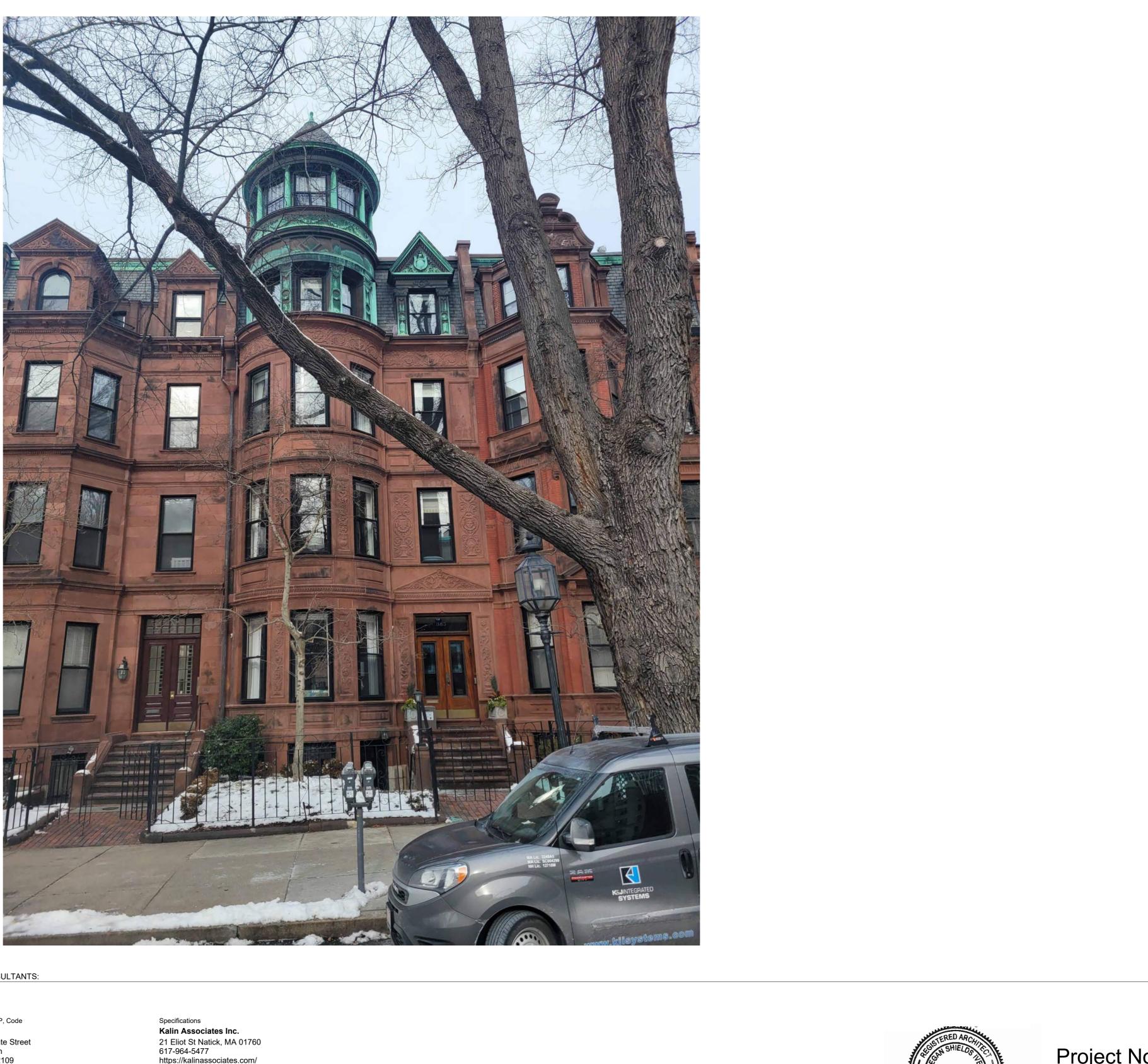
# Roof Deck

The First Church of Christ, Scientist 385 Commonwealth Avenue, Boston, MA



77 North Washington St Boston, MA 02114 **T** 617.227 9272 **F** 617.227 5582

w www.faainc.com



CONSULTANTS:

MEP/FP, Code Arup 60 State Street Boston MA 02109 617-864-2987 www.arup.com Structural Tripi Engineering Services, LLC 433 Main Street, Suite 4 Hudson, MA 01749 781-287-0077 x100 www.tripiengineering.com

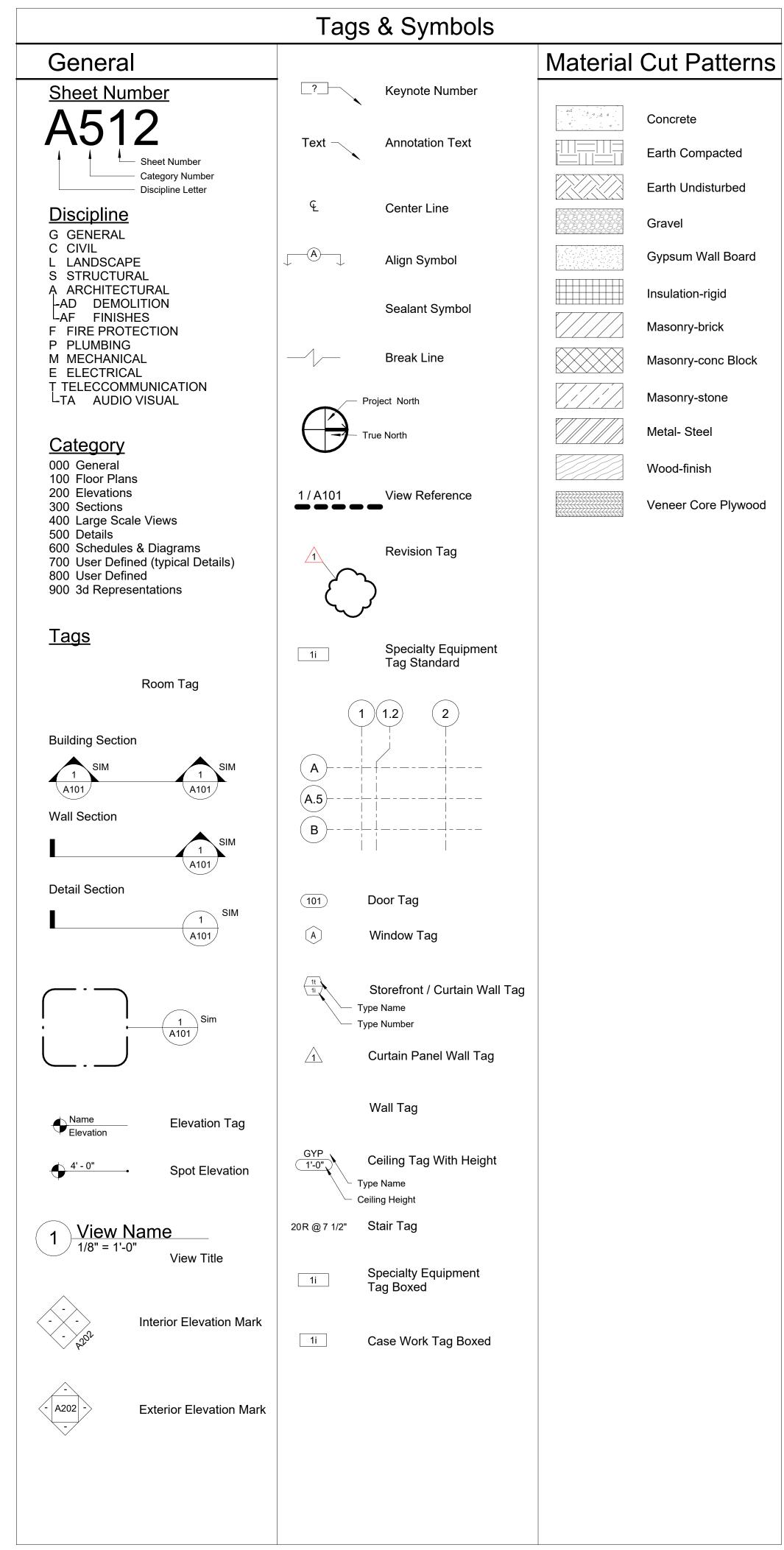
https://kalinassociates.com/

Zoning/Permitting McDermott, Quilty, Miller & Hanley LLP 28 State Street, Suite 802 Boston, Massachusetts 02109 617-946-4600 https://mqmhlaw.com/

