

ABBREVIATIONS:

ADDL	ADDITIONAL	MANUF OR MFR	MANUFACTURER
ALT	ALTERNATE	MATL	MATERIAL
AFF	ABOVE FINISH FLOOR	MAX	MAXIMUM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	MECH	MECHANICAL
AWS	AMERICAN WELDING SOCIETY	MEMB	MEMBRANE
AB	ANCHOR BOLT	MEP	MECHANICAL EQUIPMENT PAD
& OR	AND	MID	MIDDLE
APPROX	APPROXIMATELY	MID-PT	MID-POINT
ARCH	ARCHITECT OR ARCHITECTURAL	MIN	MINIMUM
@	AT	MR	MOISTURE RESISTANT
BAL	BALANCE	NFPA	NATIONAL FOREST PRODUCTS ASSOCIATION
BETW	BETWEEN	NOM	NOMINAL
BM	BEAM	NWC	NORMAL WEIGHT CONCRETE
BRG	BEARING	N	NORTH
BLK	BLOCK	NIC	NOT IN CONTRACT
B OR BOT	BOTTOM	NTS	NOT TO SCALE
BEW	BOTTOM EACH WAY	NO OR #	NUMBER
BRKT	BRACKET	OC	ON CENTER
BLDG	BUILDING	OPNG	OPENING
CIP	CAST-IN-PLACE	OPP	OPPOSITE
CTRD	CENTERED	OD	OUTSIDE DIAMETER
☐	CENTERLINE	OF	OUTSIDE FACE
CLR	CLEAR	P.T.	PRESSURE TREATED
COL	COLUMN	PT	POINT
CONC	CONCRETE	PTD	PAINTED
CMU	CONCRETE MASONRY UNIT	PTB	POST-TENSIONED BAR
CONST	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONSTJT OR ☐	CONSTRUCTION JOINT	PSI	POUNDS PER SQUARE INCH
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CJ	CONTROL JOINT	P/C	PRECAST CONCRETE
DET	DETAIL	R	RADIUS
DIA OR ∅	DIAMETER	REF	REFERENCE
DIM	DIMENSION	REINF	REINFORCE, REINFORCING OR REINFORCEMENT
DN	DOWN	REQD	REQUIRED
DWG	DRAWING	RD	ROOF DRAIN
EA	EACH	Ⓢ	SEALANT
ELECT	ELECTRICAL	SCH OR SCHED	SCHEDULE
EL OR ⊕	ELEVATION	SECT	SECTION
ELEV	ELEVATOR	SH	SHEET
EMBED	EMBEDMENT	SIM	SIMILAR
EQ	EQUAL	SOG	SLAB ON GRADE
EQUIP	EQUIPMENT	S	SOUTH
EXIST	EXISTING	SPECS	SPECIFICATIONS
EXP BOLT	EXPANSION BOLT	SPKR	SPRINKLER
EJ OR EXP JT	EXPANSION JOINT	SQ	SQUARE
EXT	EXTERIOR	STN STL	STAINLESS STEEL
FF	FINISH FACE	STD	STANDARD
FT	FEET OR FOOT	STL	STEEL
FIN	FINISH	ST STL	STAINLESS STEEL
FIN FL	FINISHED FLOOR	STRUCT	STRUCTURAL
FPRF	FIREPROOF	SYM	SYMMETRICAL
FL	FLOOR	TEMP	TEMPERATURE OR TEMPORARY
FD	FLOOR DRAIN	THK	THICK OR THICKNESS
FTG	FOOTING	x	TIMES OR BY
FDN	FOUNDATION	TO	TOP OF
GA	GAGE OR GAUGE	T & B	TOP AND BOTTOM
GALV	GALVANIZED	TOC	TOP OF CURB or CONCRETE
GWB or GYP	GYPSUM WALL BOARD	TOS	TOP OF STEEL
HGT	HEIGHT	TOW	TOP OF WALL
H OR HORIZ	HORIZONTAL	TYP	TYPICAL
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
INFO	INFORMATION	V OR VERT	VERTICAL
INCL	INCLUDING OR INCLUSIVE	VIF	VERIFY IN FIELD
ID	INSIDE DIAMETER	W	WEST
IF	INSIDE FACE	WWPA	WESTERN WOOD PRODUCTS ASSOCIATION
INSUL	INSULATION	W/	WITH
INT	INTERIOR	W/O	WITHOUT
INV	INVERT	WP	WORKING POINT
JT	JOINT		
LWC	LIGHT WEIGHT CONCRETE		
LBS	POUNDS		

Springfield Street Residences

4-6 E. Springfield Street, Boston, MA 02118

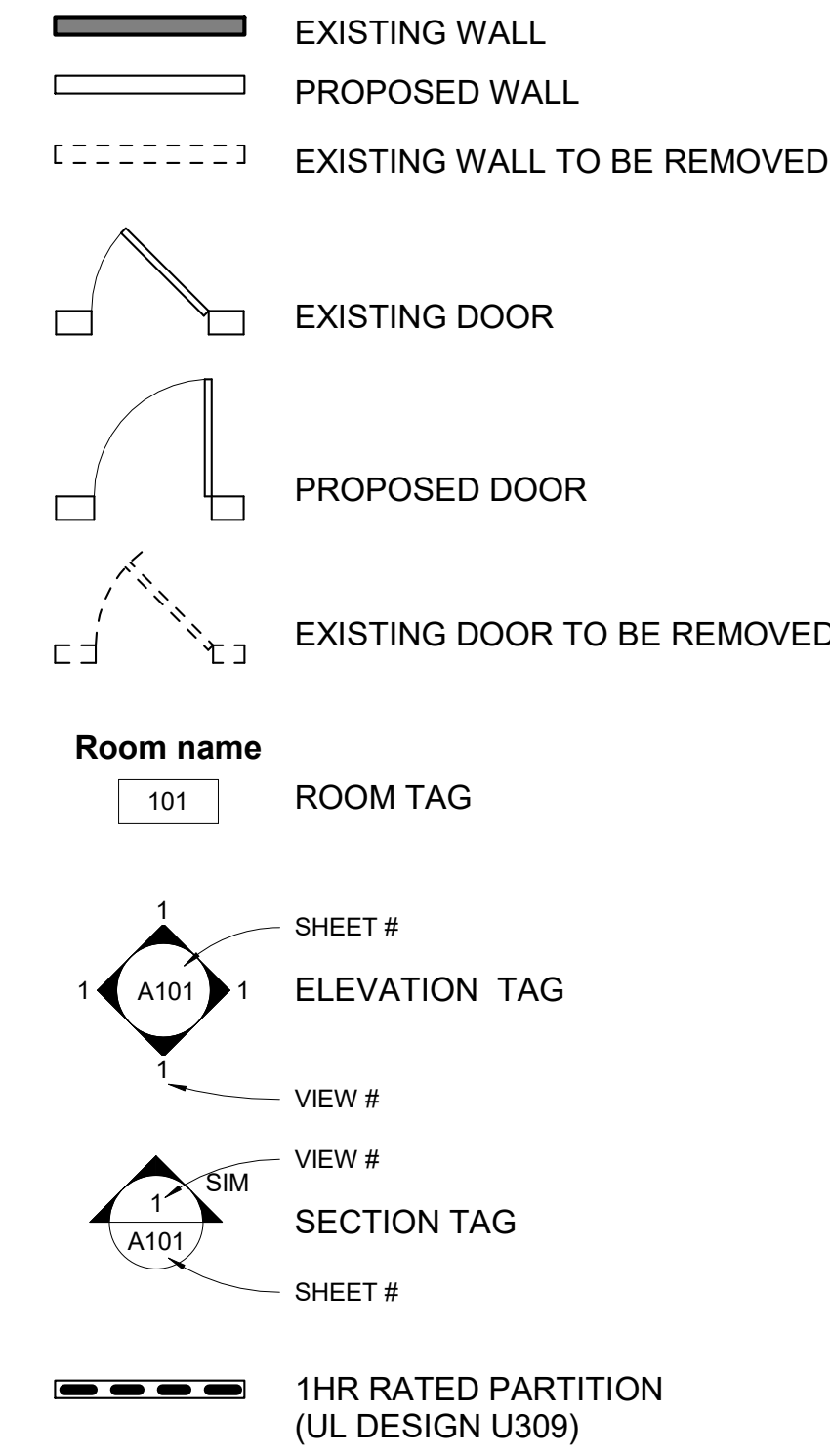
CODE ANALYSIS:

- APPLICABLE CODES:
BUILDING CODE :
IBC 2015 (780 CMR)
IEBC 2015
IECC 2018
IFC 2015 (527 CMR)
8TH EDITION AMENDMENTS
- ZONING DISTRICT - NDA
SETBACKS:
FRONT: ALLOWED CONFORMITY 0.0'
RIGHT: NONE NONE
LEFT: NONE NONE
REAR: 20' NONE
HEIGHT: 70' 34'-2" 55'-4"
- CHAPTER 3 - USE GROUP CLASSIFICATION :
SECTION 310.0 - R2
- CHAPTER 6 - CONSTRUCTION CLASSIFICATION
TABLE 602 - UNIT SEPERATION - 1HR
SECTION 602.5 - TYPE 5A CONSTRUCTION

