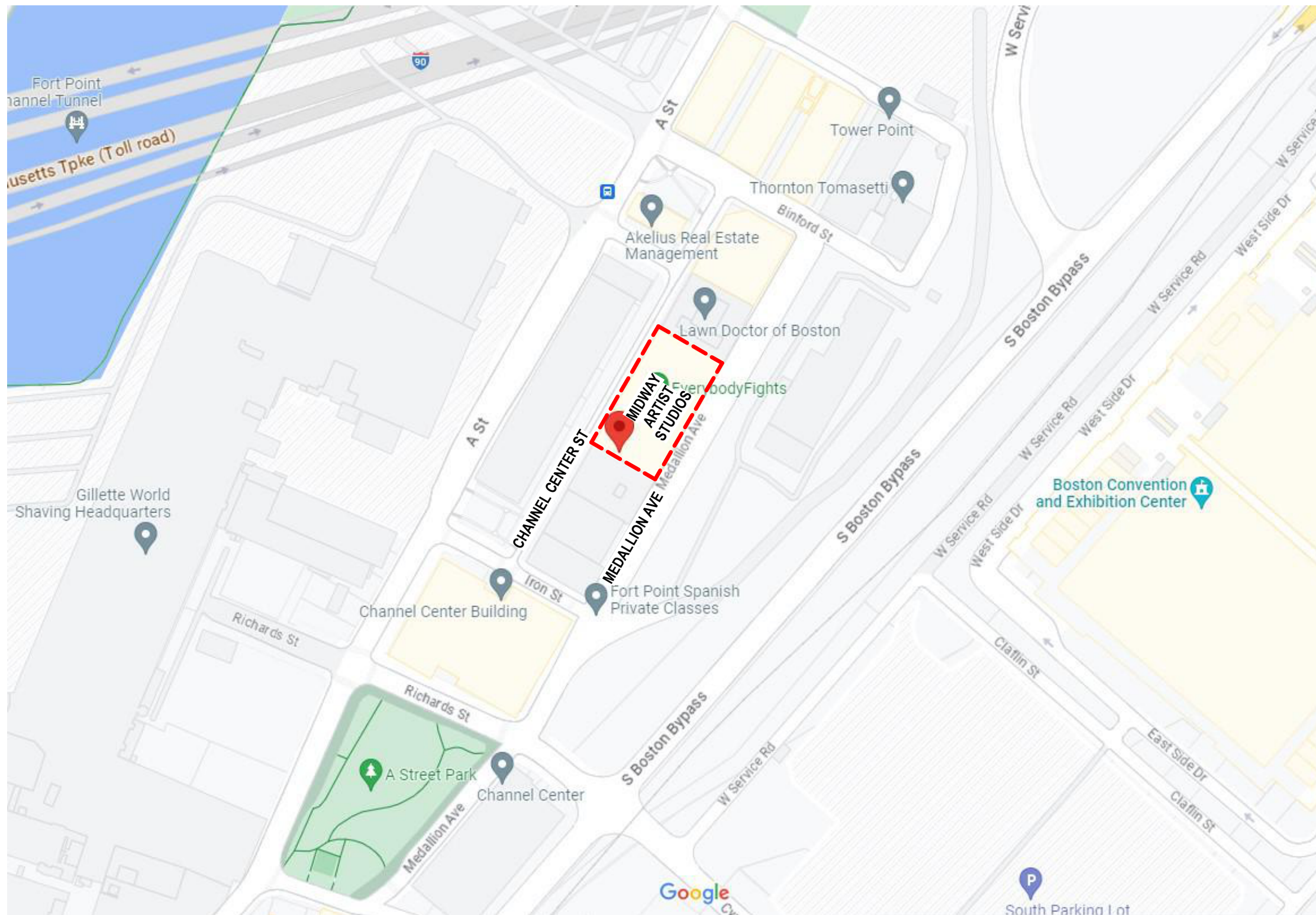


OVERVIEW

15 CHANNEL CENTER ST
BOSTON, MA

MIDWAY ARTIST STUDIOS



MIDWAY ARTIST STUDIOS IS A HISTORIC BUILDING LOCATED AT 15 CHANNEL CENTER ST, BOSTON. THIS BUILDING IS A 6 1/2 FLOOR STRUCTURE BUILT IN THE EARLY 1900S ORIGINALLY DESIGNED FOR MERCANTILE USE AND CONVERTED TO RESIDENTIAL ARTIST STUDIOS IN 2006. THIS BUILDING FEATURES SOLID BRICK MASONRY EXTERIOR WALLS, HEAVY TIMBER GIRDERS AND JOISTS WITH WOOD PLANKS, AND A LOW SLOPE SINGLE-PLY BLACK EPDM MEMBRANE ROOF ASSEMBLY. THE EXTERIOR BRICK WYTHE DISPLAYS A COMMON BOND WITH FLEMISH HEADERS EVERY 8TH COURSE, AND THE FENESTRATIONS ARE TYPICALLY PUNCHED WINDOWS WITH DOUBLE-HUNG ALUMINUM WINDOW SYSTEMS, LIMESTONE SILLS AND STEEL ANGLE LINTELS.

THE BUILDING IS BOUNDED BY CHANNEL CENTER STREET ON THE WEST ELEVATION, MEDALLION AVE ON THE EAST ELEVATION, AND ADJACENT SOLID BRICK MASONRY BUILDINGS ON THE NORTH AND SOUTH ELEVATIONS.

OVERVIEW



BACK ELEVATION - MEDALLION AVE

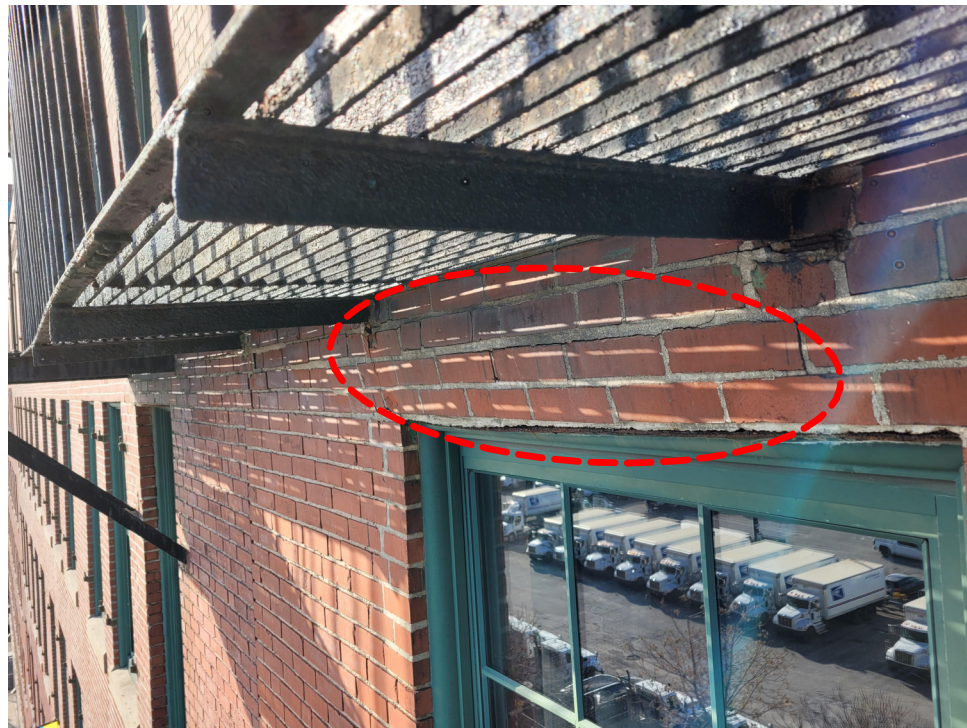


BACK ELEVATION - MEDALLION AVE
EXISTING FIRE ESCAPE A (BETWEEN COLUMN LINES 5 AND 6)
SEE SHEET A-202



BACK ELEVATION - MEDALLION AVE
EXISTING FIRE ESCAPE B (BETWEEN COLUMN LINES 9 AND 10)
SEE SHEET A-203

A RECENT SURVEY CONDUCTED THIS YEAR THAT FOCUSED EXTENSIVELY ON THE REAR FACADE WAS PERFORMED DUE TO MULTIPLE DEFICIENCIES IDENTIFIED IN THE MASONRY WALL SURROUNDING THE TWO EXISTING FIRE ESCAPES. THESE FIRE ESCAPES, IN THEIR RUSTED STATE, APPEAR TO BE NEGATIVELY IMPACTING THE MASONRY WALL'S INTEGRITY. MOREOVER, THEY ARE IMPEDING THE NATURAL FLOW OF RAINWATER, EXACERBATING THE DETERIORATION OF THE MASONRY WALL



BULGING BRICK AROUND THE WINDOW LINTEL. PORTION OF THE FIRE ESCAPE LANDING IS BEING SUPPORTED BY THIS DETERIORATED SOLID MASONRY WALL AREA.