Project No.P0288.00 March 2024 Permit Set

No. 2050

BOSTON

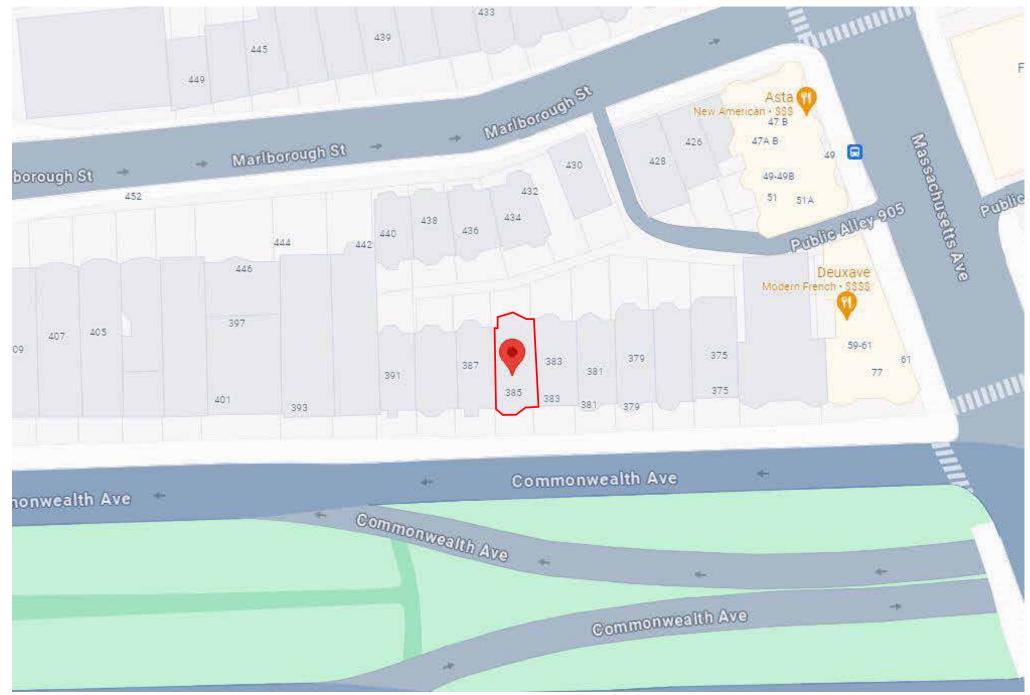


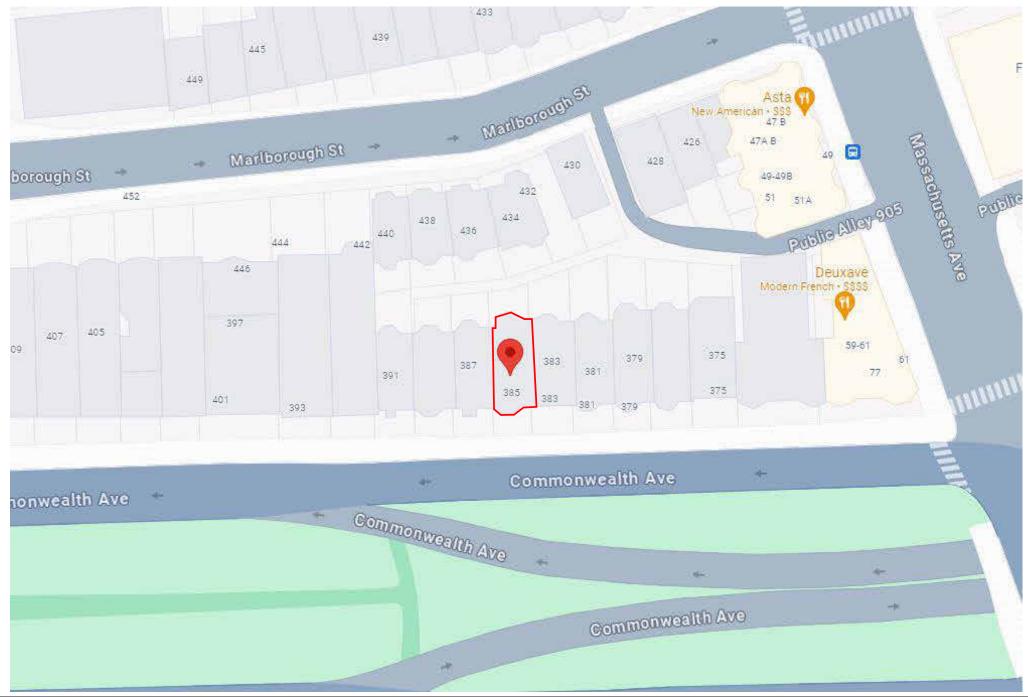
# Abbreviations

				-	_
5	Α		Air Conditioning Acoustical Acoustical Ceiling Tile		HP Horiz HVAC
		Addn Adj AFF AHU	Addition Adjacent Above Finished Floors Air Handling Unit	I	HW ID In
		Al Anch Ang	Alternate Aluminum Anchor Angle Anodized		Incand Incl Insul Int
		Approx Arch	Approximate Architect Associated	J	Inv JB Jt
	В	Bot B&B B.O. Bd		ĸ	K-Ft
		Bit BL	Bituminous Building Line Building	L	Lam Lav Lb(s) LCC
		Bm BM Bra	Beam Bench Mark Bearing Brick		LF LH LL LLH
	C		Basement		LLV LP Lt(g) Ltwt
		Ca Cab Cal CB	Card Reader Cabinet Caliper Catch Basin	Μ	Mas Max MDP
		CD Cem CFM CG	Ceiling Diffuser		Mech Med Memb Mtl
		CI CJ Clg Clr	Cast Iron Control Joint Ceiling Clear		Mfr MH Min Misc MO
		CMU CO Col Conc	Concrete Masonry Unit Clean Out Column Concrete	N	Mtd N NIC
		Conn Const Cont Contr	Connection Construction Continuous		No. Nom NTS
		Cpt CR CT Ctr	Carpet Ceiling Register Ceramic Tile Center	0	OC OD OI Opg
		CU CUH Cusp CW	Condensing Unit Cabinet Unit Heater		Opg Opp ORD Oz
	D	Dbl Det DF	Double Detail Drinking Fountain	Ρ	PA PCF Perf Pl
		Dia Dim Disp DL	Diameter Dimension		Plam Plas Plbg PLF
		DMH Dn DP Dr	Drainage Manhole Down Distribution Panel Door		Plywd Pnl Pol PP
	Е	DS Dwg E	Downspout Drawing East		Pr Proj Prtn PSF
		Ea EF EIFS EJ	Each Epoxy Flooring Exterior Insulation Finish System Expansion Joint		PSI Pt Ptd PV
		Emerg Encl	Elevation Electrical Emergency Enclosure	Q	PVC Pvmt QT
		EP EPDM EQ	Engineer Electrical Panel Ethylene Propylene Diene Monom Equal Equipment	ier <b>R</b>	Qty R
		EŴĊ EWH Exh	Electric Water Cooler Electric Water Heater		RB RCP RD Re
	F	Exp Ext	Expansion Exterior Fire Alarm		Recpt Ref Reinf Req
	•	FACP FD Fdn	Fire Alarm Control Panel Floor Drain Foundation		Resil Rev Rfg RH Rm
		FEC FF FG FHC			RO ROW Rr RTU
		Fin Fixt FL Flash	Finish(ed) Fixture Flow Line Flashing	S	RWL RV
		Fluor FO FP	Face Of Fireproof		San SAT SC Sched
		FPR FRP FS Ft	Fiber Reinforced Panel Floor Sink Foot, Feet		SD Sect Serv SF
		Frr	Footing Furnish(ed) Furring Fabric Wall Covering		Sht Sim SMH SOV
	G	Ga Galv GC	Gauge, Gage Galvanized General Contractor		Spec Sq SS SSTL
	Н	GFI Gyp HB HC	Ground Fault Interrupter Gypsum Hose Bibb Hollow Core		Std Stl Stor Struc
		Hdwd Hdwr Hgt HID	Hardwood Hardware Height High Intensity Discharge	т	Susp Sym Syst T
		HM	Hollow Metal	•	T.O. T&G

eviations			
High Point Horizontal Heat, Vent, A/C Hot Water		Tel Temp Thk Thres	Telephone Tempered Thick Threshold
Inside Diameter Inch d Incandescent Include(d)/(ing) Insulat(ed)/(ion)		TP TS Typ TV	Toilet Partition Transition Strip Typical Television
Interior Invert Junction Box Joint	U	UG UH UNO Unfin UV	Underground Unit Heater Unless Noted Otherwise Unfinished Ultra Violet
Kip (1,000 Pounds) Kip Feet Laminated	V	VCT Vert Vent VIF VWC	Vinyl Composition Tile Vertical Ventilator Verify in Field Vinyl Wall Covering
Lavatory Pound(s) Lead Coated Copper Linear Feet Left Hand Live Load Long Leg Horizontal Long Leg Vertical Low Point Light(ing) Lightweight	w	W W/o WC WD WH WP WPT WR wsct	West with without Water Closet Wood Water Heater Water Peater Water Point Work Point Water Resistant Wainscot
Masonry Maximum Main Distribution Panel Mechanical Medium Membrane Metal Manufacturer Manhole Minimum Miscellaneous Masonry Opening Mounted	Y	Wt WV WWF Yd	Weight Water Valve Welded Wire Fabric Yard
North Not In Contract Number Nominal Not to Scale			
On Center(s) Outside Diameter Open Item Opening Opposite Overflow Roof Drain Ounce			
Project Architect Pounds Per Cubic Foot Perforated Plate Plastic Laminate Plaster Plumbing Pounds Per Linear Foot Plywood Panel Polish(ed) Power Panel Pair Project Partition Pounds Per Square Foot Pounds Per Square Inch Point Painted Plumbing Vent Polyvinyl Chloride Pavement Quarry Tile Quantity Radius Rubber Base Reflected Ceiling Plan Roof Drain Poefar			
Refer Receptacle Reference Reinforce(d)/(ing) Required Resilient Revisions, Revised Roofing Right Hand Room			
Rough Opening Right of Way Restroom Roof Top Unit Rain Water Leader Roof Vent			
South Sanitary Suspended Acoustical Tile Solid Core Schedule Storm Drain Section Service Square Feet Sheet Similar	e		
Sanitary Manhole Spray on Vinyl Specifications Square Solid Surface Stainless Steel Standard Steel Storage Structural Suspended Symmetrical System			
Tread Top Of Tongue and Groove			