IECC SPECIFICATIONS:

- EXTERIOR WALLS:
2X6 WOOD FRAMING
R21 MIN INSULATION VALUE (CAVITY)
BASEMENT: R10 CONTINUOUS INSULATION OR R13 CAVITY INSULATION
- WINDOWS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .32
REQUIREMENTS FOR 1 WDW MIN PER BEDROOM:
5.7SF OPERABLE CLEAR AREA,
44" MAX SILL HGT
- EXTERIOR DOORS:
DOUBLE PANE LOW E
MIN. U-FACTOR: .33
- CEILING/ROOF
R49 MIN INSULATION VALUE

SYMBOL LEGEND

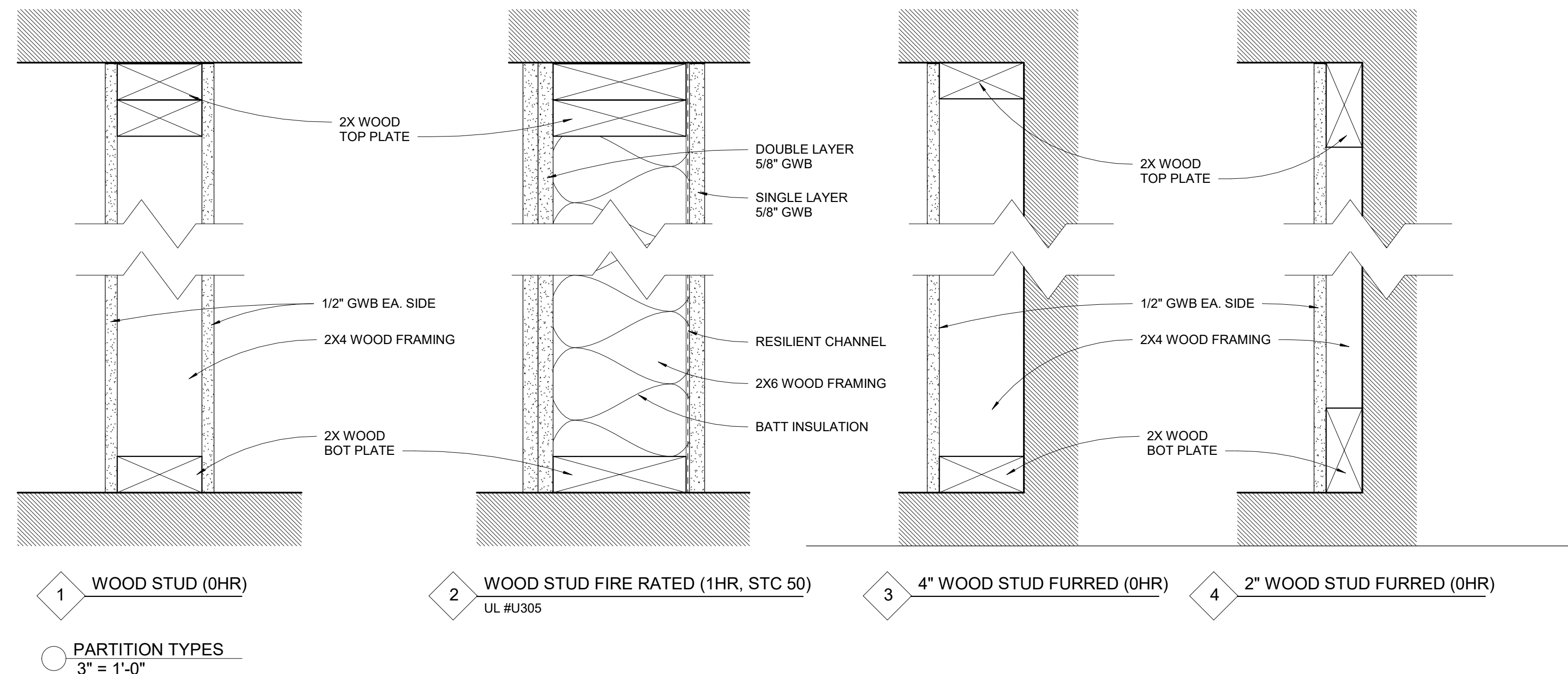


DRAWING LIST

SHEET #	SHEET NAME
A000	TITLE SHEET
A100	BASEMENT & 1ST FLOOR PLANS
A101	2ND & 3RD FLOOR PLANS
A102	4TH & 5TH FLOOR PLANS
A103	ROOF PLANS
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELVATIONS

GENERAL NOTES:

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- CONTRACTOR SHALL VERIFY ALL EXISTING CEILINGS AND EGRESS STAIRS ARE 1HR FIRE RATED. SINGLE LAYER OF PLASTER OR 5/8" GWB EACH SIDE OF INTERIOR PARTITION (UL DESIGN# L305), SINGLE 5/8" AT CEILINGS (UL DESIGN# L512). ALL REPLACEMENT PATCHING OR REPAIRING IS THE RESPONSIBILITY OF CONTRACTOR. CONTACT ARCHITECT IF RATING IS BELIEVED TO BE INHERENT IN EXISTING ASSEMBLY.
- CONTRACTOR SHALL ENGAGE A LICENSED ELECTRICIAN FOR ALL ELECTRICAL WORK AND IN COMPLIANCE WITH NFPA 70.
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PROJECT:
Springfield St Residences

4-6 E. Springfield
Boston, MA 02118

CLIENT:
River Front Realty

275 Main St
Boston, MA 02129

PROJECT TEAM:

REVISIONS:

DRAWING TITLE:

TITLE SHEET

STAMP



March 6, 2024

DATE OF ISSUE

DESIGN REVIEW

DOCUMENT PHASE

As indicated

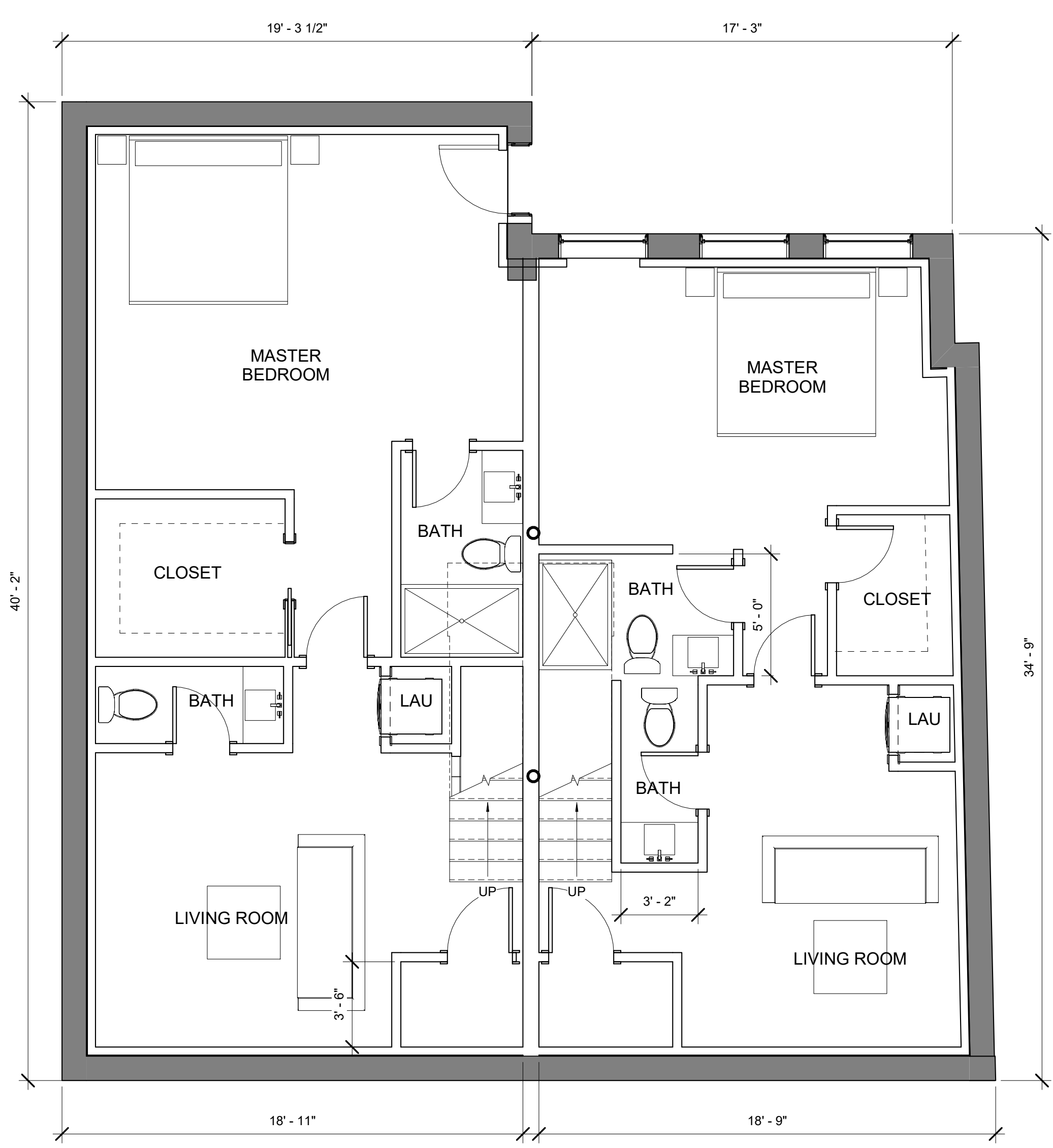
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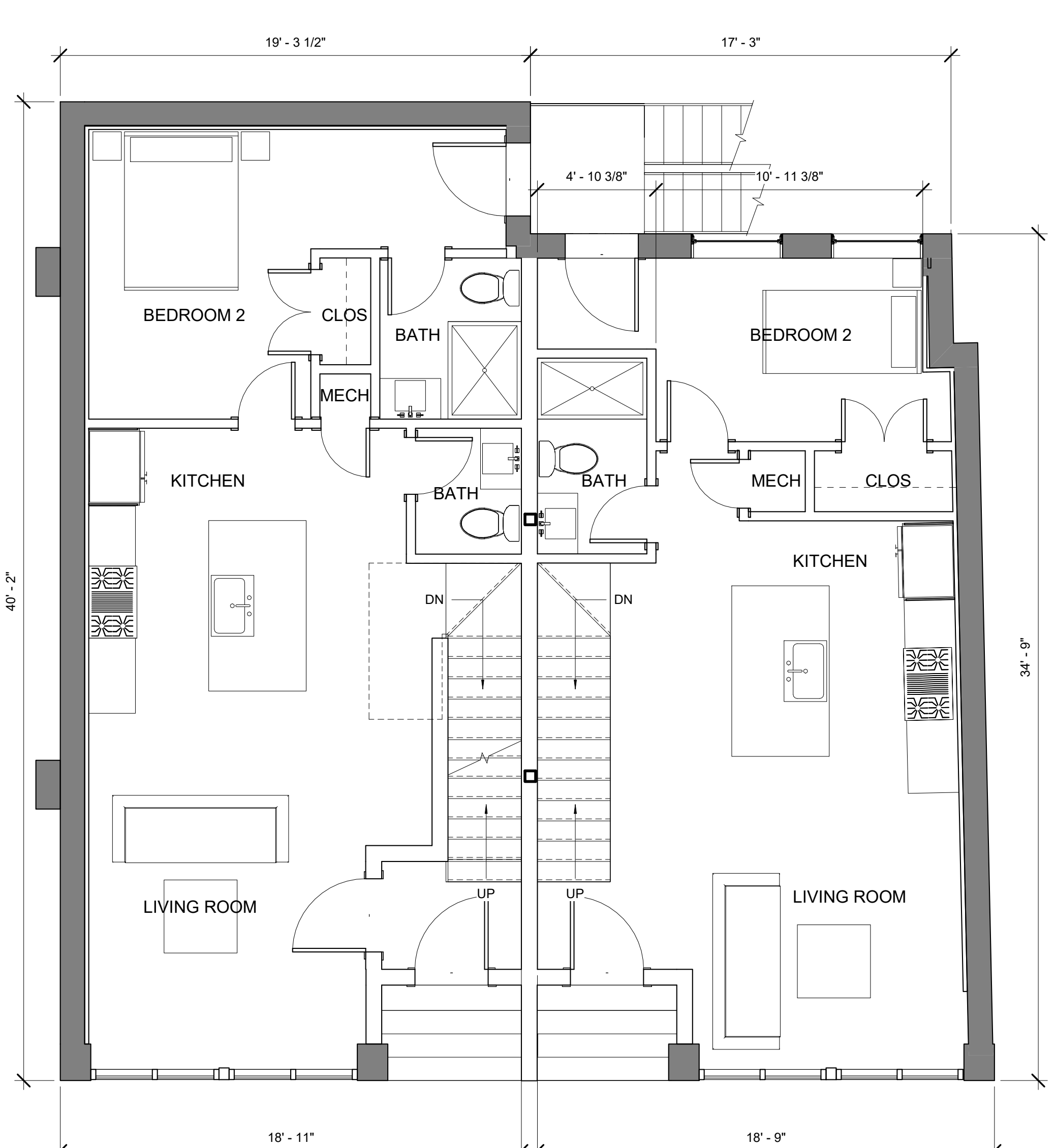
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DRAWING NUMBER:

A000



1 BASEMENT
 1/4" = 1'-0"



2 1ST FLOOR
 1/4" = 1'-0"

SYMBOL LEGEND

- EXISTING WALL
- PROPOSED WALL
- EXISTING WALL TO BE REMOVED
- EXISTING DOOR
- PROPOSED DOOR
- EXISTING DOOR TO BE REMOVED
- Room name**
 ROOM TAG
- SHEET #
- ELEVATION TAG
- VIEW #
- SECTION TAG
- SHEET #
- 1HR RATED PARTITION (UL DESIGN U309)
- HEAT DETECTOR - KIDDE HD135F
- COMBO SMOKE/CO DETECTOR - KIDDE I12010SCO
- COMBO SMOKE/CO DETECTOR (PHOTOELECTRIC) KIDDE KN-COPE-IC

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FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5116	PROPRIETARY†	1 HOUR FIRE	50 to 54 STC SOUND
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WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION

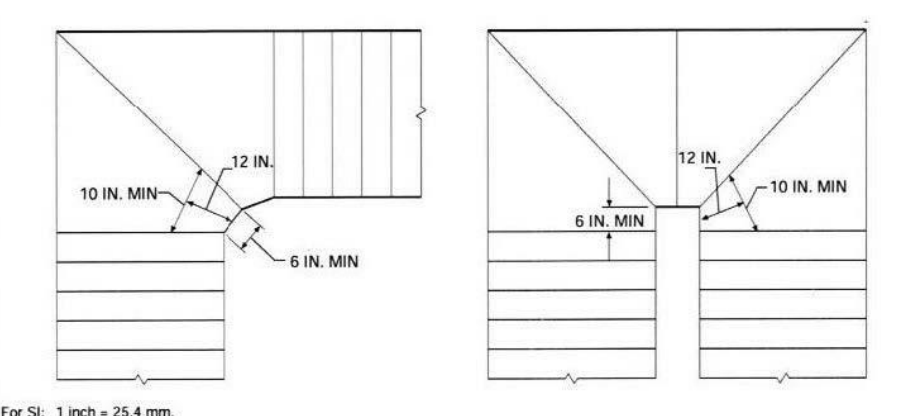
One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws at 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joists supporting 5/8" interior plywood with exterior glue subfloor and 1 5/8" particle-board concrete reinforced with No. 19 SWG galvanized hexagonal wire mesh, 3" glass fiber insulation 0.90 pcf in joist space stapled to subfloor.

PROPRIETARY GYPSUM BOARD

American Gypsum Company	5/8" FIREBLOC TYPE C
CertainTeed Gypsum, Inc.	5/8" ProRock Type C Gypsum Panels
G-P Gypsum	5/8" ToughRock® Fireguard® C
Lafarge North America, Inc.	5/8" Firecheck® Type C
National Gypsum Company	5/8" Gold Bond® Brand FIRE-SHIELD C™
PABCO Gypsum	Gypsum Wallboard
Temple-Inland Forest Products Corporation	5/8" FLAME CURS® Super C™
	5/8" TG-C

Approx. Ceiling Weight: 2 psf
 Fire Test: UL R3453-7, 5-1-70; Based on UL R3690-7, -8, 11-12-87; R2717-61, 8-18-87; Based on UL R7094, 90NK10835, 10-24-90; Based on UL R6742, 88NK22591, 10-8-88; UL Design L516
 Sound Test: KAL L 224-28-85, 3-30-85 (74 C & P); KAL L 224-27-85, 3-30-85

†Contact the manufacturer for more detailed information on proprietary products.