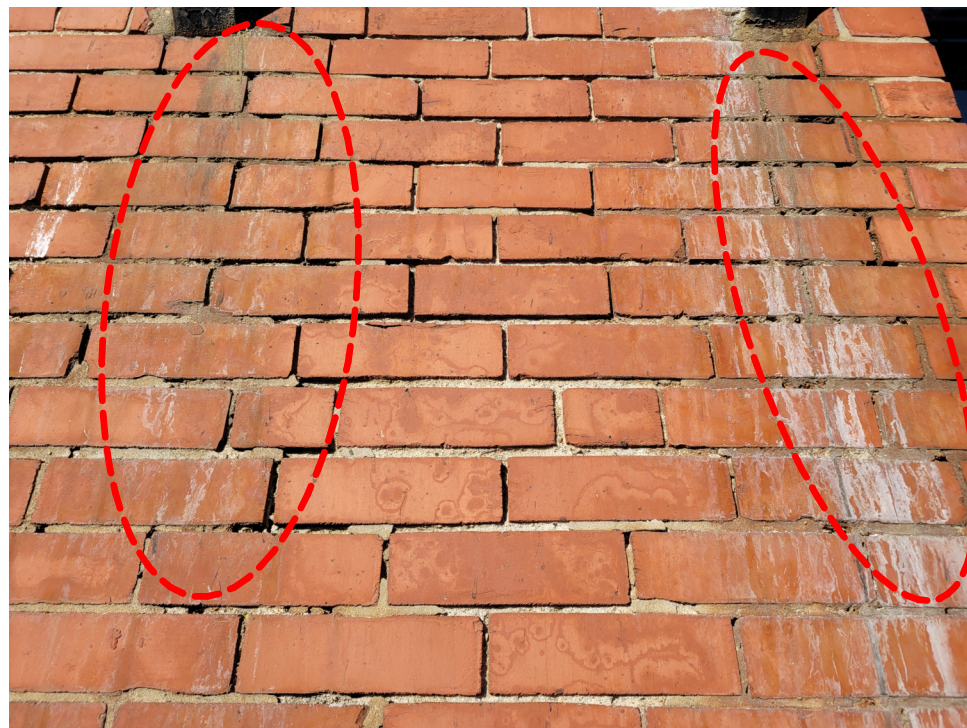
BRICK DISPLACEMENT AROUND THE WINDOW LINTEL. PORTION OF THE FIRE ESCAPE LANDING IS BEING SUPPORTED BY THIS DETERIORATED SOLID MASONRY WALL AREA.



SIGNIFICANT MOVEMENT OF THE BRICK AROUND THE WINDOW LINTEL. PORTION OF THE FIRE ESCAPE LANDING IS BEING SUPPORTED BY THIS DETERIORATED SOLID MASONRY WALL AREA.

THESE REPRESENT THE MORE SEVERE DAMAGES THAT ARE OCCURRING AROUND THE FIRE ESCAPES. THERE HAS BEEN A SIGNIFICANT DISPLACEMENT OF THE OUTER BRICK WITH THE ABOVE ONE WINDOW SITUATED BENEATH ONE OF THE EXISTING FIRE ESCAPES, RESULTING IN THE DISLODGEMENT OF SIZEABLE MORTAR JOINT SECTIONS FROM THE WALL. THIS ISSUE IS MIRRORED IN THE ADJACENT TWO WINDOWS, WHERE SIMILAR MASONRY DETERIORATION AND DISPLACEMENT ARE EVIDENT.

* FOR REPAIR DETAILS AND SPECIFICATIONS ON MATERIALS, SEE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.



THESE PHOTOS ALSO DEPICT ADDITIONAL DAMAGES OCCURRING ON THE MASONRY WALL SURROUNDING THE FIRE ESCAPES. MULTIPLE CRACKS HAVE BEEN OBSERVED, PRIMARILY ATTRIBUTED TO THE DETERIORATED CONDITION OF THE FIRE ESCAPE COMPONENTS. THESE IMAGES ALSO REVEAL STAINS RESULTING FROM WATER RUNOFF ON THE WALLS FROM THE FIRE ESCAPES, SHOWCASING THE ADVERSE IMPACT ON THE DURABILITY OF BOTH THE MASONRY AND MORTAR JOINTS

FOR REPAIR DETAILS AND SPECIFICATIONS ON MATERIALS, SEE CONTRUTION DRAWINGS AND SPECIFICATIONS. ALL MATERIALS WILL MATCH EXISTING.



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EXISTING CONDITION PHOTOS

Sheet Number: P-004
 Project Number: 22096
 Date: 10/6/2023



MIDWAY ARTIST STUDIOS IS SEEKING APPROVAL FOR THE REMOVAL OF THE TWO EXISTING FIRE ESCAPES. THIS DECISION IS PROMPTED BY CONCERNS REGARDING THE DECAY OF THE SOLID MASONRY WALLS. THESE FIRE ESCAPES ARE NOT CURRENTLY IN USED AND ARE SOLELY ORNAMENTAL AS OTHER MEANS OF EGRESS WERE PROVIDED DURING THE CONVERSION INTO ARTIST STUDIOS. IN ADDITION, MIDWAY STUDIO IS PLANNING ON REPAIRING ALL THE MASONRY DAMAGES ASSOCIATED TO THE FIRE ESCAPES. PLEASE SEE THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS.

THE FIRE ESCAPES ARE INTENDED TO BE REMOVED AND STORED AS FOLLOWING UNTIL THE REMOVAL OF THE FIRE ESCAPES IS APPROVED BY THE LANDMARKS COMMISSION:

- RECORD DRAWING OF THE EXISTING CONDITION WILL BE CREATED BY THE CONTRACTOR WITH ID TAGS.
- ALL EXISTING COMPONENTS WILL BE TAGGED.
- FIRE ESCAPES TO BE REMOVED, DISASSEMBLED, AND BROUGHT TO THE SHOP. SOME COMPONENTS OF THE FIRE ESCAPE MAY NEED TO BE CUT INTO SECTIONS SMALL ENOUGH TO BE TRANSPORTED.

THE FIRE ESCAPES WILL BE STORED AT:
 BOSTON FORGING & WELDING, INC.
 400 BORDER ST
 BOSTON MA 02128

OVERVIEW



PLEASE NOTE THAT MIDWAY ARTIST STUDIOS OPERATES AS AN AFFORDABLE LIVE-WORK RENTAL STUDIO FOR ARTISTS. WHILE THE BOARD IS COMMITTED TO MAINTAINING THE BUILDING'S CONDITION, BUDGET CONSTRAINTS MAY LIMIT THEIR CAPACITY TO CONTINUOUSLY ADDRESS FIRE ESCAPE MAINTENANCE.

MIDWAY ARTIST STUDIOS IS INTENDING TO DO THE WORK IN 2 PHASES:

PHASE 1 (OCTOBER 10, 2023):

- REMOVAL OF FIRE ESCAPE A
- EMERGENCY REPAIR SHOWN ON P-003
- CORNICE REPAIR (SEE CONSTRUCTION DRAWINGS)

PHASE 2 (MARCH 2024):

- REMOVAL OF FIRE ESCAPE B
- REMAINDER OF MISCELLANEOUS MASONRY REPAIRS (SEE CONSTRUCTION DRAWINGS)

CONSTRUCTION DRAWINGS

15 CHANNEL CENTER ST
BOSTON, MA

MIDWAY ARTIST STUDIOS

EXTERIOR WALL REPAIRS MIDWAY ARTIST STUDIOS

15 CHANNEL CENTER ST, BOSTON, MA

CONSTRUCTION DRAWINGS

09/20/2023



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OWNER
**MIDWAY ARTIST
STUDIOS**

PROJECT TITLE
**EXTERIOR WALL
REPAIRS**

15 CHANNEL CENTER
ST BOSTON, MA

DRAWING TITLE
COVER SHEET

1	9/7/2023	BULLETIN 1
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REV.	DATE	REMARK
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PROJECT NO: 22096
DRAWN BY: AS
CHECKED BY: LR
SCALE:
DATE: 04/19/23
FILE NAME: M:\2022\22096 - Midway Artists
Studio\22096 - BET Revit\22096 -
East Elevation and Details -
Landmarks - 2023-09-20.rvt

DRAWING NUMBER
A-000

DRAWING LIST				
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION	CURRENT REVISION DATE
A-000	COVER SHEET	04/19/23	1	9/7/2023
A-200	EXISTING EAST ELEVATION - FACADE REPAIRS	04/19/23	1	9/7/2023
A-201	PROPOSED EAST ELEVATION	09/20/23	1	9/7/2023
A-202	PARTIAL EAST ELEVATION - FACADE REPAIRS	04/19/23	1	9/7/2023
A-203	PARTIAL EAST ELEVATIONS - FACADE REPAIRS	04/19/23		
A-301	MASONRY REPAIR DETAILS	04/19/23		
A-302	MASONRY REPAIR DETAILS	04/19/23		
A-303	MASONRY REPAIR DETAILS	04/19/23		