	Sheets - List	
Sheet Number	Sheet Name	
1. General		
G000	Cover Sheet	
G001	Symbols & Abbreviations	
G002	Zoning Summary, Code Review & Sheet List	
G003	Outline Specifications	
2. Architectural		
A100	Plot Plan	
A101	Plans	
A200	Existing Elevations	
A300	Sections	
A400	Enlarged Details	
3. Structural		
S001	Structural General Notes	
S100	Framing Plans	
S400	Structural Details	
4. Mechanical		
M0.01	Mechanical Legend, General Notes, and She	
M0.02	Mechanical Duct Plan - Roof Level	
5. Electrical		
E0.01	Electrical Symbols, Abbreviations, and Sheet	
E0.02	Electrical Specifications	
E5.01	Electrical Power Plan - Roof Level	







# Finegold Alexander Architects

PROJECT TEAM:

OWNER: The First Church of Christ, Scientist

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KEY PLAN:

SEAL:

Vicinity Map



PROJECT INFORMATION: Roof Deck

385 Commonwealth Avenue, Boston, MA

P0288.00 PROJECT #: ISSUE DATE: March 2024 PROJECT STATUS: Permit Set DRAWN BY: Author CHECKED BY: Checker

SHEET NAME: Symbols & Abbreviations

DRAWING HISTORY:

NO. DATE DESCRIPTION



# **ZONING SUMMARY - 385 COMMONWEALTH AVENUE**

ARCEL ID: 0503824000						
ZONING DISTRICT: BOSTON PROPER						
ONING SUBDISTRICT: H-3-65						
SUBDISTRICT TYPE: APARTMENT RESIDENTIAL	JUBDISTRICT TYPE: APARTMENT RESIDENTIAL					
ZONING OVERLAYS: GROUND WATER CONSERVATION OVERLA	Y DISTRICT; RESTRICTED PARKIN	IG DISTRICT				
MAP NO.: 1						
HISTORIC DISTRICT: BACK BAY ARCHITECTURAL DISTRICT						
PARKS DESIGN REVIEW: ORDINANCE 7.4-11						
DESCRIPTION	CODE REFERENCE	REQUIRED/ALLOWED	EXISTING	PROPOSED		
GENERAL						
USE	§8-7, TABLE A	SINGLE FAMILY ROW HOUSE (USE ITEM NO. 3), ALLOWED	SINGLE FAMILY ROW HOUSE, CONFORMS	NO CHANGE		
LOT SIZE minimum sq. ft.	ARTICLE 13, TABLE B; §14-1	NONE	2,232, CONFORMS	NO CHANGE		
LOT AREA minimum sq. ft. for each add'l dwell. unit	ARTICLE 13, TABLE B; §14-2	NONE	N/A	NO CHANGE		
LOT WIDTH minimum feet	ARTICLE 13, TABLE B; §14-3	NONE	24, CONFORMS	NO CHANGE		
LOT FRONTAGE	ARTICLE 13, TABLE B; §14-4	NONE	24, CONFORMS	NO CHANGE		
FLOOR AREA RATIO maximum	ARTICLE 13, TABLE B; §15-1	3.0	3.7, NON-CONFORMING	NO CHANGE		
HEIGHT OF BUILDINGS stories/feet	ARTICLE 13, TABLE B; §16-7	NONE/65	EXISTING TOWER ROOM ABOVE HEIGHT LIMIT, NON-CONFORMING	TOP OF ROOF DECK AND RAILING SHALL NOT EXCEED HEIGHT LIMIT		
USABLE OPEN SPACE minimum sq. ft. per dwell. unit	ARTICLE 13, TABLE B	NONE	N/A	NO CHANGE		
FRONT YARD minimum depth feet	ARTICLE 13, TABLE B	20 ON EAST-WEST STREETS	14.9, NON-CONFORMING	35.7, ROOF DECK CONFORMS		
SIDE YARD minimum width feet	ARTICLE 13, TABLE B, §19.4	NONE BETWEEN THE FRONT YARD SETBACK AND A LINE PARALLEL THERETO AND 70 FEET IN THE REAR THEREOF	0, CONFORMS	0.5, ROOF DECK CONFORMS		
REAR YARD minimum depth feet	ARTICLE 13, TABLE B	25% OF LOT DEPTH, ALL USES; 25% OF 96.3= 24.07	19.1, NON-CONFORMING	24.6, ROOF DECK CONFORMS		
SETBACK OF PARAPET minimum distance from lot line	ARTICLE 13, TABLE B	H + L / 6, ALL USES	N/A	NO CHANGE		
REAR YARD MAX OCCUPANCY BY ACCESSORY BUILDING %	ARTICLE 13, TABLE B	40	N/A	NO CHANGE		

Section 14-1. - Minimum Lot Size.

Where a minimum lot size is specified in this code, no main building shall be erected, nor main use established, on any lot for which such size is specified, if such lot is of lesser size, except as provided in Section 14-6. (Illustrated in Appendix 2)

# Section 14-2. - Lot Area per Dwelling Unit, etc.

Where a minimum lot area for each additional dwelling unit is specified in this code, the minimum lot area for the first dwelling unit on the lot shall be the minimum lot area for each additional dwelling unit thereon shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on shall be the minimum lot area for each additional dwelling unit there on sha divided into dwelling units, each two sleeping rooms for single or double occupancy and each four beds in sleeping rooms that contain beds for more than two persons shall be deemed to constitute one such unit; and further provided that a limited group residence as defined in "Group residence, limited" of Section 2-1 shall be deemed to constitute one dwelling unit for purposes of this article. For non-residential uses, each fifteen hundred square feet of gross floor space devoted to non-residential uses shall be deemed to constitute one dwelling unit. Section 14-3. - Lot Width.

Where a minimum lot width is specified in this code, no main building shall be erected on that part of a lot where the lot width is less than that specified in this code, except as provided in Section 14-6. Section 14-4. - Lot Frontage.

Where a minimum lot width is specified in this code, each lot for which such minimum lot width is specified shall have a minimum frontage on a street not less than the width of such access shall not be less than the lot frontage required by this code for the rear lot. Section 15-1. - Floor Area Ratio.

the lot shall be excluded:

(a) every part required by any other structure or use to comply with any requirement of this code, and

Section 16-7. - Increase in Height of pre-Code Structures in H-3-65 and B-3-65 Districts.

In an H-3-65 or B-3-65 district, the height of a structure existing on December 31, 1964, shall not be increased by more than one story nor more than 10 feet above its pre-Code height (in Table B of Section 13-1. Such additional story and all mechanical equipment shall be set back from the tops of the front and rear walls of the story below it by one-half foot for each foot in height above said tops of front and rear walls. Section 19-4. - Side Yards in H Districts.

Except as otherwise provided in Section 19-6, no side yard is required in an H district between the front yard required by this code and a line parallel thereto and seventy feet in the rear thereof; nor is any side yard required by this code and said line seventy feet in the rear of the front yard so required. When a side yard is required in an H district, in no event need such yard be wider than twenty feet.

CODE SUMMAR	<u>Y</u>

APPLICABLE CODES

BUILDING:

780 CMR 51.00: MASSACHUSETTS BUILDING CODE, NINTH EDITION, RESIDENTIAL VOLUME

PLUMBING: 248 CMR: MASSACHUSETTS PLUMBING CODE

MECHANICAL:

2015 INTERNATIONAL MECHANICAL CODE

ELECTRICAL: 527 CMR 12.00: MASSACHUSETTS ELECTRICAL CODE (2017 NATIONAL ELECTRICAL CODE, AMENDED)

EXISTING BUILDING

**EXISTING BUILDING USE GROUP: RESIDENTIAL GROUP R-3 (NO CHANGE)** 

PROPOSED ROOF DECK

OCCUPANT LOAD:

IN TABLE 1004.1.2 MAXIMUM FLOOR ALLOWANCES PER OCCUPANT, THE OCCUPANT LOAD FACTOR FOR RESIDENTIAL IS LISTED AS 200 GROSS SQUARE FEET PER OCCUPANT

NUMBER OF EXITS AND EXIT ACCESS DOORWAYS: TABLE 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS DOORWAY NOTES THAT FOR AN R-3 OCCUPANCY THE MAXIMUM OCCUPANT LOAD OF A SPACE WITH ONLY ONE EXIT IS 10.

BASED UPON THE ABOVE CRITERIA, THE MAXIMUM ALLOWABLE AREA FOR A NEW DECK WHERE A SINGLE MEANS OF EGRESS IS PROVIDED WOULD BE 2,000 SQUARE FEET.