WINDER STAIR DETAIL

STAIRS:
 COMMON: 7 1/2" MAX RISER
 11" MIN TREAD
 INSIDE DWELLING: 8 1/4" MAX RISER
 10" MIN TREAD

HANDRAILS:
 34" MIN. TO 38" MAXIMUM ABOVE STAIR NOSING,
 BALUSTERS: 4" MAX CLEAR WIDTH

FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 49 STC SOUND
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WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS,

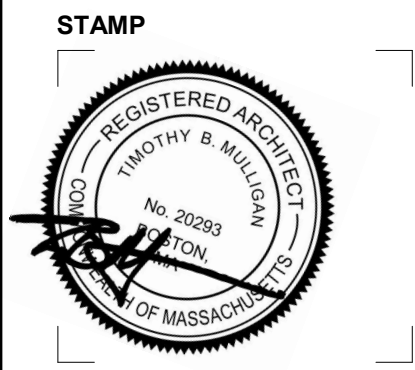
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Approx. Ceiling Weight: 3 psf
 Fire Test: UL R1319-65, 11-16-64
 UL Design, L514
 Sound Test: CK 6512-6, 7, 4-15-85 (80/87 C & P); CK 6512-6, 4-15-85

ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

REVISIONS:

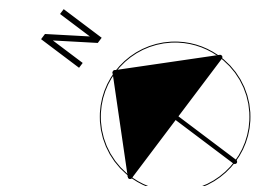
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BASEMENT & 1ST FLOOR PLANS

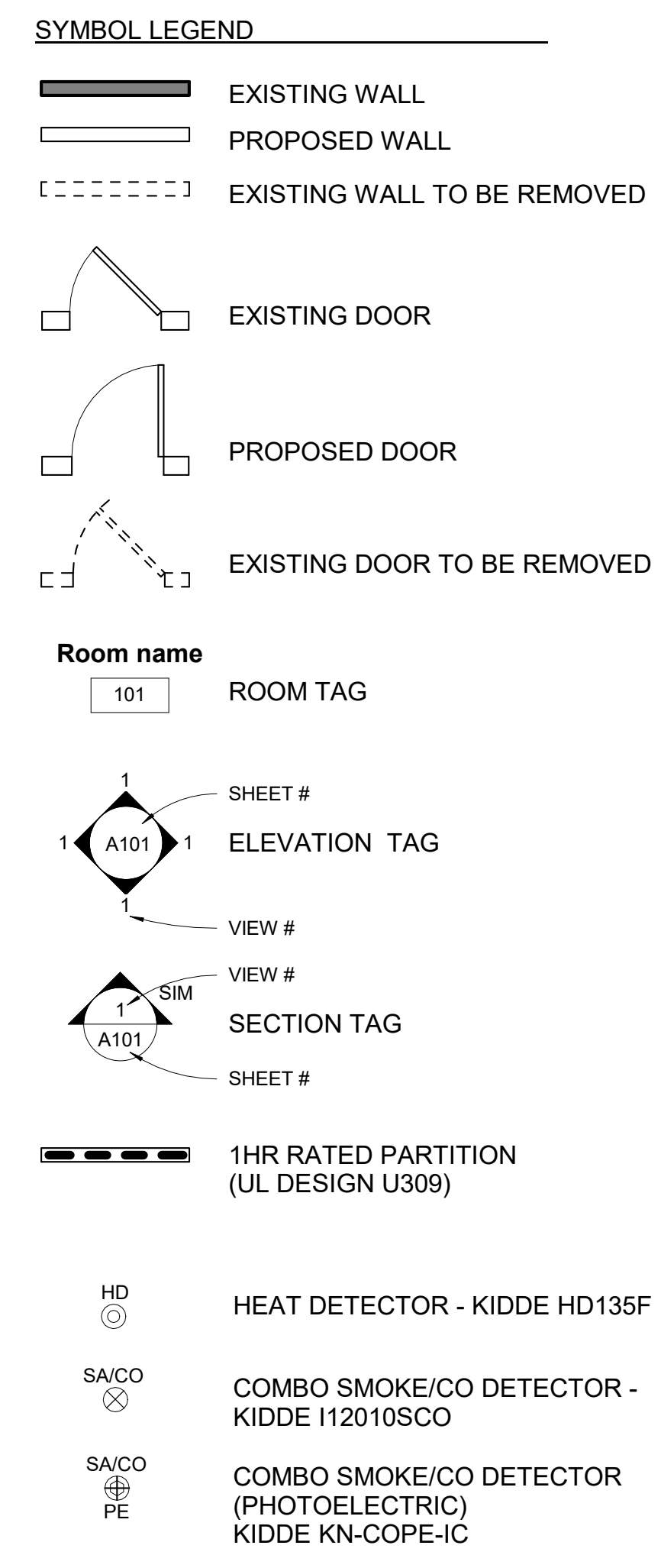
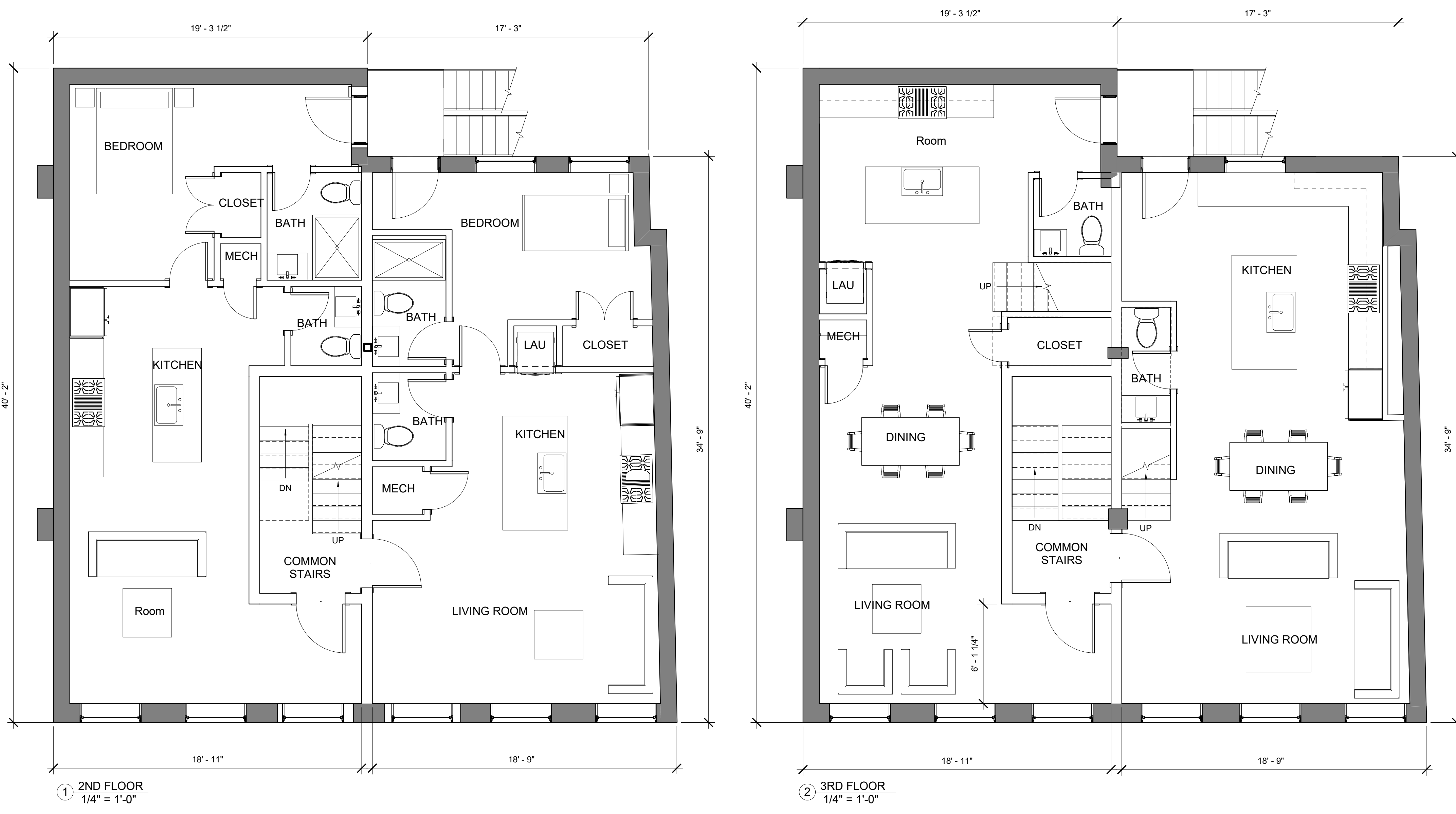


March 6, 2024
 DATE OF ISSUE
 DESIGN REVIEW
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 SCALE
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 PROJECT #