OWNER

MIDWAY ARTIST
 STUDIOS

PROJECT TITLE

EXTERIOR WALL
 REPAIRS

15 CHANNEL CENTER
 ST BOSTON, MA

DRAWING TITLE

EXISTING EAST
 ELEVATION -
 FACADE REPAIRS

1	9/7/2023	BULLETIN 1
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REV.	DATE	REMARK

PROJECT NO: 22096

DRAWN BY: KM /AS

CHECKED BY: LR

SCALE: As indicated

DATE: 04/19/23

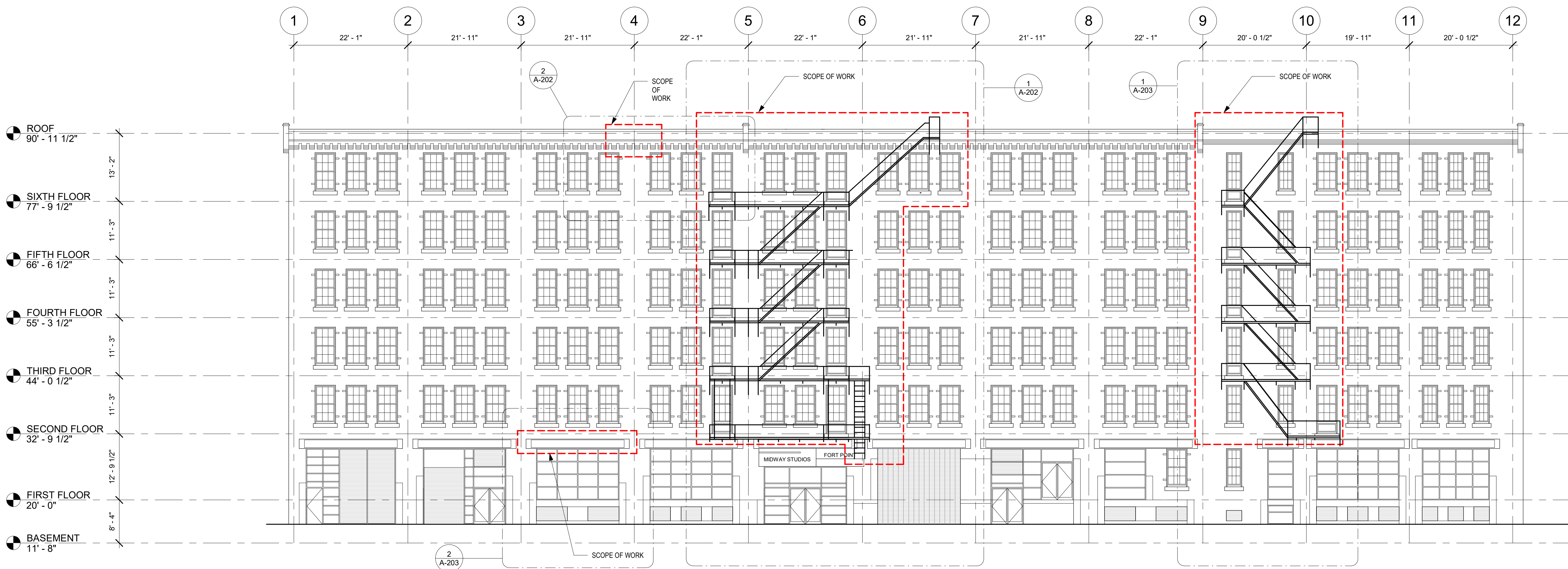
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 Studio\22096 - BET Revit\22096 -
 East Elevation and Details -
 Landmarks - 2023-09-20.rvt

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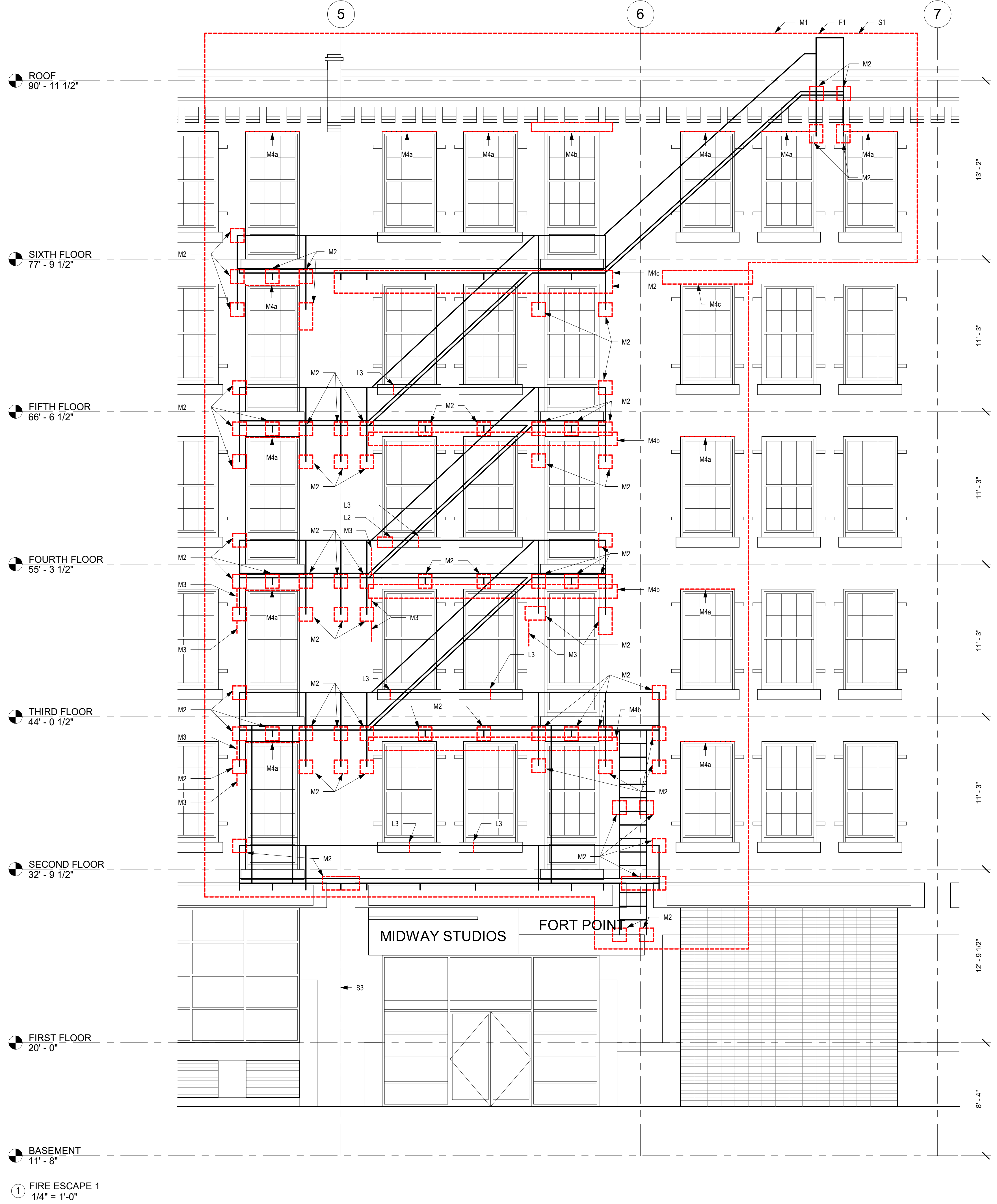
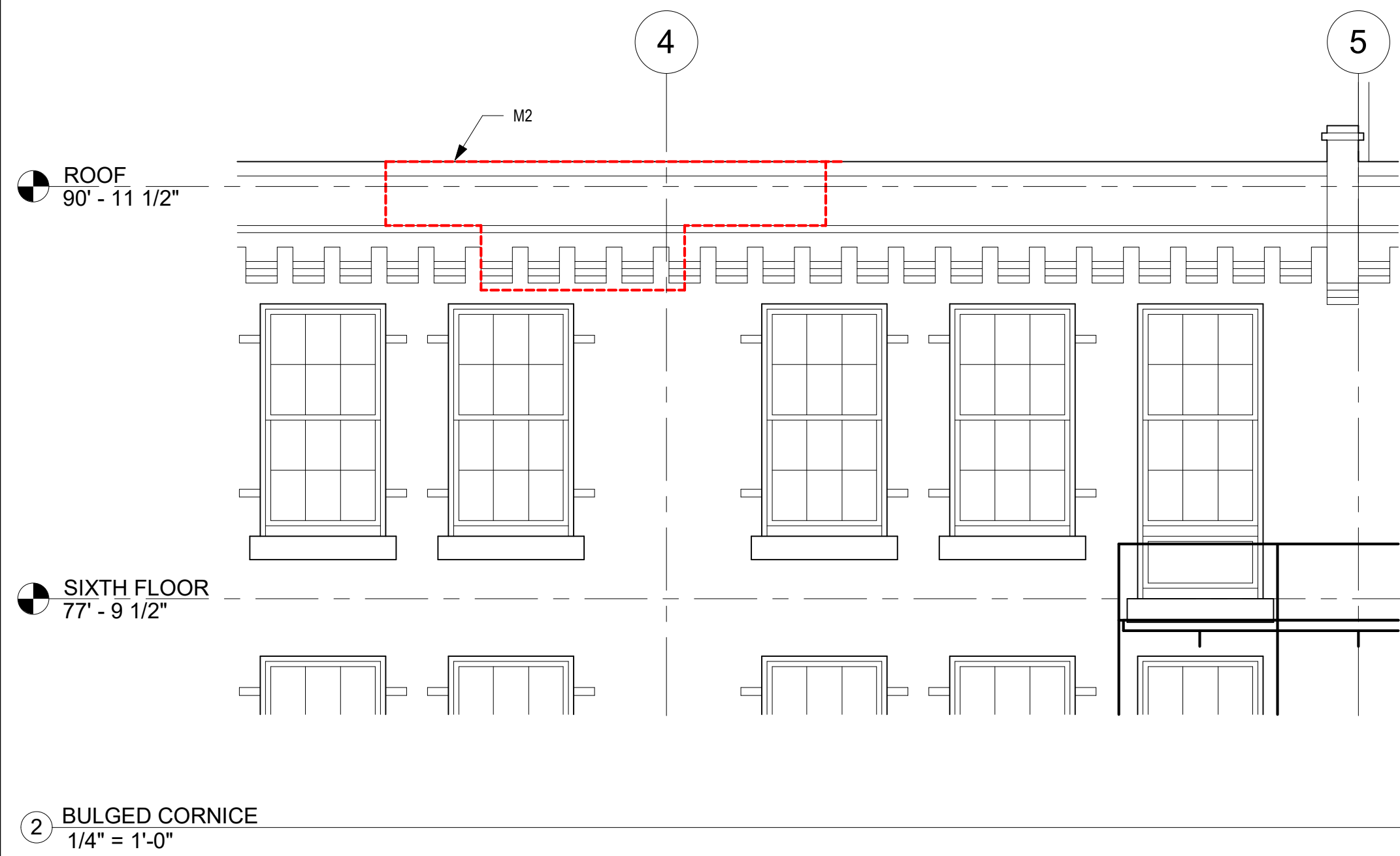
A-200