HANDRAILS: PER SECTION 1011.11 HANDRAILS, EXCEPTION 2, DECKS, PATIOS, AND WALKWAYS THAT HAVE A SINGLE CHANGE IN ELEVATION WHERE THE LANDING DEPTH ON EACH SIDE OF THE CHANGE IN ELEVATION IS GREATER THAN WHAT IS REQUIRED FOR A LANDING DO NOT REQUIRE HANDRAIL.

**GUARDS:** PER SECTION 1015.2, GUARDS ARE REQUIRED ALONG ONE-SIDED WALKING SURFACES THAT ARE MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.

PER SECTION 1015.3, GUARDS ARE TO BE NOT LESS THAN 42" HIGH MEASURED FROM THE ADJACENT WALKING SURFACE.

PER SECTION 1015.4, OPENINGS IN THE GUARDS SHALL NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.

PER SECTION 1016.7.8.1, EXCEPTION 1, HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.

**BASED UPON THE ABOVE CRITERIA:** 

- HANDRAILS ARE NOT REQUIRED. - GUARDS WOULD BE REQUIRED WHERE A DROP OF MORE THAN 30" WITHIN 36" OF THE WALKING SURFACE (SUCH AS FROM THE EDGE OF THE DECK TO THE EDGE OF THE ROOF). - GUARDS WILL BE A MINIMUM OF 42" TALL AND DESIGNED WITH LESS THAN 4" CLEAR SPACE BETWEEN ELEMENTS AND TO RESIST A CONCENTRATED LOAD OF 200 POUNDS.

Except as otherwise provided in this Article, the ratio which the gross floor area of all structures on a lot exclusive of floor area required to meet the off-street parking requirements of this code. In calculating the area of the lot for the purpose of this section, the following parts o

(b) every part the ownership of which is transferred subsequent to the effective date of this code if such part is required for compliance with the provisions of this code applicable to the lot from which such transfer is made. (Illustrated in Appendix 2)

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KEY PLAN:

SEAL:

BOSTON

PROJECT INFORMATION: Roof Deck 385 Commonwealth Avenue, Boston, MA P0288.00 PROJECT #: ISSUE DATE: March 2024 PROJECT STATUS: Permit Set DRAWN BY: Author

CHECKED BY: Checker SHEET NAME:

Zoning Summary, Code Review & Sheet List

DRAWING HISTORY: NO. DATE DESCRIPTION

SHEET #:

Section	FICATIONS - 585 Commonwealth Avenue Roof Deck 011000 General Requirements 024100 Selective Demolition
Section Section	055100 Metal Railings 061000 Rough Carpentry
Section	061500 Wood Decking 075300 TPO Membrane Roofing 076200 Sheet Metal Flashing and Trim
Section	079200 Joint Sealants
	<b>DN 011000 - GENERAL REQUIREMENTS</b> I Requirements: Project: Roof Deck at 385 Commonwealth Avenue, Boston, MA.
2.	Conditions of Contract, Insurance and Bonds: As required by Owner. sting Requirements:
1. 2. 3. 4.	Permits: Apply and pay for permits. Submit written copy to Architect prior to start of Work. Existing Utilities: Owner will pay for cost of utilities consumed. Do not waste Existing Facilities: Comply with Owner's requirements for security and site access. Toilet Facilities: Use of designated existing restrooms in the building is acceptable. Coordinate location with Owner.
Intent: 1. 2.	Drawings and specifications are complementary and intended to provide the basis for the proper completion of the Work and suitable for the intended use of the Owner. Items not expressly set forth but which are reasonably implied or necessary for the proper performance of this work shall be included.
Coordir 1.	nation: Coordinate the work of all trades.
2. 3. Cuttina	Verify location of utilities and existing conditions. Notify Architect of conditions differing from those indicated on the Drawings. Verify dimensions on Drawings with dimensions at the Project. Do not scale Drawings. and Patching:
1. 2.	Provide cutting and patching work to properly complete the Project. Do not remove or alter structural components without written approval.
3. 4. 5.	Cut with tools appropriate for materials to be cut. Patch with materials and methods to produce patch which is consistent with new work Do not cut and patch in a manner that would result in a failure of the work to perform as intended, decrease fire performance, decrease acoustical performance, decrease energy factors.
-1610 E 1. 2.	ngineering: Verify and locate utilities, existing facilities, and equipment. Survey and layout improvements, utilities, structures, and components.
	Meetings: Arrange for a preconstruction conference prior to start of construction. Meeting shall be attended by Owner, Architect, Contractor, and major subcontractors.
2. Project 1.	Arrange for progress meetings twice a month or as agreed upon with Architect during construction, prior to application for payment. Record minutes and distribute promptly. Schedule: Submit a project schedule within 30 days of Project award and update at least monthly.
i. Submit I.	
2. 3.	Submit electronically, in PDF format. Submittals shall clearly indicate deviations from requirements of the Contract Documents.
k. 5. 6.	Submittals shall include details of construction and adjacent construction as applicable. For physical samples, submit 3 representative samples. Timing of Submittals: Submit to allow at least 10 business days for review and bandling. Submittals received after 1 pm will be considered as received the following working day.
	Timing of Submittals: Submit to allow at least 10 business days for review and handling. Submittals received after 1 pm will be considered as received the following working day. Architect's Action on Submittals: Architect will review submittals, stamp with "action stamp", mark action, and return to Contractor. Architect will review submittals only for conform is responsible for confirming compliance with other Contract requirements, including without limitation, performance requirements, field dimensions, fabrication methods, means, construction, coordination with other work. The Architect's review and approval of submittals shall be held to the limitations stated in the Owner/Architect Agreement and the Contract acceptance by the Architect be interpreted as a release of Contractor of his responsibilities to fulfill all of the requirements of the Contract Documents. Required Resubmittal: Unless submittal is noted "Approved" or "Approved as noted - Proceed" make corrections or changes to original and resubmit to Architect.
-	Distribution: When submittal is noted "Approved" or "Approved as Noted - Proceed" make prints or copies and distribute to Owner, Subcontractors involved, and to all other partie or coordination of related work. Print shop drawings for distribution only from the final approved reproducible.
0. Reques	Include details of construction and adjacent construction in shop drawings. Clearly indicate any deviations from requirements of the contract documents. Fabricate materials from t For Interpretation (RFIs): Procedure: Immediately on discovery of the need for interpretation of the Contract Documents, and if not possible to request interpretation at Project meeting, prepare and submit
	RFIs shall originate with Contractor. RFIs submitted by entities other than Contractor will be returned with no response. Content of the RFI shall include a detailed, legible description of item needing interpretation.
	Architect will review each RFI, determine action required, and return it. Allow five working days for Architect's response for each RFI. RFIs received after 1:00 p.m. will be consider The following RFIs will be returned without action:
	<ul> <li>a. Requests for approval of submittals.</li> <li>b. Requests for approval of substitutions.</li> <li>c. Requests for coordination information already indicated in the Contract Documents.</li> </ul>
	<ul> <li>Requests for adjustments in the Contract Time or the Contract Sum.</li> <li>Requests for interpretation of Architect's actions on submittals.</li> </ul>
)uality	<ul> <li>f. Incomplete RFIs or RFIs with numerous errors.</li> <li>Assurance:</li> <li>Comply with applicable codes, regulations, ordinances and requirements of authorities having jurisdiction, including accessibility guidelines where applicable. Submit copies of in</li> </ul>
	Architect. Provide products of acceptable manufacturers which have been in satisfactory use in similar service for three years.
-	Use experienced installers. Furnish evidence of experience if requested. Deliver, handle, and store materials in strict accordance with manufacturer's instructions.
empo	Use of any supplier or subcontractor is subject to Owner's approval. Engage and pay for testing agencies as required. Refer to individual sections for additional requirements. rary Facilities:
	Provide temporary protection at return air ducts to eliminate dust and debris from building system related to construction activity. Provide temporary barricades as necessary to ensure protection of the public.
	Provide suitable waste disposal units and empty regularly. Do not permit accumulation of trash and waste materials. Maintain legal egress within and around construction areas. Maintain fire alarm systems in operation during construction.
	Provide fire extinguishers in work areas during construction. Provide temporary protection for adjacent construction. Promptly repair any damage at no additional cost to the Owner.
	Secure area of work from unauthorized entry. If a temporary walls are provided to protect the work area, paint the public side.
roduc stalla	ts and Substitutions: Provide products and materials specified. Request Architect's selection of colors and accessories in sufficient time to avoid delaying progress of the Work. Submit requests for substitutions shall be in writing, including reasons. Submit sufficient information for Architect to evaluate proposed substitution. Remove and replace work which does not conform to the contract documents at no additional expense to the Owner.
	Inspect substrates and report unsatisfactory conditions in writing. Do not proceed until unsatisfactory conditions have been corrected.
	Take field measurements prior to fabrication where practical. Form to required shapes and sizes with true edges, lines and angles. Provide inserts and templates as needed for Install materials in exact accordance with manufacturer's instructions and approved submittals.
	Install materials in proper relation with adjacent construction and with proper appearance. Restore units damaged during installation. Replace units which cannot be restored at no additional expense to the Owner. Comply with building code and accessibility requirements.
oseo	Refer to additional installation requirements and tolerances specified under individual specification sections.
	Prepare punchlist for remaining work for review by the Architect. Complete punchlist items promptly at no additional expense to the Owner.
	Obtain and submit copy of occupancy permits. Remove temporary facilities and provide final cleaning and touch up. Restore portions of building, site improvements, and other items damaged by construction operations to the satisfaction of the Architect at no additional expense to the Owner.
ЕСТІ	Restore portions of building, site improvements, and other items damaged by construction operations to the satisfaction of the Architect at no additional expense to the Owner.
umma	iry: Provide selective demolition of materials and systems designated to be removed.
	Coordinate items to be salvaged for reinstallation or returned to the owner. Protect during construction. Protect portions of building, site and adjacent structures affected by demolition operations.
	Remove abandoned utilities and wiring systems. Provide temporary protection for the public from demolition operations. Provide pollution control during demolition operations.
	Provide removal and legal disposal of materials. Notify Owner in writing of schedule of shut off of utilities which serve occupied spaces.
Submit	Removal of hazardous materials is not included. Notify Owner in writing if hazardous materials are encountered or suspected and stop work in that area until determination is matals:
electiv	Submit demolition schedule. Include methods for protecting adjacent work, location of temporary partitions if applicable. Submit proposed location for legal disposal of materials, and permit if applicable. /e Demolition:
electiv	Ve Demolition: Survey existing conditions and correlate with Drawings and specifications to verify extent of demolition required. Provide videotape of existing conditions if clarification of existing construction operations.
	Verify conditions at site to determine whether demolition methods proposed for use will not endanger existing structures by overloading, failure, or unplanned collapse. Provide to Perform demolition operations by methods which do not endanger adjacent spaces, structures, or the public.
ECTIO	Refer to the Drawings for additional requirements.
umma	iry: Provide metal railings and attachments.
ubmit	als: Submit product data, samples of exposed finishes, shop drawings.
'roduc	Submit signed and sealed shop drawings for any work not fully detailed on the Construction Documents. ts: Metal Railings: Shop-painted hot-dip galvanized steel with welded joints; Duncan Colorgalv 20 preferred.
	Metal Finish: Manufacturer's standard high performance powder coating, shop applied. Anchors: Galvanized or stainless steel.
nstalla	tion: Comply with requirements of Section 011000 - General Requirements. Comply with Code and ASTM E 985 for handrail and railing structural performance.
2.	Comply with Code and AS for E 900 for national and railing structural performance.