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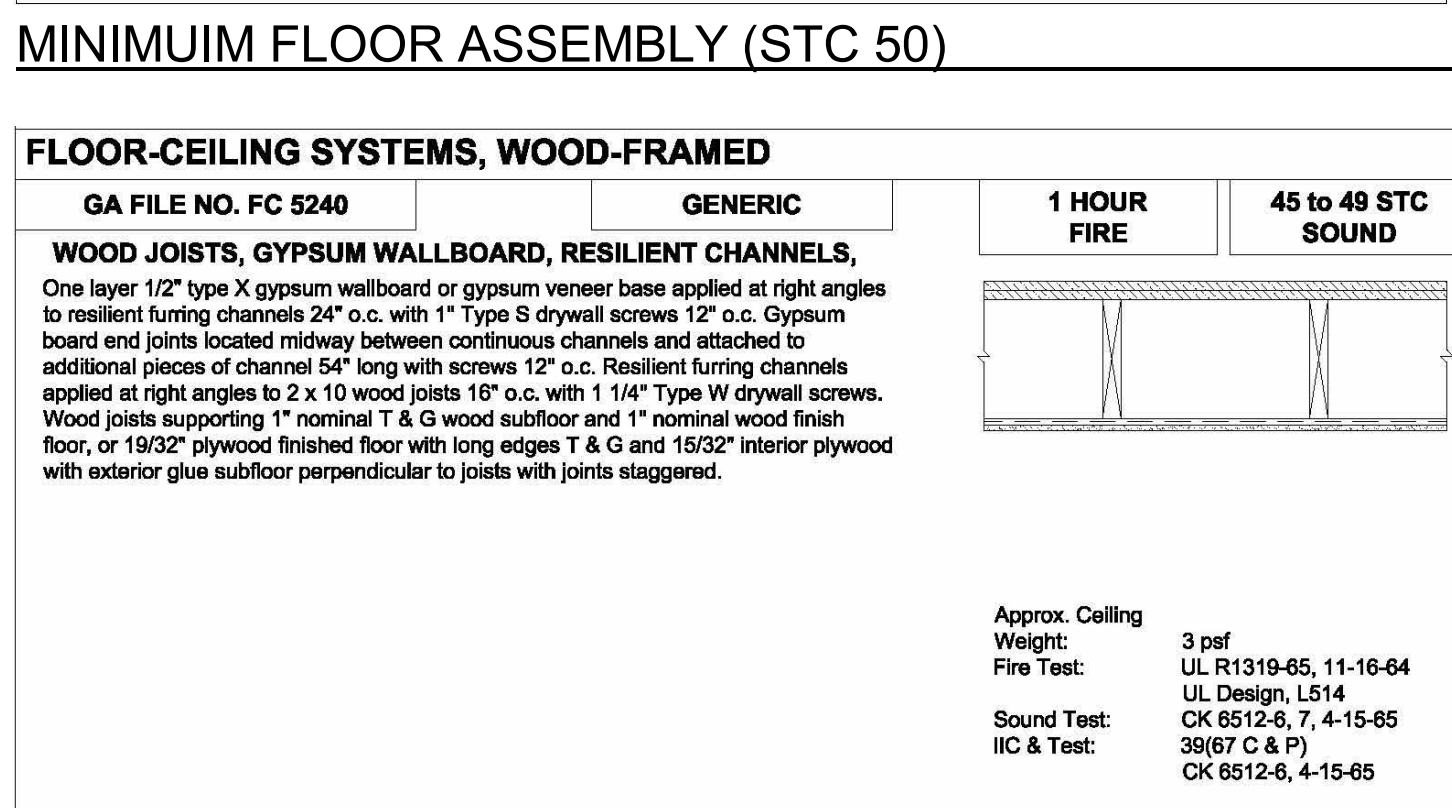
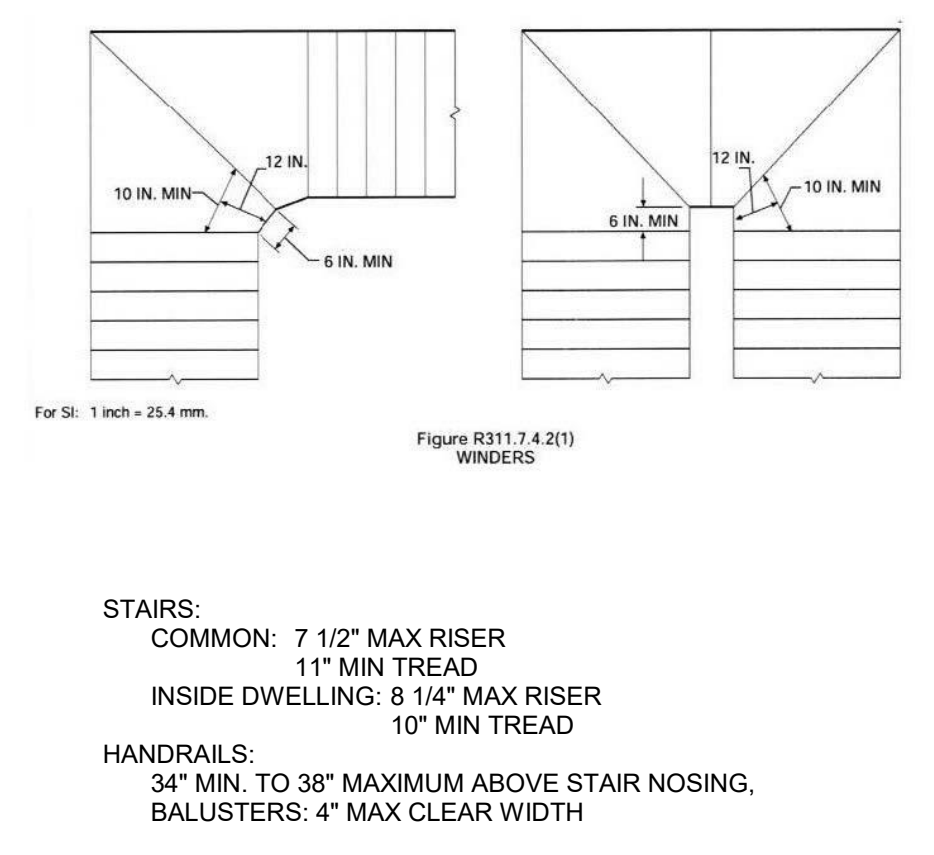
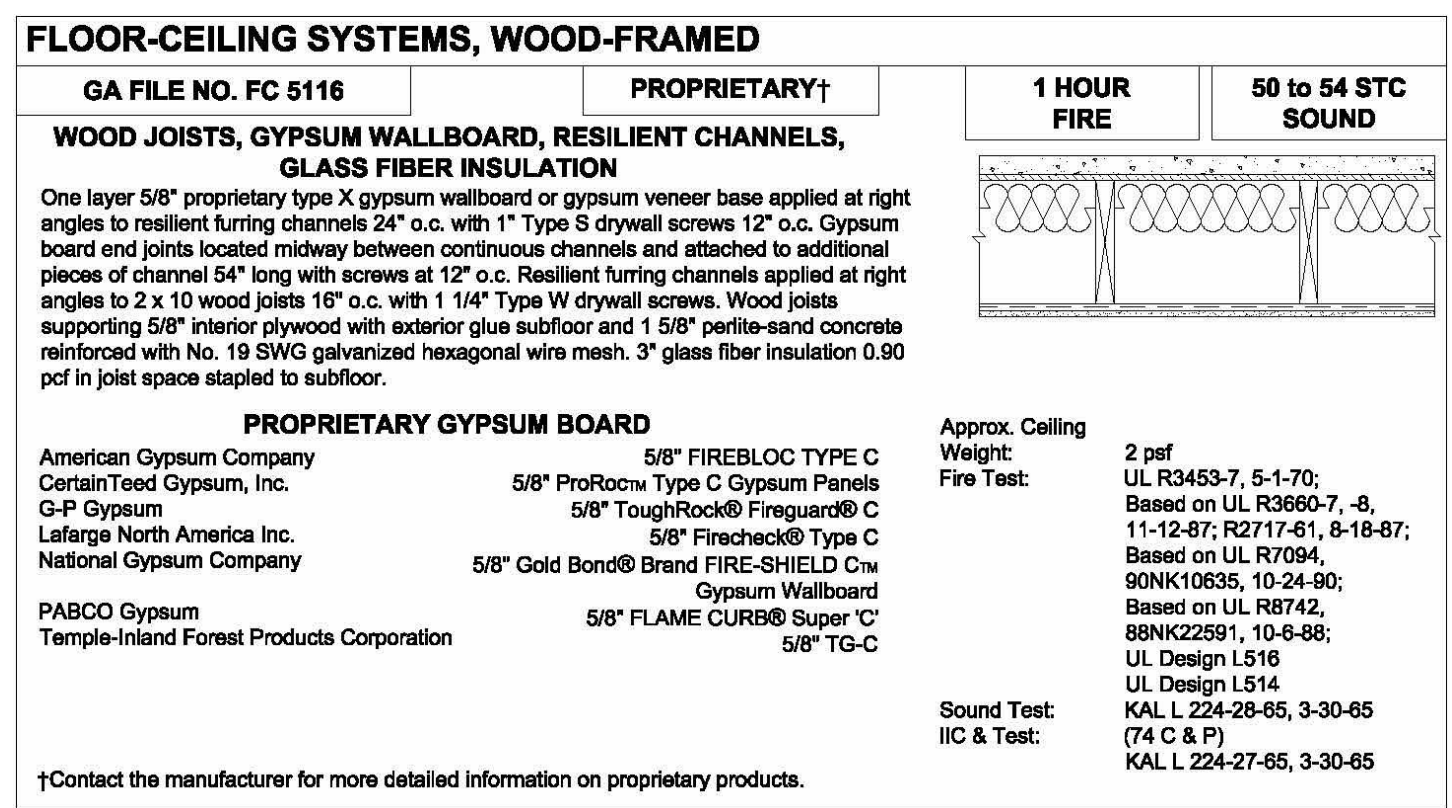
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GENERAL NOTES:

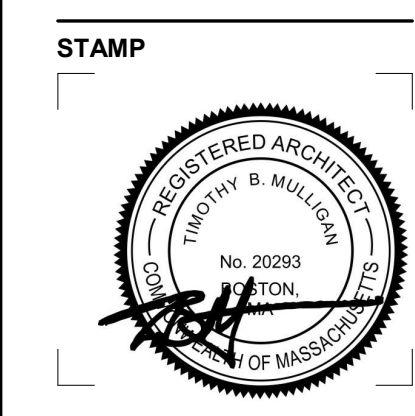
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ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

REVISIONS:

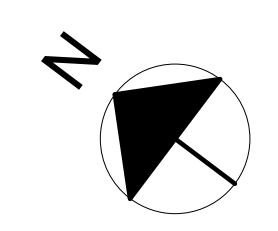
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2ND & 3RD FLOOR PLANS

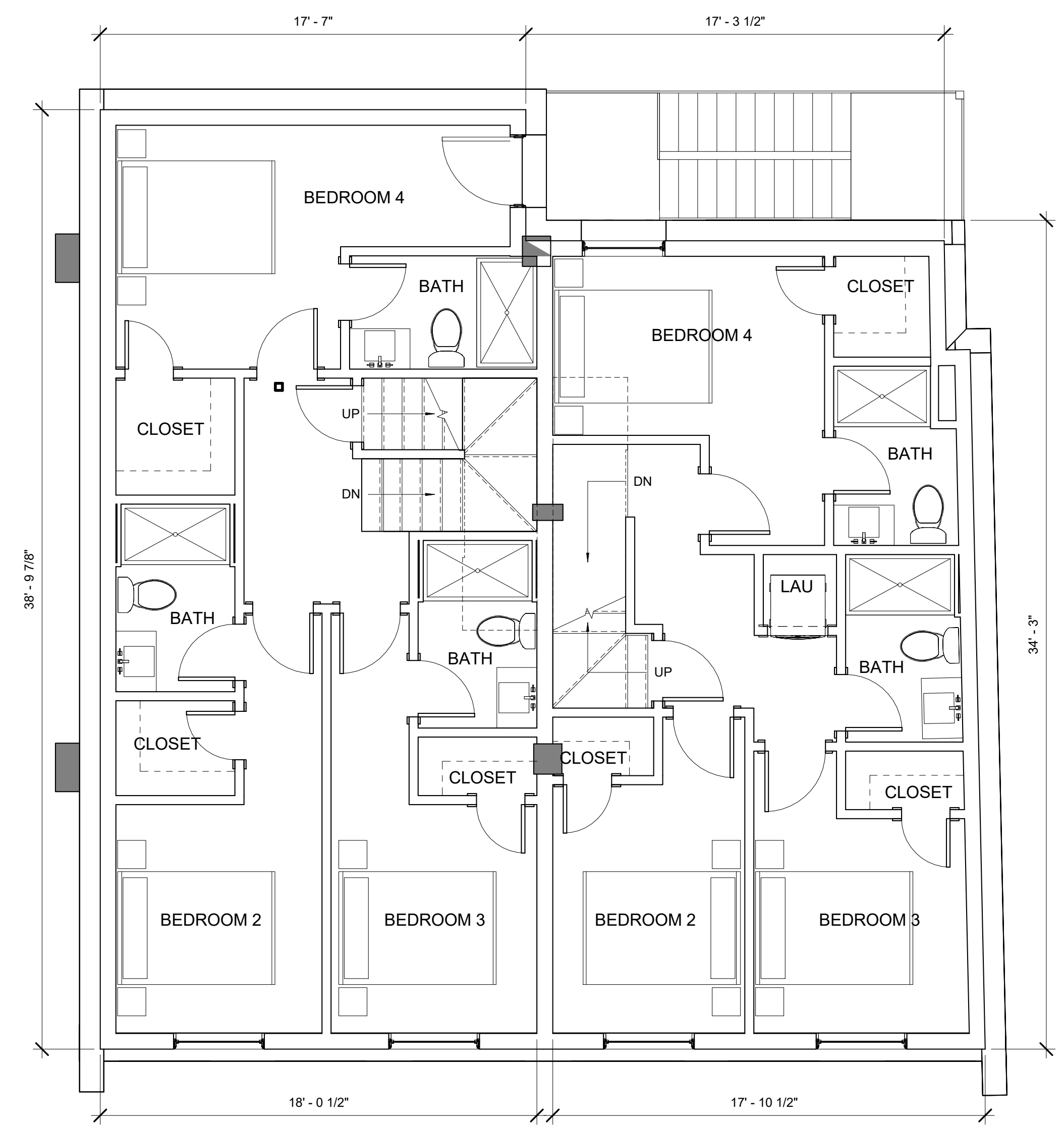


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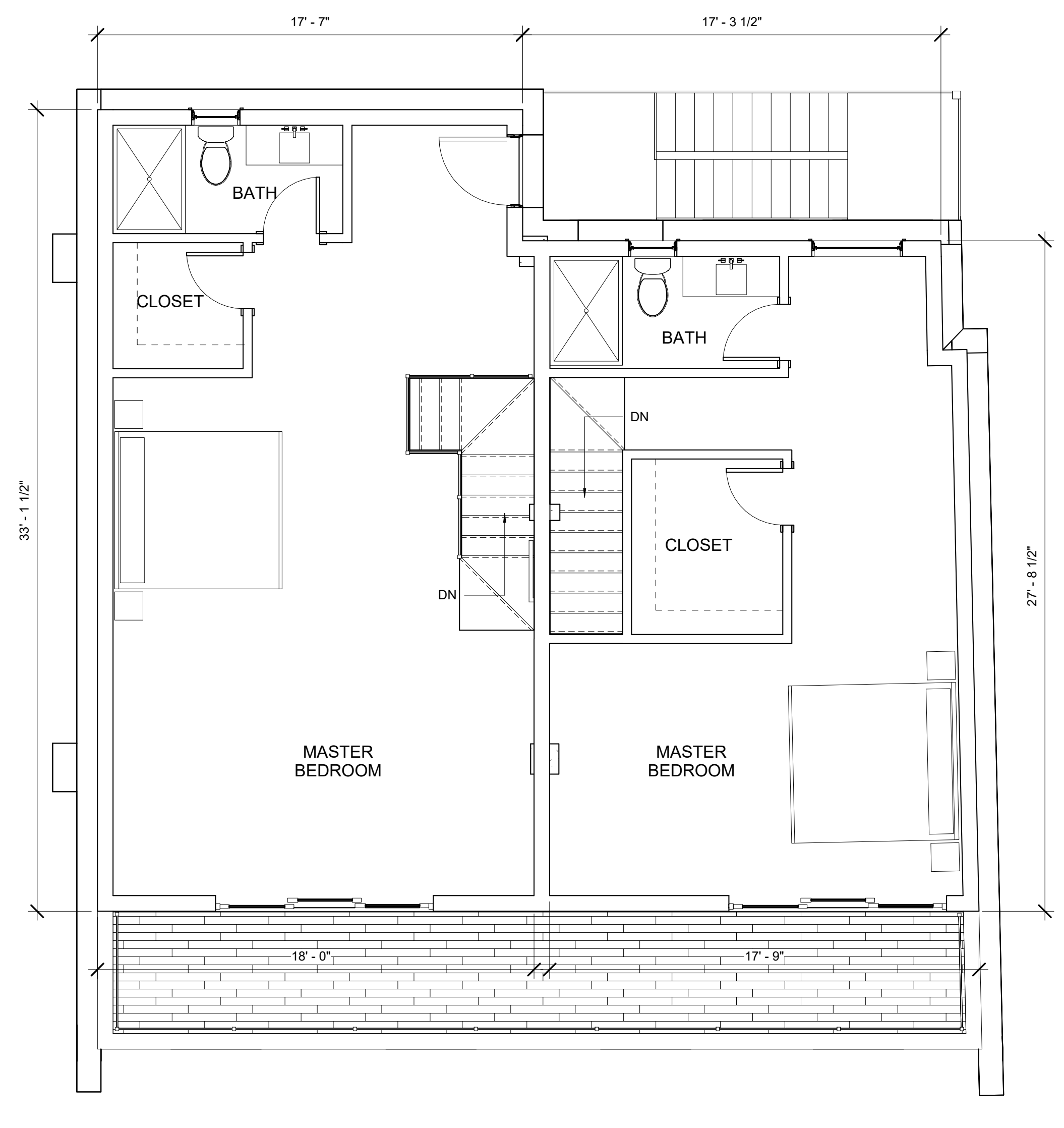
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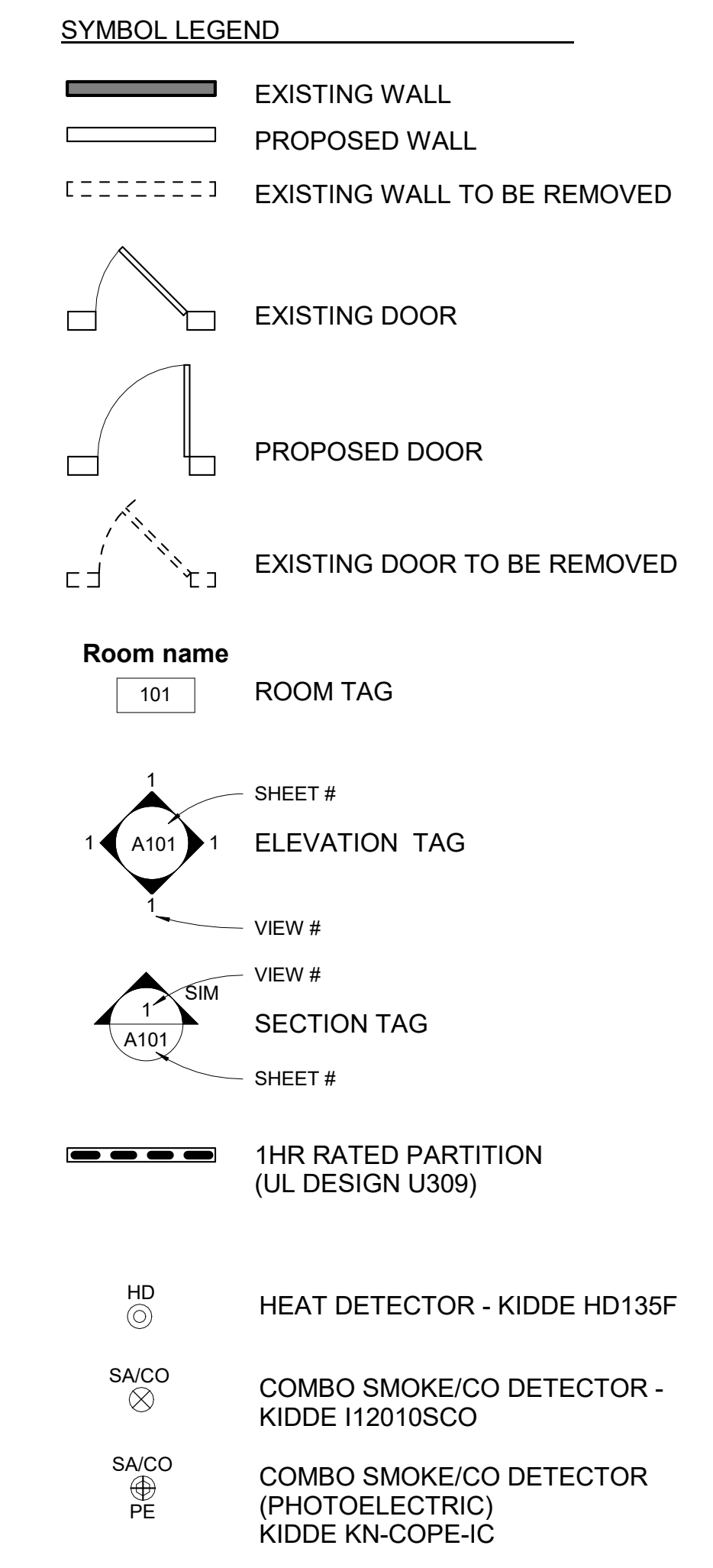




