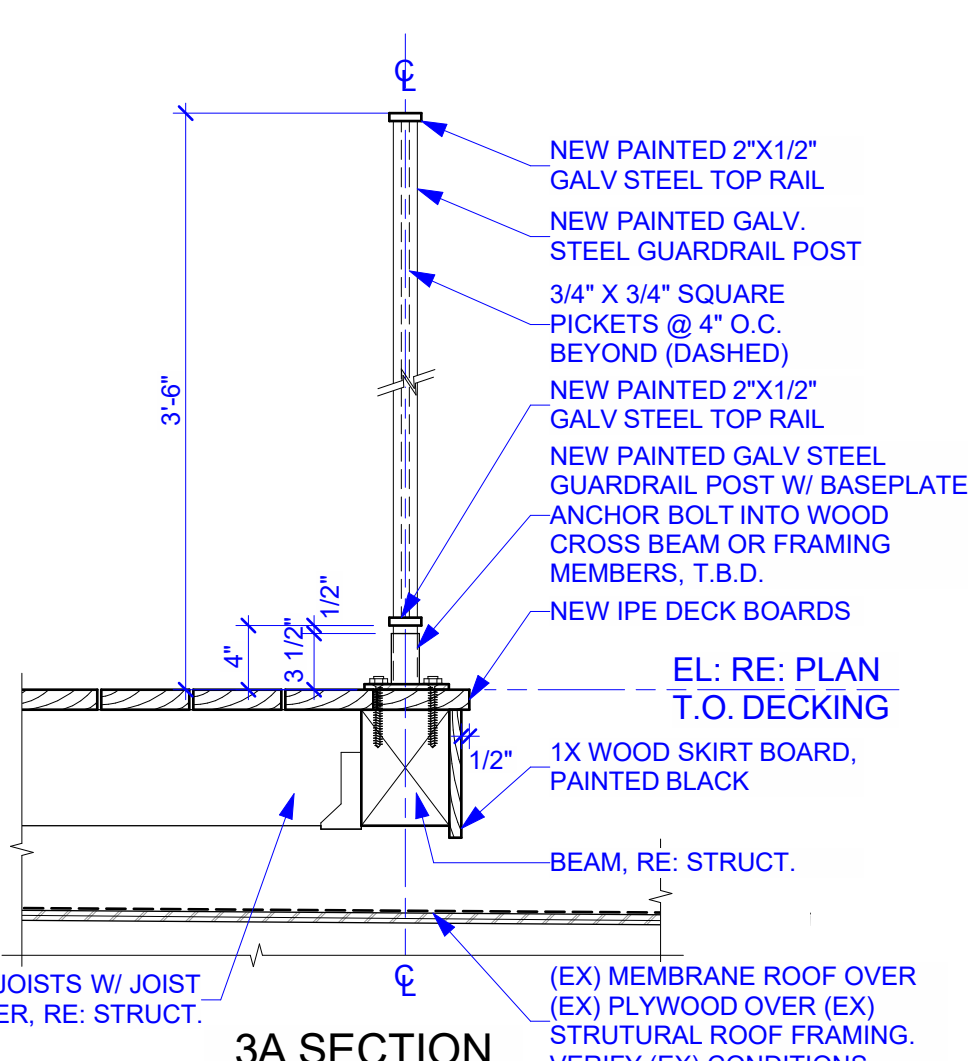
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PROJECT NUMBER:  
**MARLBOROUGH**  
PROJECT TITLE:  
**EXISTING / DEMO / PROPOSED ROOF LEVEL**