rgy performance, decrease operational life, or decrease safety

mance with the design concept of the project. The Contractor , methods, techniques, sequences and procedures of nditions of the Contract. In no case shall approval or

ties requiring information from the submittal for performance

rom approved shop drawings only.

mit an RFI in the form specified.

dered as received the following working day.

inspection reports, notices and similar documents to

or work of other trades.

nade.

SECTION 061000 - ROUGH CARPENTRY

Summary: Provide wood grounds, nailers and blocking.

Refer to the Structural Drawings for structural steel and wood joists. Submittals:

1. Submit product data.

- Products: Lumber Standards and Grade Stamps: PS 20, American Softwood Lumber Standard and inspection agency grade stamps. 2. Miscellaneous Lumber, Blocking and Nailers:
  - Moisture Content: 19 percent. Grade: Standard grade light framing.
- Preservative Treatment for Exterior Carpentry: AWPA C2 for lumber and AWPA C9 for plywood; waterborne pressure treatment, arsenic free. 4. Framing Anchors and Fasteners: Non corrosive, suitable for load and exposure. Installation:
- Comply with requirements of Section 011000 General Requirements.
- Provide nailers, blocking and grounds where required. Set work plumb, level and accurately cut. Comply with manufacturer's requirements for treated materials.

# SECTION 061500 - WOOD DECKING (ALTERNATE)

- Summary: Provide wood decking with hidden fasteners.
- Provide wood tile walkway with hidden fasteners.
- Submittals: Submit product data, shop drawings and, samples of each type. Shop drawings shall be prepared by a licensed engineer registered in Massachusetts, indicting attachment system is suitable for wind loads indicated on the Drawings without 1. failure.
- Products:

1.

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- 1. Species: Ipe with the following features. Clear one face; small pin knots and worm holes will be accepted on back face.
  - Sound; small pin knots, worm holes, and fixed knots will be accepted.
  - All heart one face. Straight grained and parallel cut.
  - Free of heart centers.
  - No decay, incipient decay, honeycomb, knot holes, shakes, splits, or wane.
- No discoloration. Attachment: Stainless steel screws and bolts, heads set slightly below wood surface; pedestal system and components as appropriate. 2. Wood Tiles for Deck Walkway: Bison Innovative Products or equal. 3.
- Installation: Comply with requirements of Section 011000 - General Requirements.
- Install work plumb, level and in proper alignment with adjacent work.
- Provide work free from tool marks and blemishes. Securely fasten to substrates.
- Install in lengths to minimize joints and seams. 5.

# SECTION 067300 - COMPOSITE DECKING (BASE) Summary:

Provide composite decking with hidden fasteners.

Provide composite decking tile walkway with hidden fasteners. Submittals:

1. Submit product data, shop drawings and, samples of each type. Shop drawings shall be prepared by a licensed engineer registered in Massachusetts, indicting attachment system is suitable for wind loads indicated on the Drawings without failure. Products:

- Material Description: Composite Decking consisting of recycled Linear Low Density Polyethylene (LLDPE) and recycled wood.
- Decking Size: Face width of 5-1/2 inches.
- Decking Length: As required by decking layout.
- Configuration: Provide product with grooved edges designed for fastening with concealed decking fasteners. Color/Surface Texture: As selected by Architect from manufacturer's standard colors and textures.
- Attachment: Stainless steel hidden fastener clip system. 2.
- Basis-of-Design: Trex or equal. Composite Decking Tiles for Deck Walkway: Bison Innovative Products or equal for pedestal support system.
- Installation: Comply with requirements of Section 011000 - General Requirements.
- Install work plumb, level and in proper alignment with adjacent work.
- Provide work free from tool marks and blemishes.
- Securely fasten to substrates. Install in lengths to minimize joints and seams. 5.

# SECTION 075300 - TPO MEMBRANE ROOFING

Summarv Full removal of existing roofing, insulation, and flashing at locations indicated.

Provide TPO single ply membrane roofing, cover board and roof insulation.

Modify existing roofing for new construction and new penetrations. Submittals:

Submit product data, shop drawings, 20 year warranty, maintenance data.

- Products: Membrane Roofing: TPO by Carlisle, Manville, Versico or equal.
- TPO Membrane: 60 mils.
- Coverboard over Insulation: DensGlas or equal.
- Insulation: Polyisocyanurate. 4.
- Sheet Metal Accessories: SMACNA and NRCA recommendations. 5. Installation:
- Comply with requirements of Section 011000 General Requirements. 1
- 2. Coordinate membrane roofing installation with flashings and metal accessories to shed water properly.

# SECTION 076200 - SHEET METAL FLASHING AND TRIM

Summary: 1. Provide Flashing and Sheet Metal:

- Metal counterflashing and base flashing. а.
- Sheet metal accessories.

Submittals:

Submit product data, samples, shop drawings. 1 Products:

Sheet Metal Flashing and Trim: AISI Type 302/304 stainless steel, ASTM A 666, 2D annealed finish, 28 gage (.0156 inch). 1 Fabricated Units: Compliance with SMACNA Architectural Sheet Metal Manual.

- Auxiliary Materials: a. Solder compatible with metal.
- Bituminous isolation coating.
- Mastic and elastomeric sealants.
- Installation: Comply with requirements of Section 011000 - General Requirements.
- Install flashing and sheet metal with provision for expansion and contraction. 2.
- Install flashing and sheet metal to shed water properly.
- 4. Isolate dissimilar metals with bituminous coating.

# SECTION 079200 - JOINT SEALANTS

Summary: 1. Provide joint sealers.

Submittals:

Submit product data, colors, mockup of each joint type. Products:

Silicone Elastomeric Joint Sealants: Multi-part nonacid curing silicone sealant, ASTM C 920, for vertical and horizontal joints, modulus as required for application, 1.

Installation: Comply with requirements of Section 011000 - General Requirements. 1

- 2. Test sealant adhesion for each substrate required.
- Install in proper relation with adjacent work. 3.
- Clean adjacent surfaces soiled with sealant immediately. 4.

End

3.

ing damage may be construed as damage done by

temporary bracing as required.