1 4TH FLOOR
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2 5TH FLOOR
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FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5116	PROPRIETARY†	1 HOUR FIRE	50 to 54 STC SOUND
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WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION

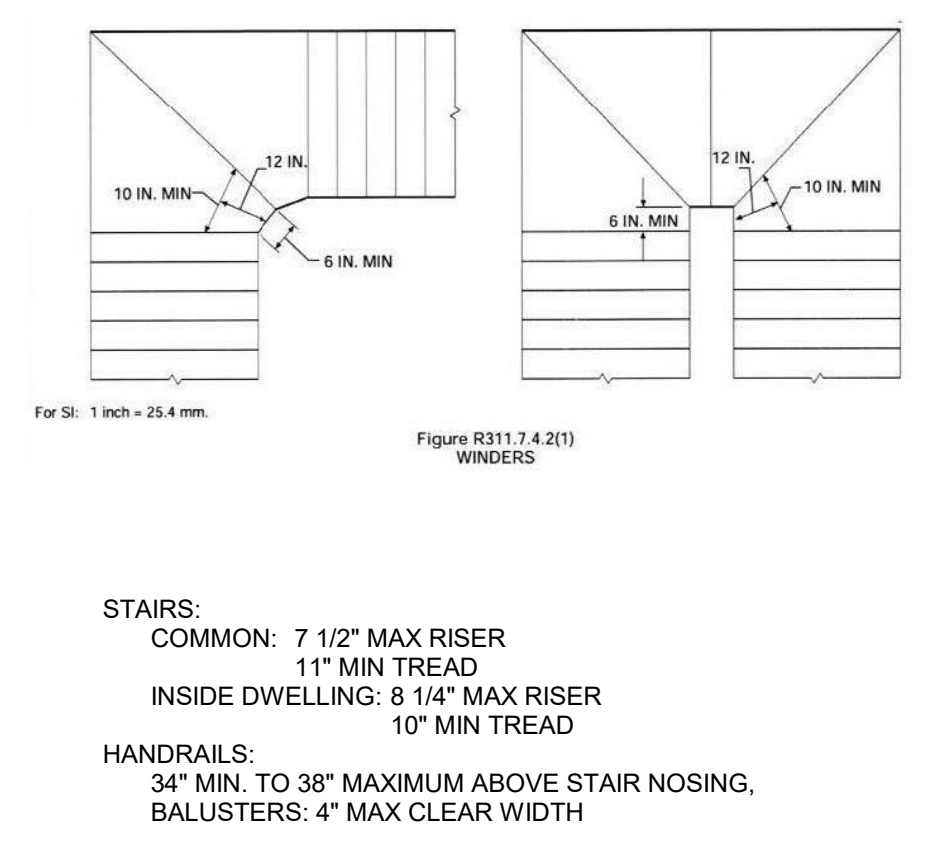
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Approx. Ceiling Weight: 2 pcf
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FLOOR-CEILING SYSTEMS, WOOD-FRAMED

GA FILE NO. FC 5240	GENERIC	1 HOUR FIRE	45 to 49 STC SOUND
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WOOD JOISTS, GYPSUM WALLBOARD, RESILIENT CHANNELS,

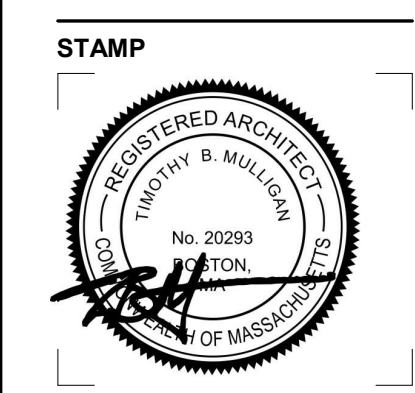
One layer 1/2" type X gypsum wallboard or gypsum veneer base applied at right angles to resilient furring channels 24" o.c. with 1" Type S drywall screws 12" o.c. Gypsum board end joints located midway between continuous channels and attached to additional pieces of channel 54" long with screws 12" o.c. Resilient furring channels applied at right angles to 2 x 10 wood joists 16" o.c. with 1 1/4" Type W drywall screws. Wood joints supporting 1" nominal T & G wood subfloor and 1" nominal wood finish floor, or 19/32" plywood finished floor with long edges T & G and 15/32" interior plywood with exterior glue subfloor perpendicular to joists with joints staggered.