SHEET NUMBER:  
**A110**



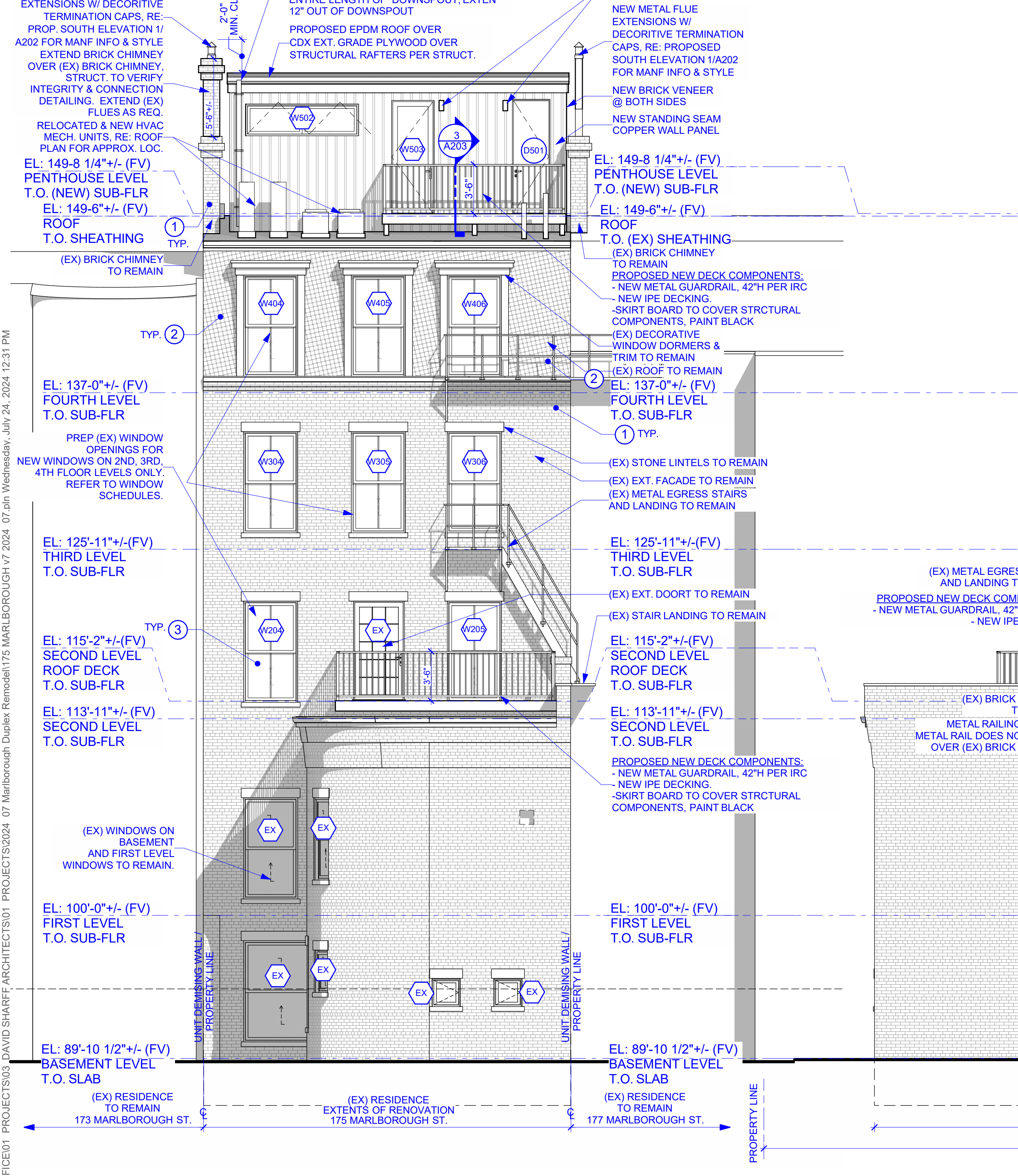




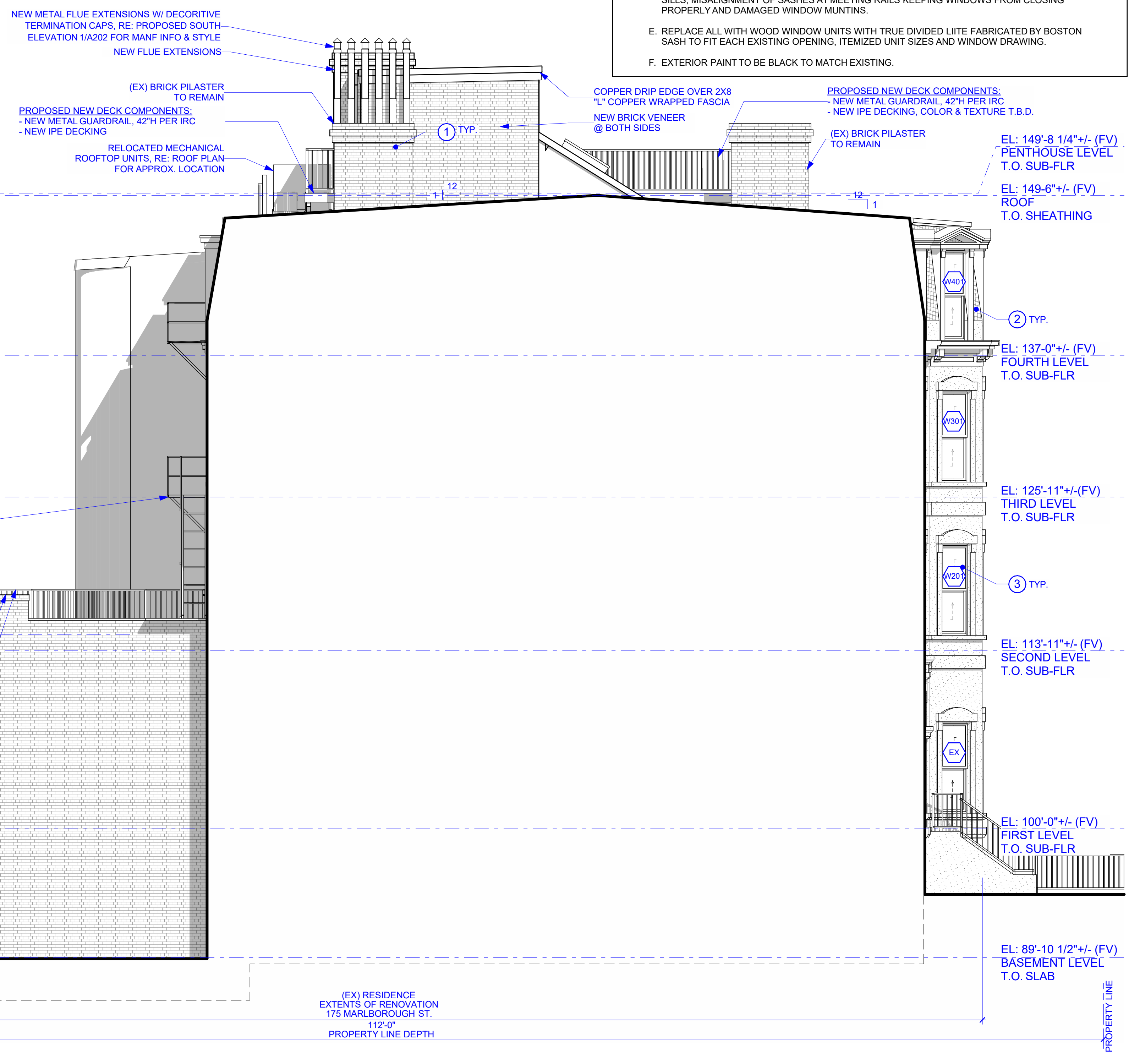


**3 DECK & RAIL DETAIL**

**A203** SCALE: 1" = 1'-0" 0 6" 1" 2"



**1 PROPOSED NORTH ELEVATION**  
**A203** SCALE: 3/16" = 1'-0" 0 4" 8" 12"



**2 PROPOSED WEST ELEVATION**  
**A203** SCALE: 3/16" = 1'-0" 0 4" 8" 12"

- GENERAL AND SELECTIVE DEMOLITION ELEVATION KEYNOTES**
- MASONRY REPAIR:**
    - CUT MORTAR JOINTS APPROX. TWO TIMES THE JOINT WIDTH, RINSE TO REMOVE ANY STANDING DUST AND GRIT TO PREPARE AND ENSURE A PROPER AND STRONG POINTING BOND.
    - CUT MORTAR JOINTS AROUND ALL STONE LINTELS AND STONE SILLS APPROX. TWO TIMES THE JOINT WIDTH, AND RINSE TO REMOVE ANY STANDING DUST AND GRIT TO PREPARE AND ENSURE A PROPER AND STRONG POINTING BOND.
    - MIX MORTAR TO MATCH EXISTING COLOR AS CLOSE AS POSSIBLE.
    - RE-POINT MORTAR JOINTS WITH MORTAR MATCHING THE EXISTING COLOR AS CLOSE AS POSSIBLE.
  - SLATE MANSARD ROOFING / COPPER REPAIR:**
    - REMOVE EXISTING SLATE, GUTTERS, AND FLASHING THAT REQUIRE REPAIR. FABRICATE AND INSTALL 200Z. COPPER GUTTER.