GENERAL NOTES:

- CONTRACTOR IS TO OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCING WORK.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE DESIGNER PRIOR TO COMMENCING CONSTRUCTION.
- SCOPE OF WORK AREA SHOWN ON THESE DRAWINGS ARE APPROXIMATE. EXACT AREAS AND DIMENSIONS OF EXISTING ELEMENTS AND EXTENT OF REPAIRS TO BE VERIFIED IN FIELD.
- CONTRACTOR TO PERFORM ALL WORK IN A PROPER, SAFE, EXPEDITIOUS, WORKMANLIKE MANNER, AND IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND MUNICIPAL LAWS, CODES AND REGULATIONS.
- CONTRACTOR TO PROTECT ALL OF THE EXISTING CONSTRUCTION TO REMAIN AND PROVIDE PROTECTION AS NECESSARY TO MINIMIZE ANY DAMAGE.
- CLEAN/PRESSURE WASH MASONRY WALL. WALL IS TO BE THOROUGHLY CLEANED PRIOR TO IDENTIFYING AND COMPLETING REPAIRS.
- MORE SPALLS AND CRACKS ON MASONRY WALL WILL BE FOUND AFTER CLEANING AND FIRE ESCAPE REMOVAL. PROVIDE A 50% INCREASE IN ALLOWANCE FOR UNFORESEEN DETERIORATIONS.
- PROVIDE UNIT PRICING FOR ALL ITEMS SHOWN ON WORK NOTES



EXISTING EAST ELEVATION -
 MEDALLION AVE
 1/32" = 1'-0"



WORK NOTES:

FIRE ESCAPE:

F1 - FIRE ESCAPE TO BE REMOVED AND DISPOSED OF.

BRICK MASONRY:

M1 - MASONRY REPOINTING: 100% REPOINT OF THE MORTAR JOINTS IN THE INDICATED AREA. (SEE DETAIL 2/A-301)

M2 - DISASSEMBLE AND RECONSTRUCT THE MASONRY IN THE AREA INDICATED. THIS REPAIR IS DUE TO BRICK MOVING OUT OF PLACE OR REMOVAL OF FIRE ESCAPE SUPPORTS (SEE DETAILS 3 AND 4 / A-301)

M3 - BRICK CRACKS: REPLACE CRACKED MASONRY. REPOINT SURROUNDING MORTAR JOINTS WITHIN 1'-0" OF THE UNITS REPLACED. (SEE DETAILS 1 AND 2 / A-302)

M4a - WINDOW LINTEL COATING: UNDERSIDE OF LINTEL (EXPOSED AREA) TO BE PREPARED AND COATED.

M4b - WINDOW LINTEL REPAIR: PRIOR TO UNCOVERING THE ENTIRE LINTEL, A TEST CUT IS TO BE PERFORMED AT EACH CORNER TO REVIEW THE LINTEL CONDITION:
 - IF LINTEL IS OBSERVED TO BE SIGNIFICANTLY RUSTED, THE ENTIRE LINTEL SHOULD BE EXPOSED, AND THE LINTEL SHOULD BE CLEANED, PREPARED AND COATED. MEMBRANE FLASHING, AND COPPER FABRIC FLASHING WITH END DAMS SHOULD BE PROVIDED. (SIMILAR TO DETAIL 1/A-301 BUT EXISTING LINTEL TO REMAIN).
 - IF LINTEL IS OBSERVED TO BE IN ACCEPTABLE CONDITION, LINTEL TO BE PREPARED AND COATED ON EXPOSED AREAS.
 FOR PRICING EFFORTS, ASSUME THE ENTIRE LINTEL WILL BE PREPARED AND COATED AND COPPER FABRIC FLASHING INSTALLED.

M4c - WINDOW LINTEL REPLACEMENT: REMOVE AND REPLACE THE EXISTING STEEL LINTEL, PROVIDE GALVANIZED STEEL LINTEL, MEMBRANE FLASHING, AND COPPER FLASHING WITH END DAMS. (SEE DETAIL 1/A-301)

M5 - MORTAR JOINT AT CAST IRON SPANDREL PERIMETER: MORTAR JOINT TO BE REMOVED AND REPLACED. METAL FLASHING TO BE PROVIDED. (SEE DETAILS 2/A-302 AND 3/A-301)

LIMESTONE SILL:

L1 - LIMESTONE SPALL REPAIR: CUT BACK DETERIORATED PORTION OF LIMESTONE SILL. PROVIDE STEEL REINFORCING AS NEEDED AND PATCH WITH REPAIR MORTAR. REPAIR AREA TO MATCH ORIGINAL PROFILE, COLOR AND TEXTURE. (SEE DETAIL 1/A-303)

L2 - REPLACE INDICATED PORTION OF EXISTING LIMESTONE SILL. PROFILE TO MATCH ORIGINAL SHAPE, COLOR AND TEXTURE.

L3 - LIMESTONE TRANSVERSE CRACKS: ROUT SURFACE OF CRACK, INSTALL INJECTION PORTS, SEAL BETWEEN PORTS, INJECT EPOXY TO FILL CRACK, REMOVE PORTS AND SEALANT, REROUT CRACK AND PATCH WITH REPAIR MORTAR. (SEE DETAILS 3 AND 4 / A-302)

SEALANT:

S1 - SEALANT REPLACEMENT AT WINDOW PERIMETER: PREPARE AND REPLACE BACKER ROD AND SEALANT.

S2 - (SEE UNIT PRICE SCHEDULE ON SPECIFICATIONS)

S3 - SEALANT REPLACEMENT AT ENTIRE CONTROL JOINT: PREPARE AND REPLACE BACKER ROD AND SEALANT.