Approx. Ceiling Weight: 3 pcf
 Fire Test: UL R1319-65, 11-16-64
 UL Design, L514
 Sound Test: IIC & Test: CK 6512-6, 7, 4-15-85 (80/87 C & P); CK 6512-6, 4-15-85

ACCEPTABLE FLOOR ASSEMBLY IF FIELD TESTED (STC45)

REVISIONS:

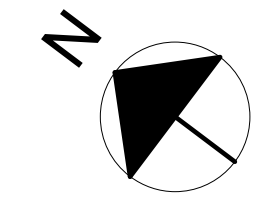
DRAWING TITLE:
4TH & 5TH FLOOR PLANS



March 6, 2024
 DATE OF ISSUE
 DESIGN REVIEW
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2321.00
 PROJECT #

DRAWING NUMBER:

A102

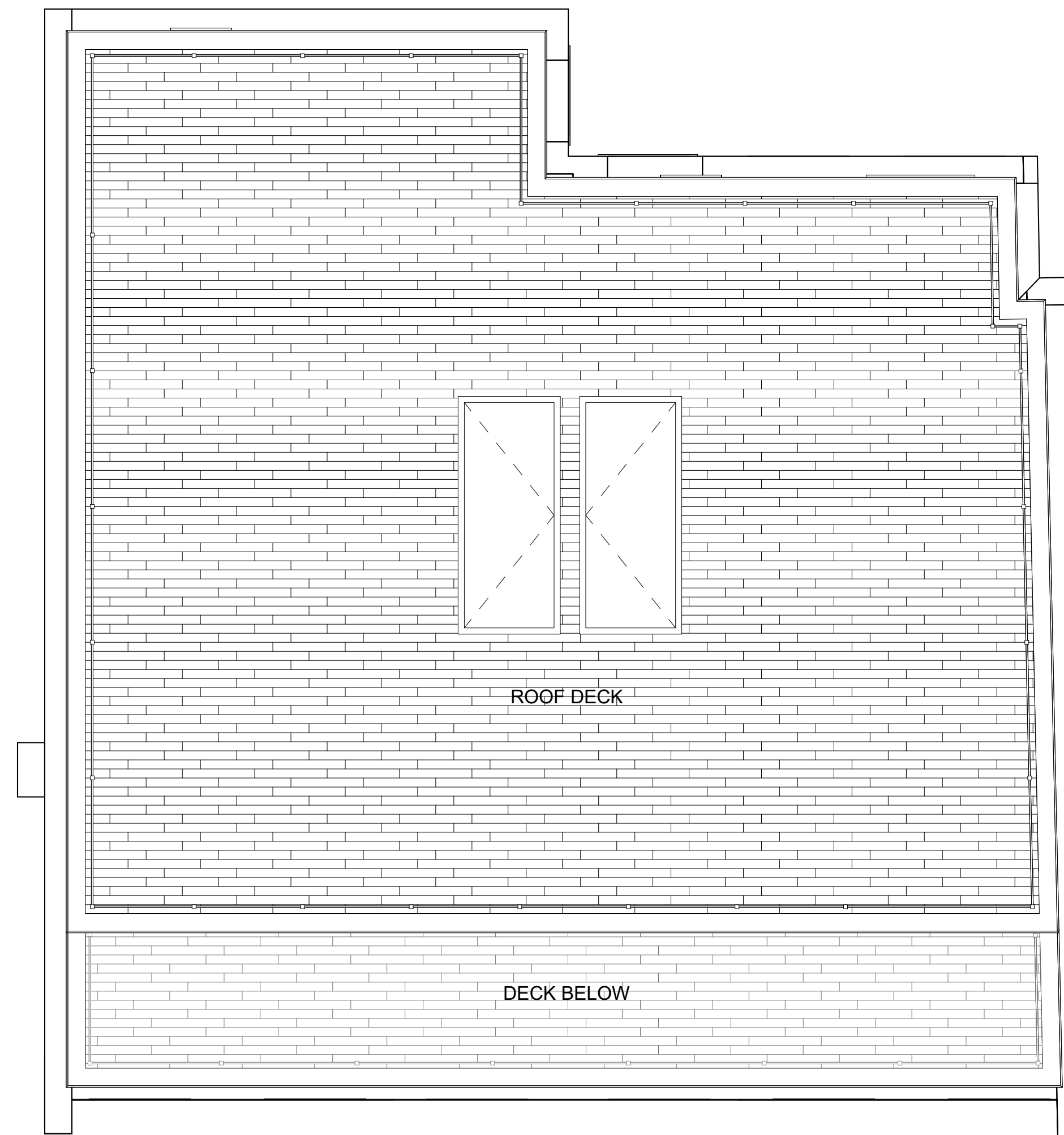


PROJECT: Springfield St Residences

PROJECT:
Springfield St Residences
4-6 E. Springfield
Boston, MA 02118

CLIENT:
River Front Realty
275 Main St
Boston, MA 02129

PROJECT TEAM:



1 ROOF PLAN
1/4" = 1'-0"

REVISIONS:

DRAWING TITLE:
ROOF PLANS

STAMP

March 6, 2024
DATE OF ISSUE

DESIGN REVIEW
DOCUMENT PHASE

1/4" = 1'-0"
SCALE

2321.00
PROJECT #

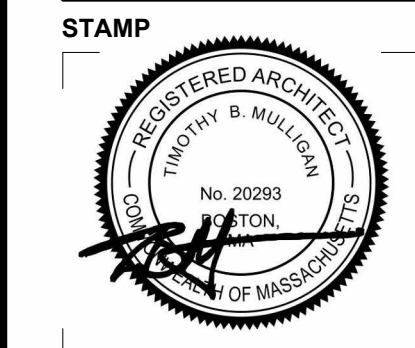
DRAWING NUMBER:

A103

PROJECT: Springfield St Residences

REVISIONS:

DRAWING TITLE:
EXTERIOR ELEVATIONS



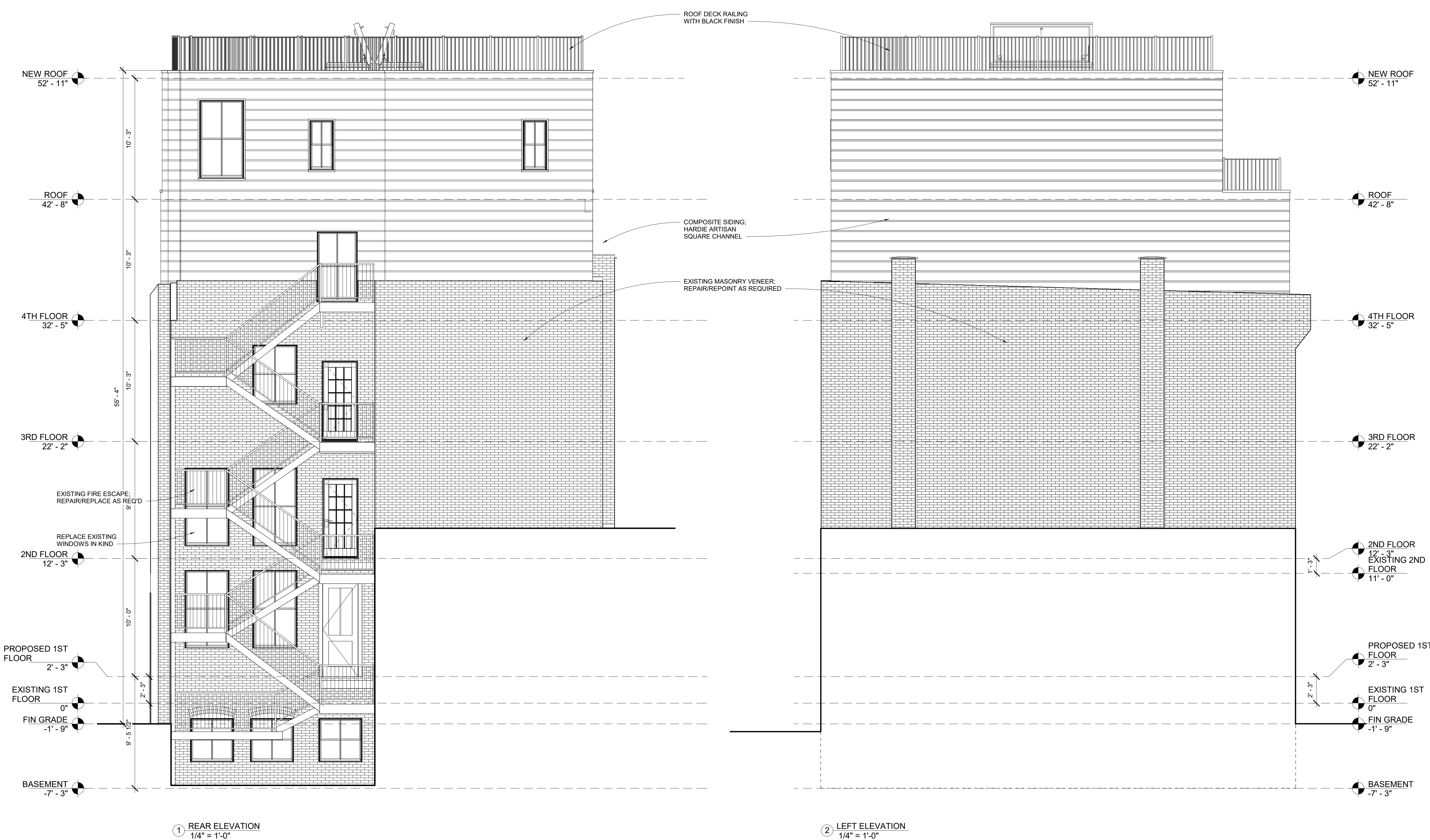
March 6, 2024
 DATE OF ISSUE
 DESIGN REVIEW
 DOCUMENT PHASE
 1/4" = 1'-0"
 SCALE
 2321.00
 PROJECT #

DRAWING NUMBER:

A200



P:\WORKING\2321\2321.dwg 1/23/24 10:00 AM



① REAR ELEVATION
 1/4" = 1'-0"

② LEFT ELEVATION
 1/4" = 1'-0"