# Finegold Alexander Architects

PROJECT TEAM:

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MEP/FP, Code Arup 60 State Street Boston MA 02109 617-864-2987 www.arup.com

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Zoning/Permitting McDermott, Quilty, Miller & Hanley LLP 28 State Street, Suite 802 Boston, Massachusetts 02109 617-946-4600 https://mqmhlaw.com/

KEY PLAN:

SEAL:

PROJECT INFORMATION:

P0288.00 PROJECT #: ISSUE DATE: March 2024 PROJECT STATUS: Permit Set Author DRAWN BY: CHECKED BY: Checker SHEET NAME:

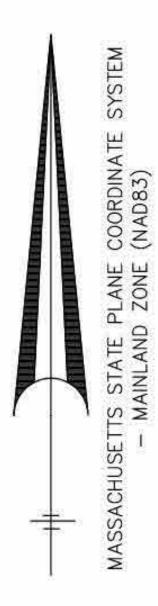
Outline Specifications

DRAWING HISTORY: NO. DATE DESCRIPTION

SHEET #:

BOSTON

# Roof Deck 385 Commonwealth Avenue, Boston, MA

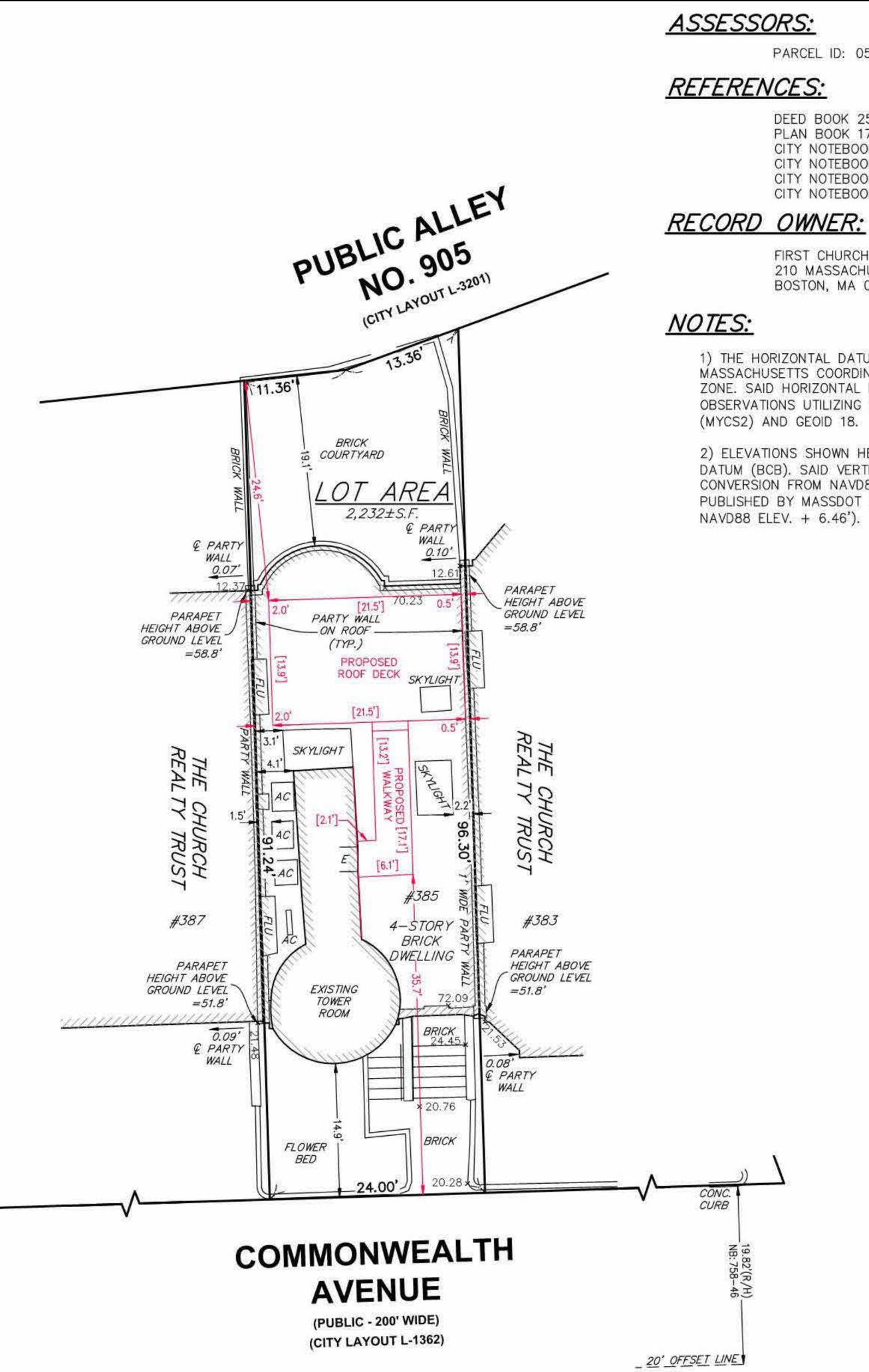


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DEED BOOK 2507, PAGE 222 PLAN BOOK 1713, PAGE 2 CITY NOTEBOOK 480, PAGE 67 CITY NOTEBOOK 481, PAGE 23 CITY NOTEBOOK 665, PAGE 13 CITY NOTEBOOK 758, PAGE 46

FIRST CHURCH OF CHRIST, SCIENTIST 210 MASSACHUSETTS AVENUE BOSTON, MA 02115

1) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. SAID HORIZONTAL DATUM WAS ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00

2) ELEVATIONS SHOWN HEREON REFER TO BOSTON CITY BASE DATUM (BCB). SAID VERTICAL DATUM WAS ESTABLISHED BY CONVERSION FROM NAVD88 DATUM UTILIZING CONVERSION PUBLISHED BY MASSDOT (BOSTON CITY BASE ELEV. =

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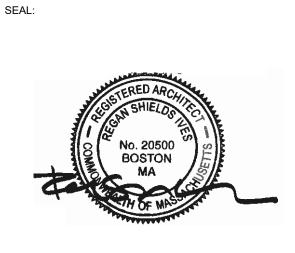
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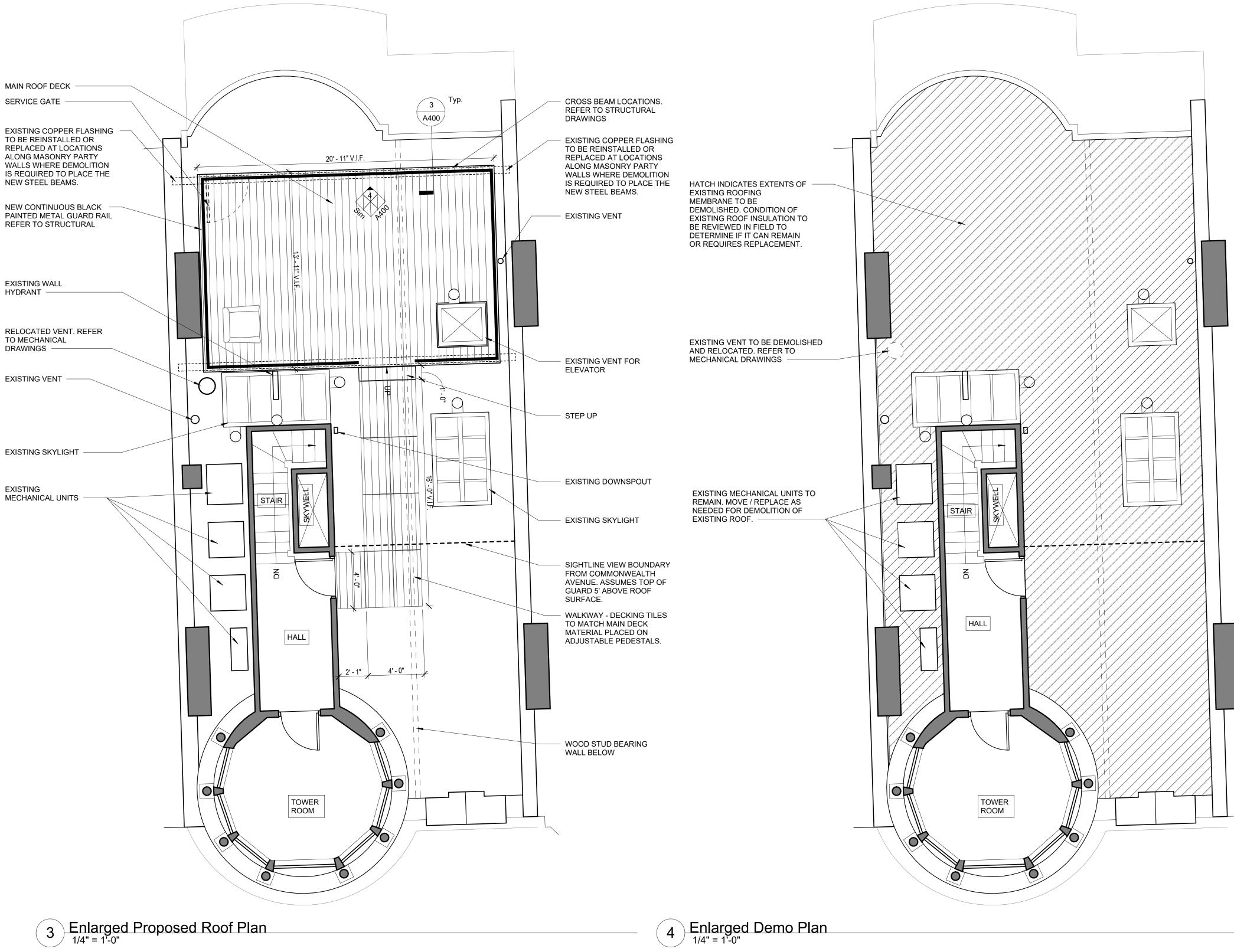
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oof Deck				
35 Commonwealt	th Avenue, Boston, MA			
ROJECT #:	P0288.00			
SUE DATE:	March 2024			
ROJECT STATUS:	Permit Set			
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IECKED BY:	Checker			
IEET NAME:				
lot Plan				