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OWNER
 MIDWAY ARTIST
 STUDIOS

PROJECT TITLE
 EXTERIOR WALL
 REPAIRS
 15 CHANNEL CENTER
 ST BOSTON, MA

DRAWING TITLE
 PARTIAL EAST
 ELEVATION -
 FACADE REPAIRS

1	9/7/2023	BULLETIN 1
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REV.	DATE	REMARK
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DRAWN BY:	AS
CHECKED BY:	LR
SCALE:	1/4" = 1'-0"
DATE:	04/19/23
FILE NAME:	M:\2022\22096 - Midway Artists Studio\22096 - BET Revit\22096 - East Elevation and Details - Landmarks - 2023-09-20.rvt
DRAWING NUMBER	

A-202

OWNER
 MIDWAY ARTIST
 STUDIOS

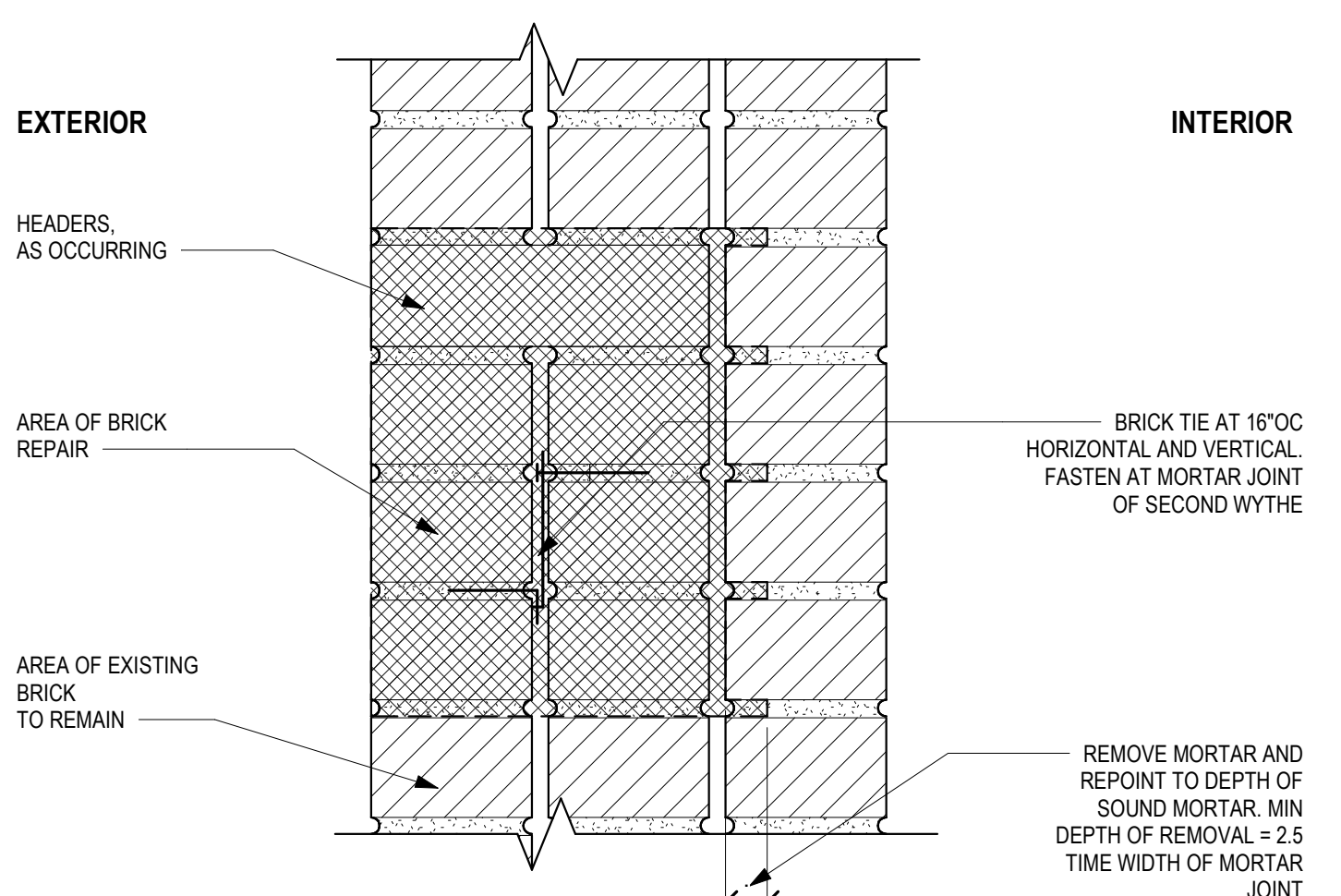
PROJECT TITLE
 EXTERIOR WALL
 REPAIRS

15 CHANNEL CENTER
 ST BOSTON, MA

DRAWING TITLE
 MASONRY REPAIR
 DETAILS

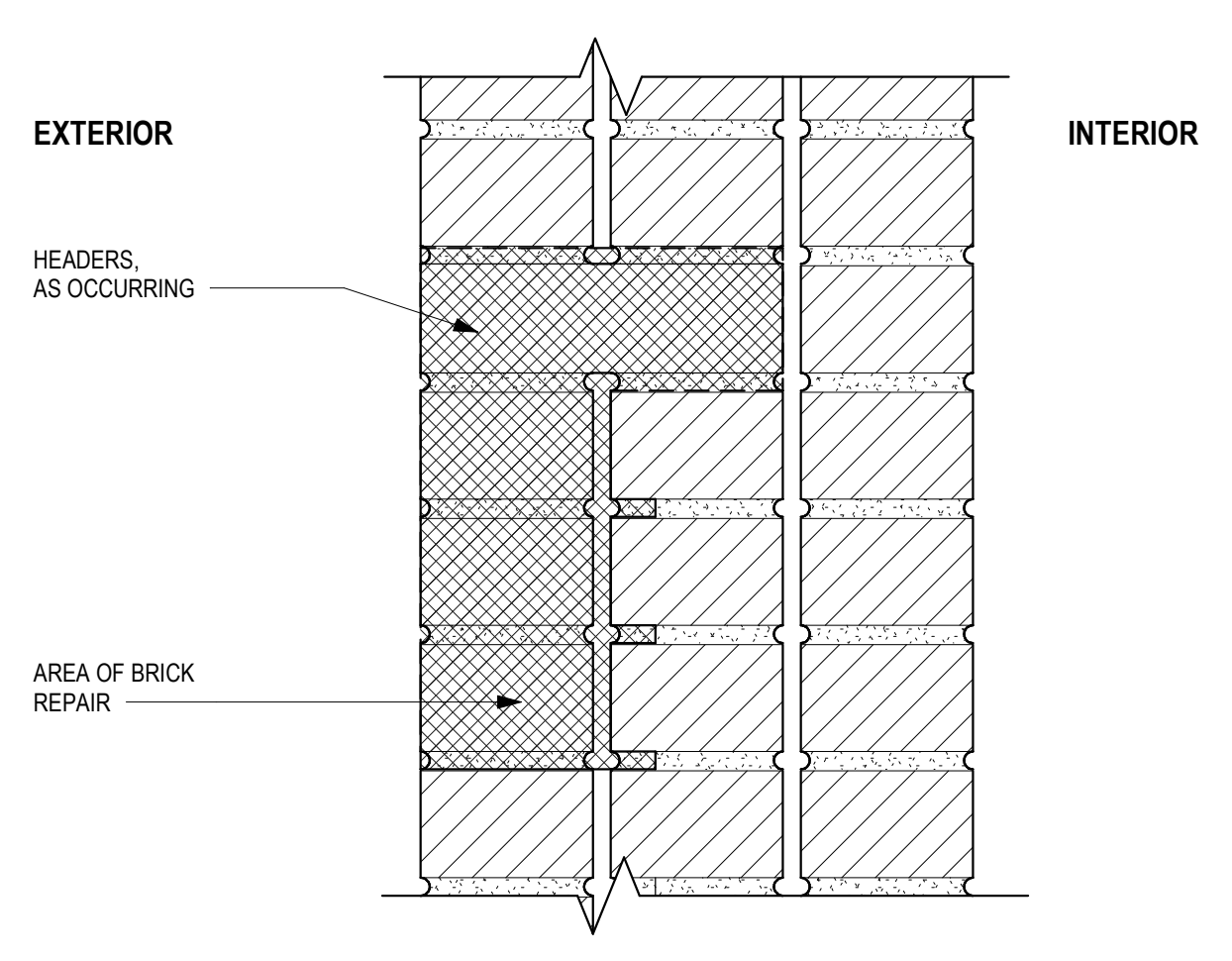
REV.	DATE	REMARK

PROJECT NO:	22096
DRAWN BY:	AS
CHECKED BY:	LR
SCALE:	As indicated
DATE:	04/19/23
FILE NAME:	M:\2022\22096 - Midway Artists Studio\22096 - BET Revit\22096 - East Elevation and Details - Landmarks - 2023-09-20.rvt
DRAWING NUMBER	A-301