    - INSTALL ICE AND WATER SHIELD AS REQUIRED TO EXPOSED ROOF AREAS.
    - INSTALL NEW SLATE TO MATCH EXISTING.
    - INSTALL COPPER FLASHING AND COUNTER FLASHING.
    - INSTALL CARLISLE EPDM TO FLAT ROOFS.
    - INSTALL COPPER FLASHING TO OUTSIDE EDGE OF THE DORMERS.
    - REPAIR ALL DAMAGED CORNICE DETAILING. REMOVE PEELING PAINT AND REFINISHES ALL AREAS.
  - WINDOWS:**
    - REPAIR OR REPLACE TRIM AROUND ALL WINDOW OPENINGS. NOTED TO BE REPLACED. EXTERIOR TRIM AND SILLS TO MATCH ORIGINAL.
    - REMOVE NON-HISTORIC METAL STORM WINDOWS.
    - REPLACE ALL (20) DETERIORATED NON INSULATED AND AIR SEALED WINDOWS.
    - TYPICAL EXISTING WINDOW CONDITIONS INCLUDE DETERIORATED WOOD SASHES, TRIM, AND SILLS; MISALIGNMENT OF SASHES AT MEETING RAILS KEEPING WINDOWS FROM CLOSING PROPERLY AND DAMAGED WINDOW MUNTINS.
    - REPLACE ALL WITH WOOD WINDOW UNITS WITH TRUE DIVIDED LITE, FABRICATED BY BOSTON SASH TO FIT EACH EXISTING OPENING, ITEMIZED UNIT SIZES AND WINDOW DRAWING.
    - EXTERIOR PAINT TO BE BLACK TO MATCH EXISTING.