A100

SHEET #:

SCALE: 1" = 10'

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SERVICE GATE	$\neg$
EXISTING COPPER FLASHING TO BE REINSTALLED OR REPLACED AT LOCATIONS ALONG MASONRY PARTY WALLS WHERE DEMOLITION IS REQUIRED TO PLACE THE NEW STEEL BEAMS.	
NEW OTELE DEAMO.	
NEW CONTINUOUS BLACK — PAINTED METAL GUARD RAIL REFER TO STRUCTURAL	
EXISTING WALL	
HYDRANT	
RELOCATED VENT. REFER TO MECHANICAL DRAWINGS	
EXISTING VENT	
EXISTING SKYLIGHT	
EXISTING MECHANICAL UNITS	

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KEY PLAN:



# PROJECT INFORMATION: Roof Deck

385 Commonwealth Avenue, Boston, MA

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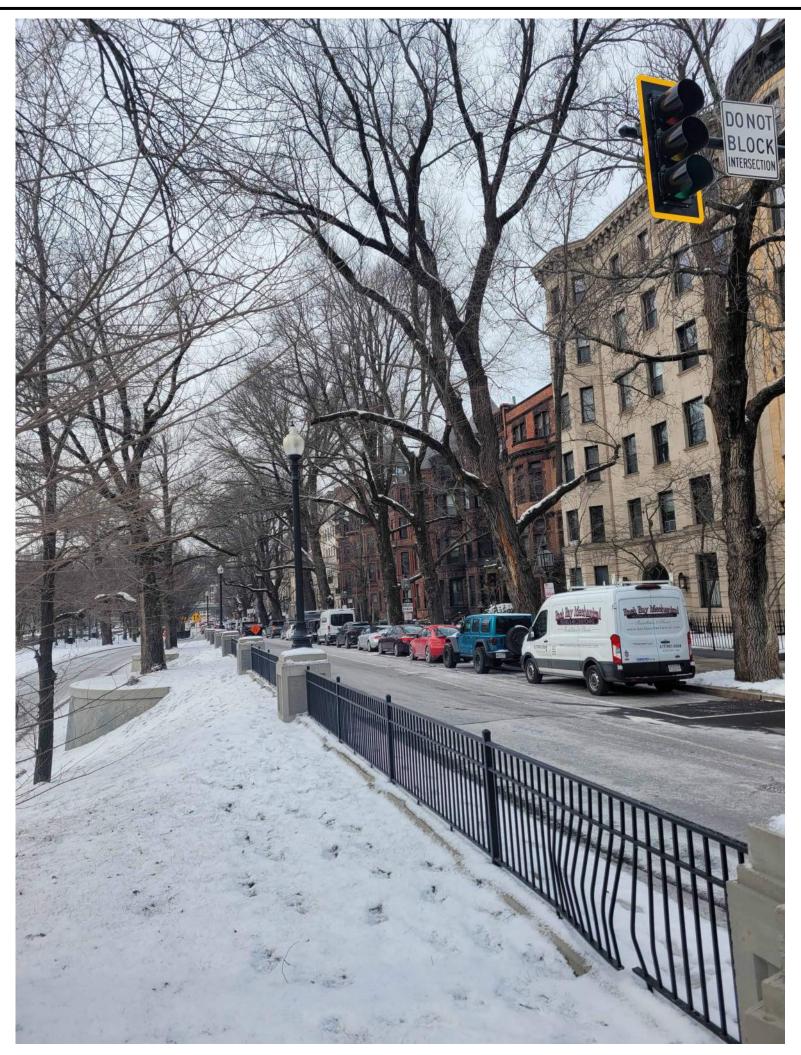
CHECKED BY: SHEET NAME:

Plans

SHEET #:

A101

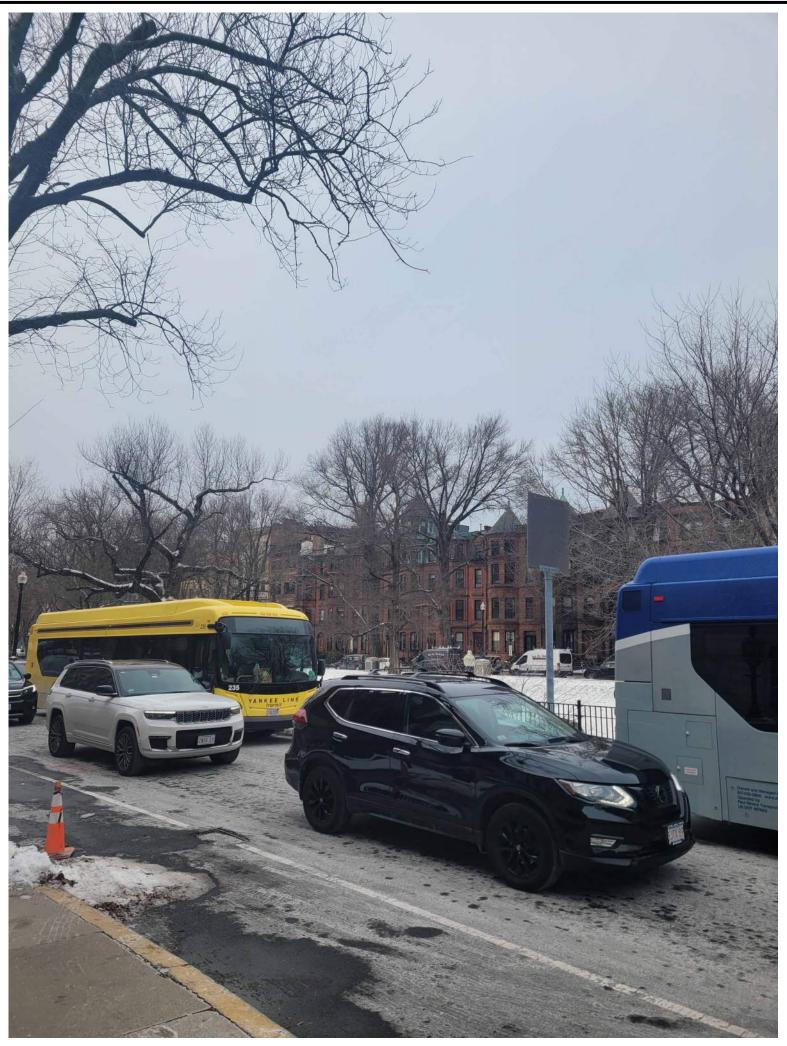
DRAWING HISTORY: NO. DATE DESCRIPTION



View from Commonwealth Ave. and Massachusetts Ave.



North Elevation from Public Alley 905



View from Commonwealth Ave. Eastbound



North Elevation from Public Alley 905





South Elevation from Commonwealth Ave.

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KEY PLAN:

SEAL:

PROJECT INFORMATION: Roof Deck

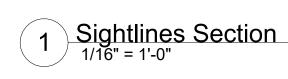
385 Commonwealth Avenue, Boston, MA

PROJECT #: P0288.00 March 2024 ISSUE DATE: PROJECT STATUS: Permit Set DRAWN BY: Author CHECKED BY: Checker

SHEET NAME: Existing Elevations

DRAWING HISTORY: NO. DATE DESCRIPTION







# COMMONWEALTH AVENUE MALL

COMMONWEALTH AVENUE

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KEY PLAN:

SEAL:



# PROJECT INFORMATION: Roof Deck

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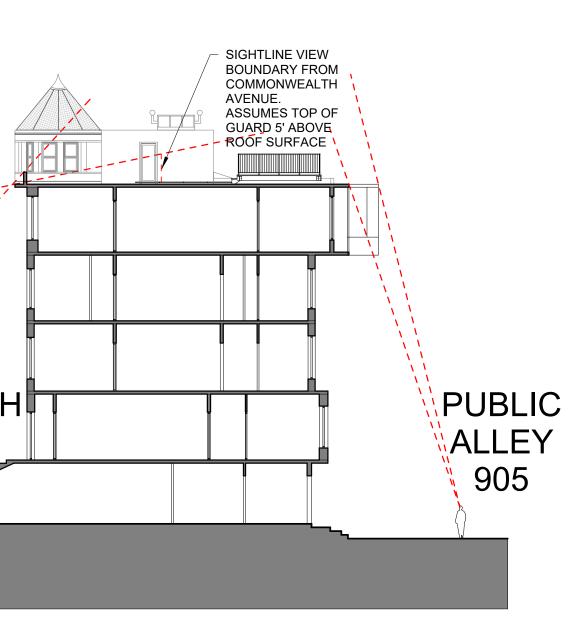
PROJECT #:	P0288.00
ISSUE DATE:	March 2024
PROJECT STATUS:	Permit Set
DRAWN BY:	Author
CHECKED BY:	Checker

SHEET NAME:

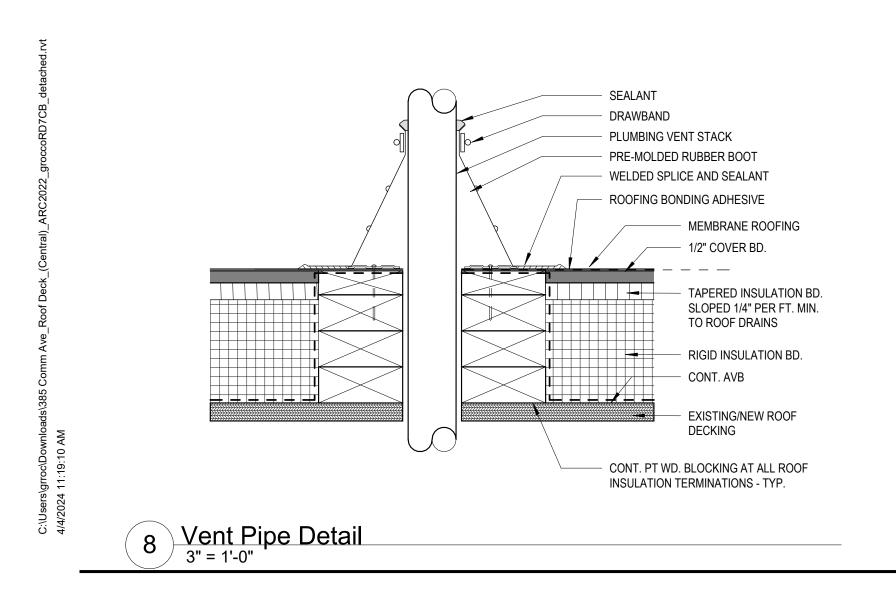
Sections

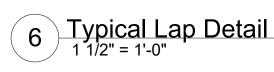
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NO. DATE DESCRIPTION

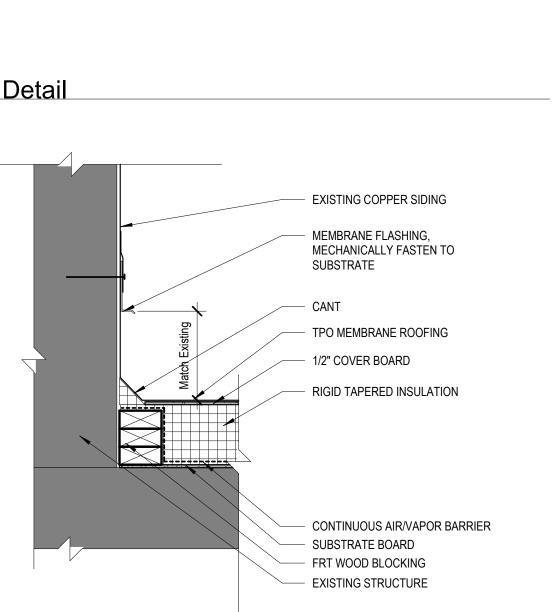


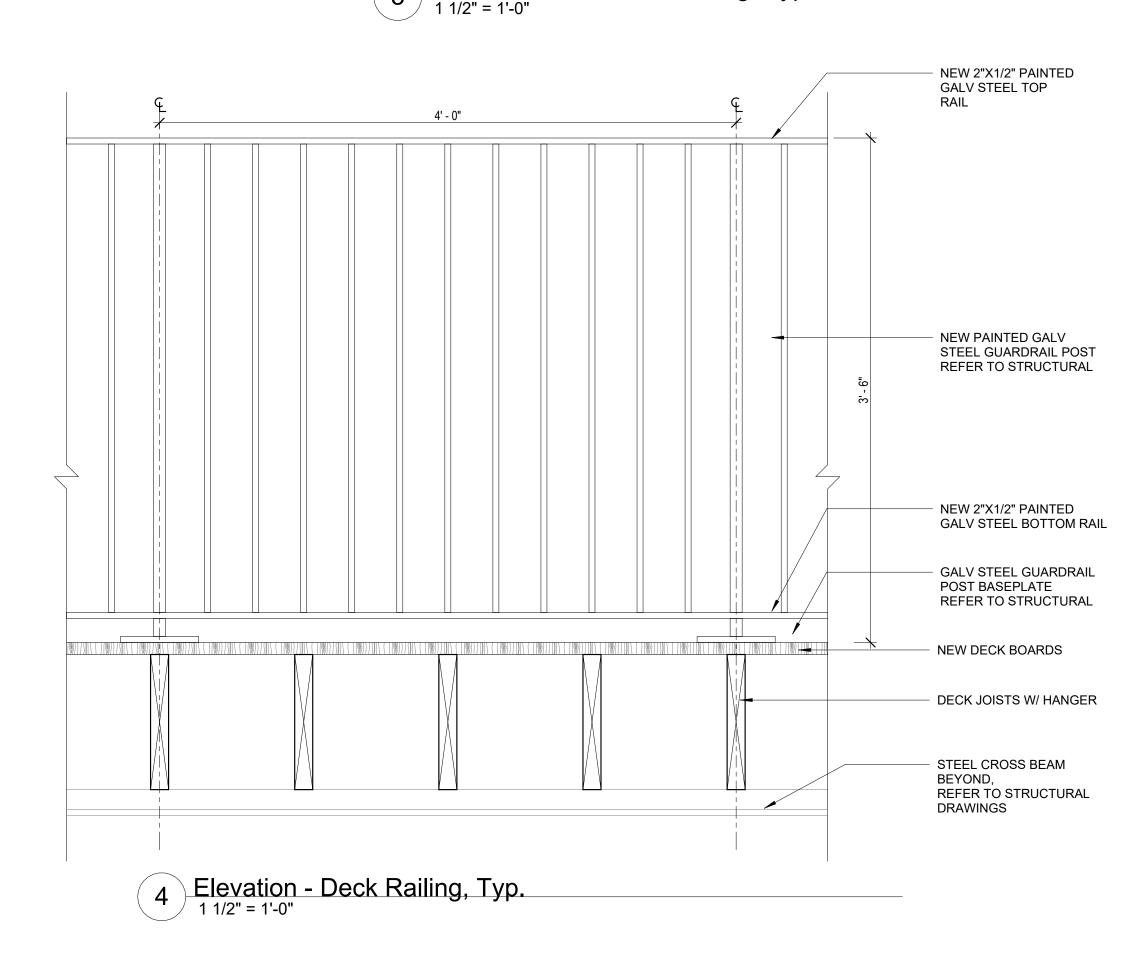


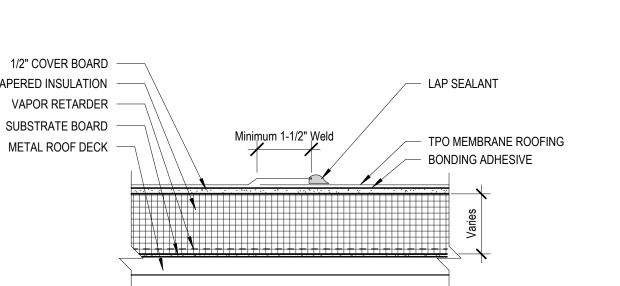


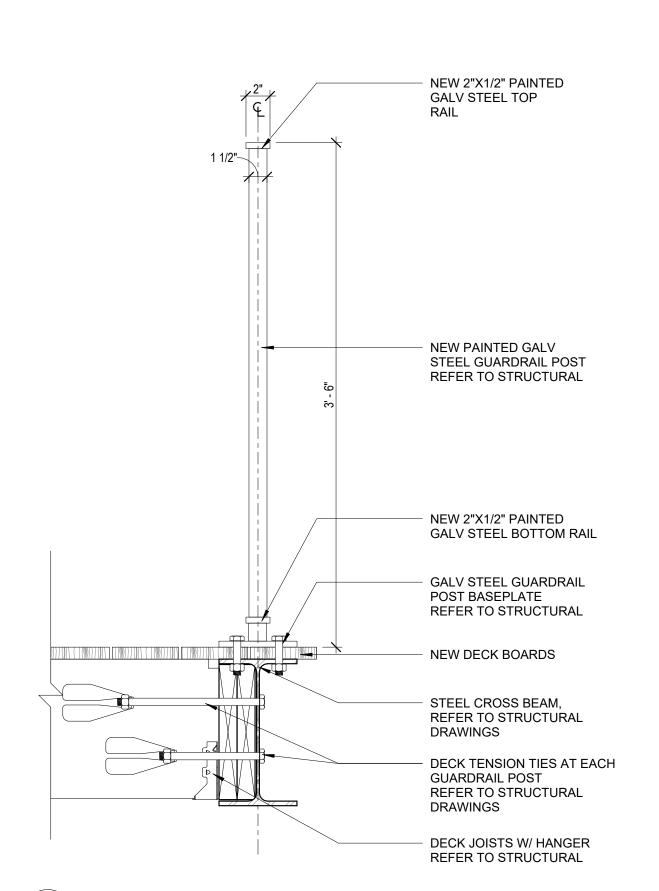


RIGID TAPERED INSULATION VAPOR RETARDER SUBSTRATE BOARD METAL ROOF DECK









# 3 Section Detail - Deck Railing, Typ.

# Finegold Alexander Architects

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KEY PLAN:

SEAL: lo. 20500 BOSTON MA

PROJECT INFORMATION: Roof Deck

385 Commonwealth Avenue, Boston, MA

P0288.00 PROJECT #: ISSUE DATE: March 2024 PROJECT STATUS: Permit Set Author DRAWN BY: CHECKED BY: Checker

SHEET NAME:

Enlarged Details

DRAWING HISTORY:

NO. DATE DESCRIPTION