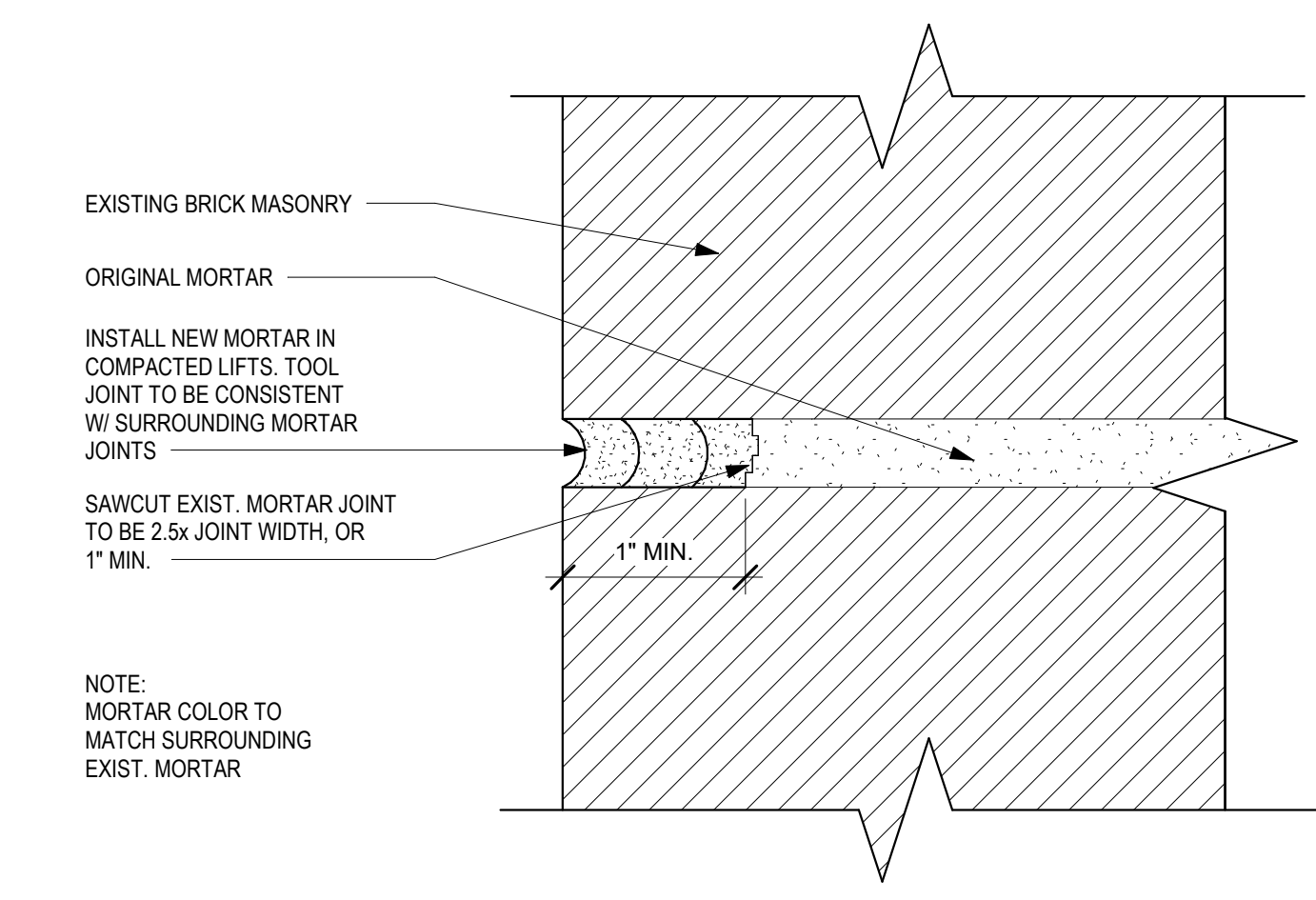
REPAIR NOTES:
 1. REMOVE INDIVIDUAL CRACKED MASONRY UNITS WITHOUT DAMAGING MASONRY WYTHE(S) TO REMAIN.
 2. REMOVE MORTAR FROM JOINTS IN THIRD WYTHE OF MASONRY TO A DEPTH NOT LESS THAN 2.5x THE JOINT WIDTH.
 3. REPLACE BRICK IN OUTER WYTHE WITH NEW OR SALVAGED BRICK. REBUILD OUTER WYTHE OF BRICK TO MATCH PATTERN AND COURSING OF ORIGINAL MASONRY. RE ESTABLISH EXISTING HEADERS AT THE INNER WYTHES.
 4. FULLY MORTAR ALL JOINTS FOR A SOLID MASONRY ASSEMBLY.
 5. AT REPAIRED HEADER COURSES, PROVIDE HALF-BRICKS AND NEW BRICK TIES, AS REQUIRED TO MATCH EXIST. WHERE FEASIBLE, INSTALL NEW HEADERS.
 6. POINT AND TOOL EXPOSED MORTAR JOINTS TO MATCH DEPTH, PROFILE AND APPEARANCE OF EXISTING ORIGINAL MORTAR JOINT.
 7. SQUARE OFF EXTENT OF AREA OF REPOINTING, TYP.

④ DET - BRICK REPAIR (2 WYTHES)
 3" = 1'-0"



REPAIR NOTES:
 1. REMOVE INDIVIDUAL CRACKED MASONRY UNITS, TAKING CARE NOT TO DAMAGE MASONRY WYTHE(S) TO REMAIN.
 2. REMOVE MORTAR FROM JOINTS IN SECOND WYTHE OF MASONRY TO A DEPTH NOT LESS THAN 2.5x THE JOINT WIDTH.
 3. REPLACE BRICK IN OUTER WYTHE WITH SALVAGED BRICK WHEN AVAILABLE. PROVIDE NEW BRICK TO MATCH EXIST. AS REQUIRED TO MAKE UP BALANCE OF REPAIR AREA.
 4. FULLY MORTAR ALL JOINTS FOR A SOLID MASONRY ASSEMBLY.
 5. AT REPAIRED HEADER COURSES, PROVIDE HALF-BRICKS AND NEW BRICK TIES, AS REQUIRED TO MATCH EXIST. WHERE FEASIBLE, INSTALL NEW HEADERS.
 6. POINT/ TOOL EXPOSED JOINTS, TO MATCH DEPTH AND PROFILE OF ADJACENT MASONRY WALL.

③ DET - BRICK REPAIR - OUTER WYTHE
 3" = 1'-0"



② DET - BRICK REPOINTING
 12" = 1'-0"