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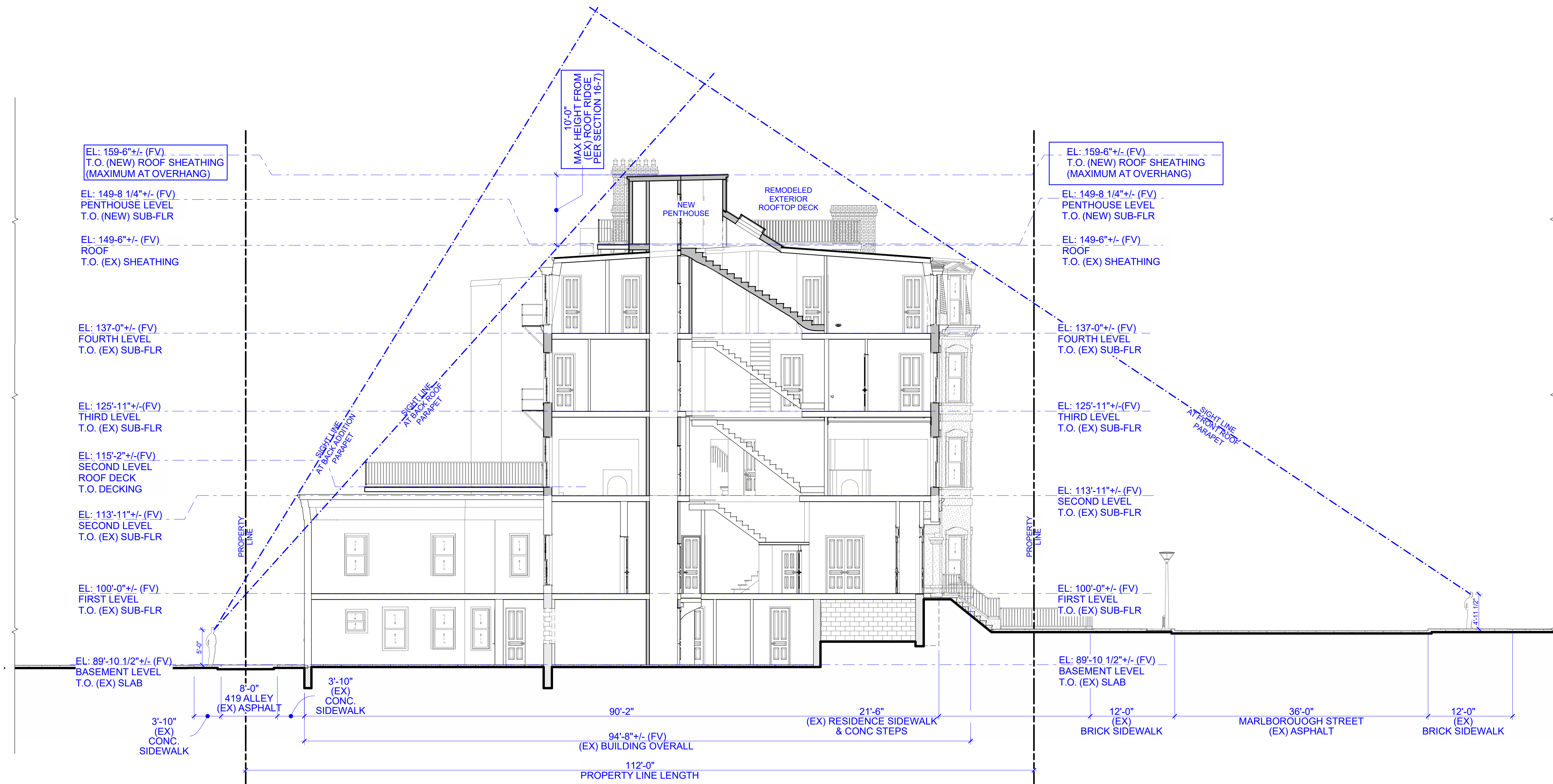
PROJECT TITLE:  
**PROPOSED ELEVATIONS**

SHEET NUMBER:

**A203**

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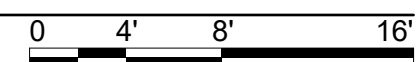
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2  
A300

**SITE SECTION**

SCALE: 1/8" = 1'-0"



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PROJECT TITLE:  
**SITE SECTION**

SHEET NUMBER:

**A300**