EXISTING SEGMENTAL ARCH ON INTERIOR SIDE



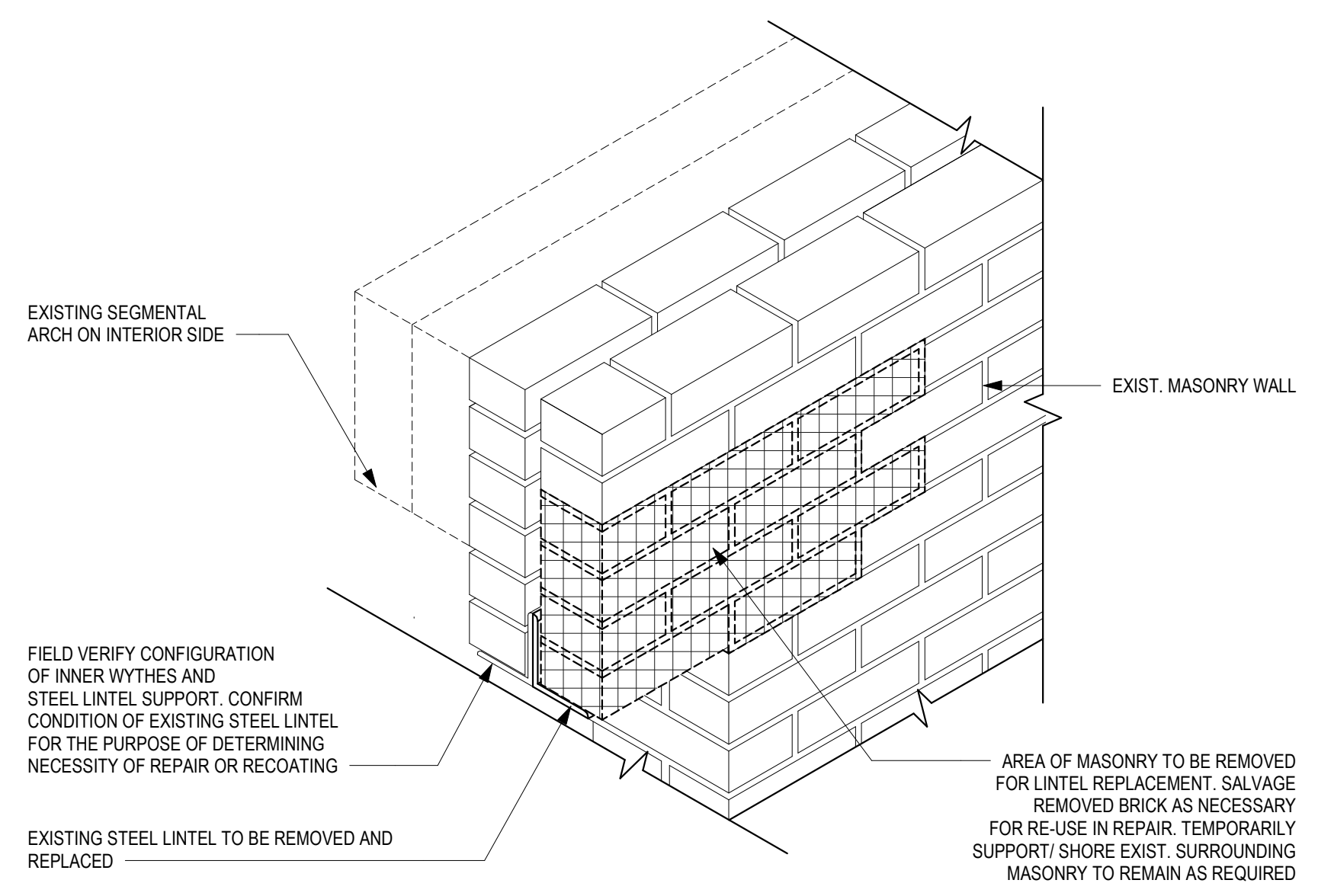
LINTEL CONDITION



LINTEL CONDITION

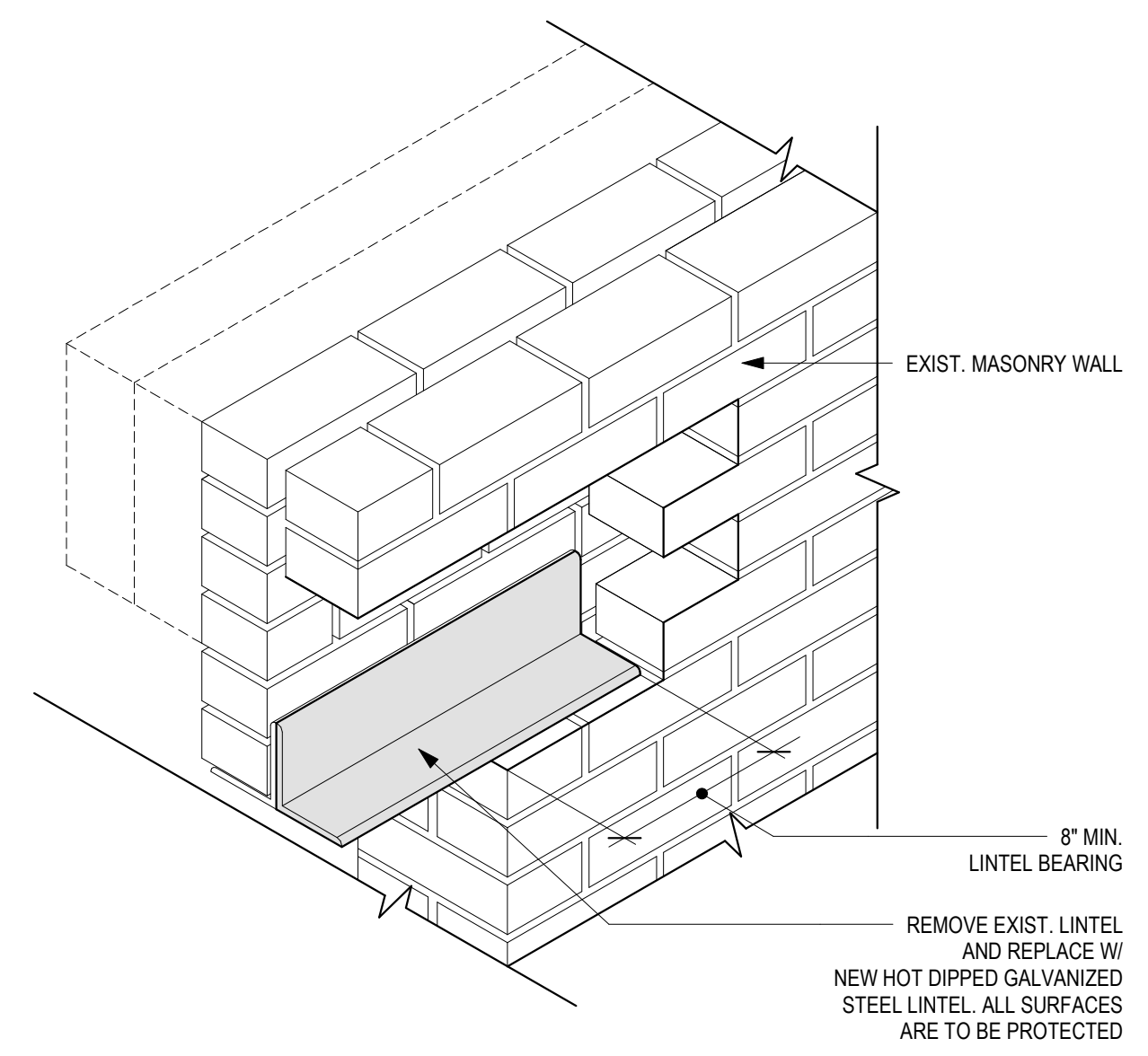


LINTEL CONDITION

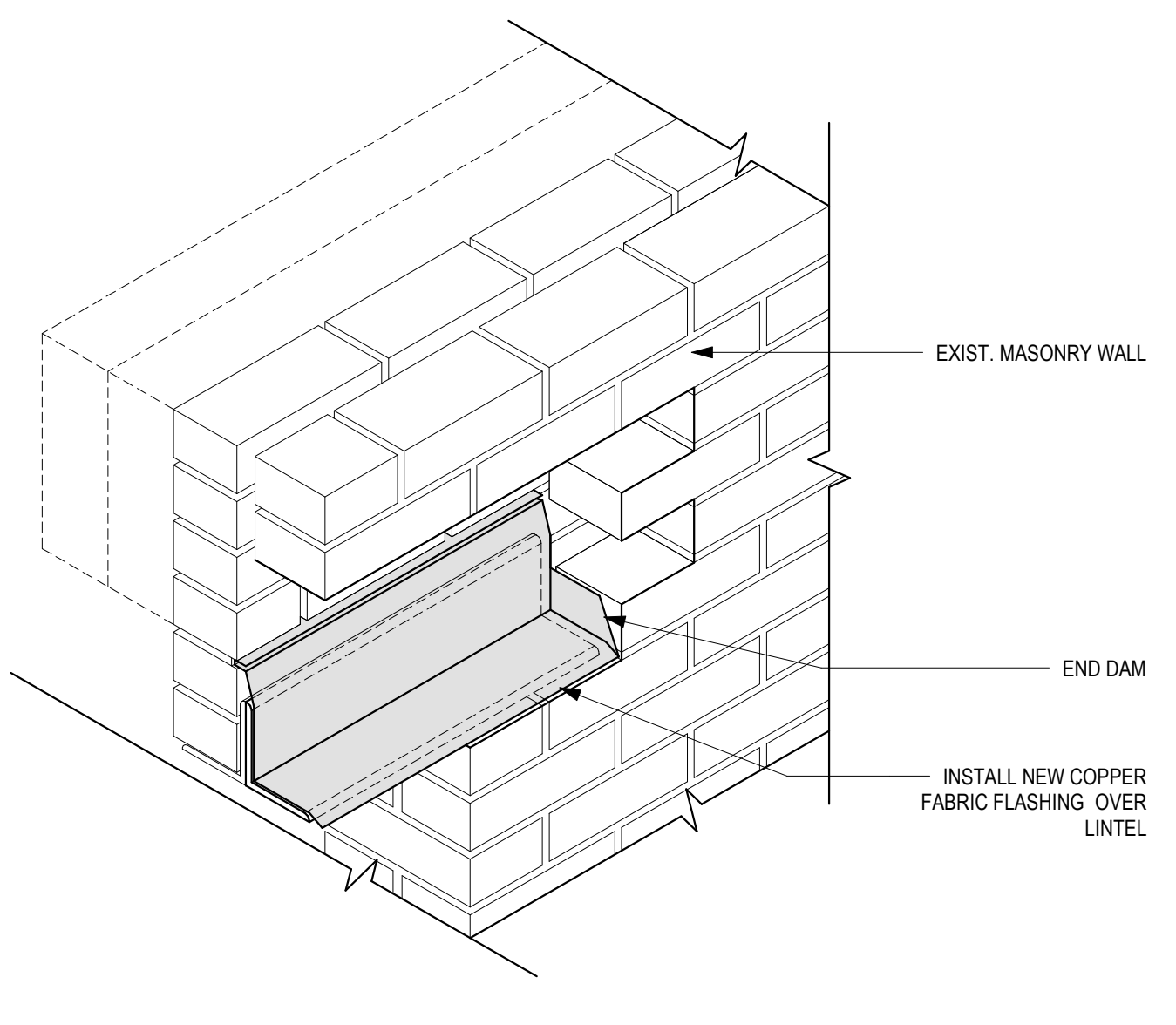


STEP 1: DEMO LOOSE LINTEL REPAIR

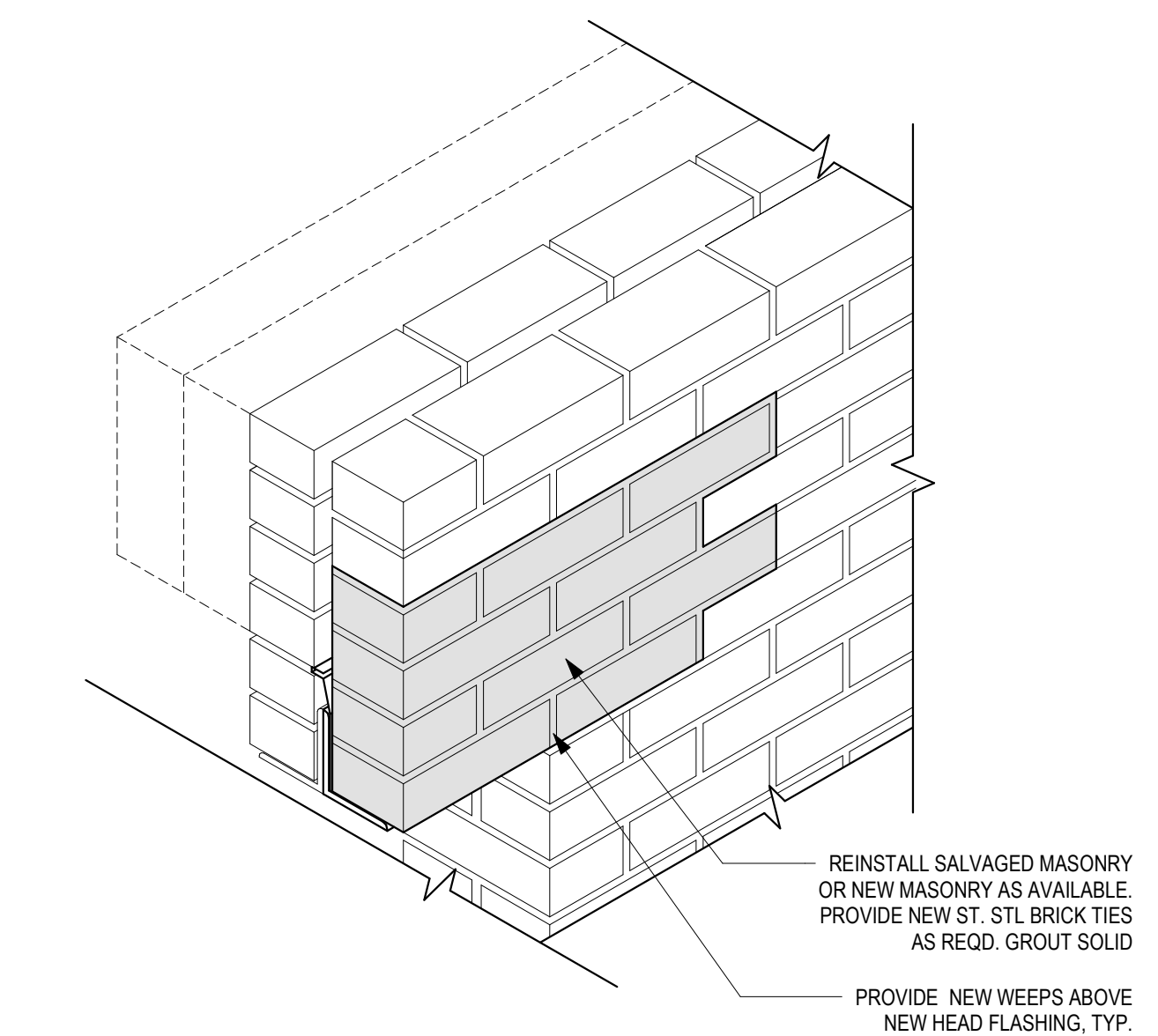
① DET - LOOSE LINTEL REPAIR
 1 1/2" = 1'-0"



STEP 2: REPLACE LINTEL



STEP 3: INSTALL COPPER FABRIC FLASHING



STEP 4: REINSTALL MASONRY

NOTE: ALL MATERIALS TO MATCH EXISTING CONDITIONS

OWNER

MIDWAY ARTIST
 STUDIOS

PROJECT TITLE

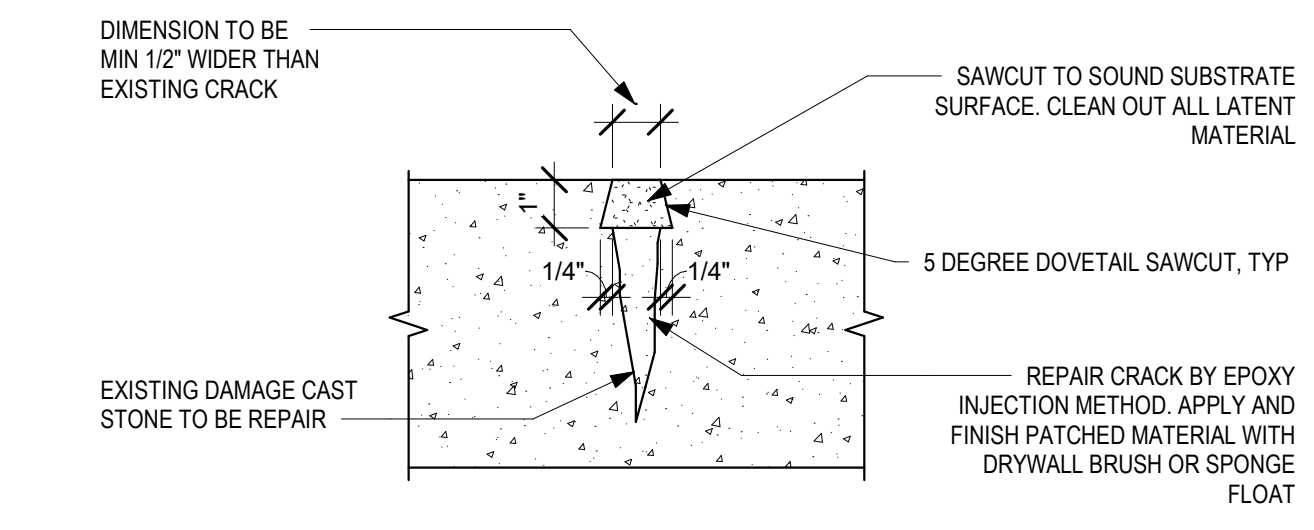
EXTERIOR WALL
 REPAIRS

15 CHANNEL CENTER
 ST BOSTON, MA

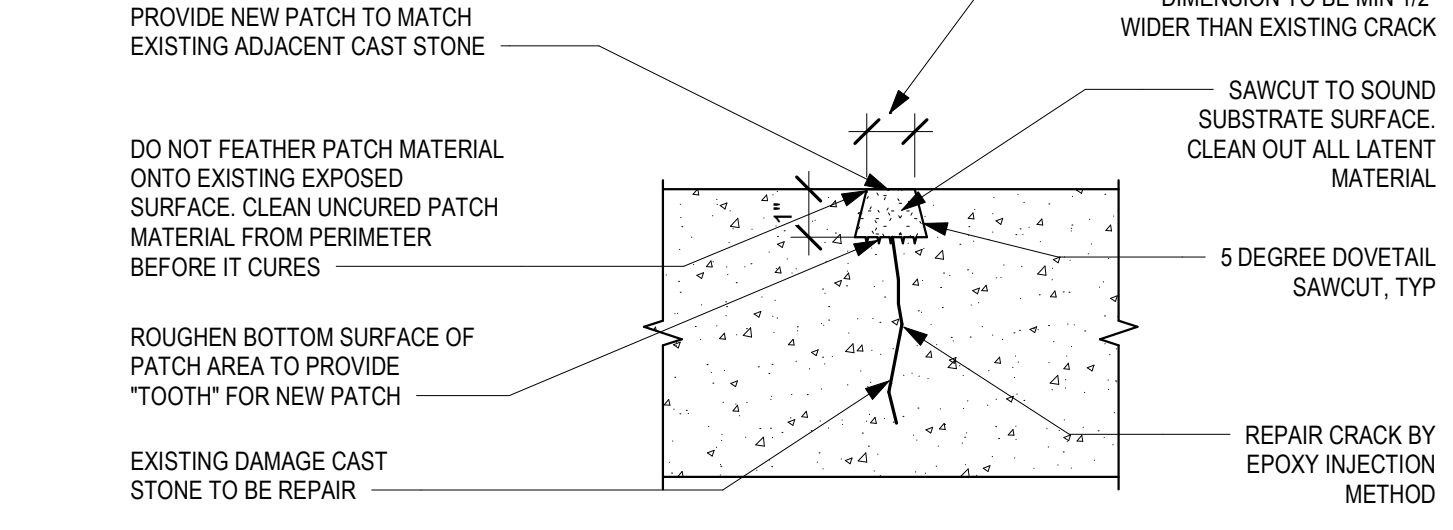
DRAWING TITLE
 MASONRY REPAIR
 DETAILS

REV.	DATE	REMARK

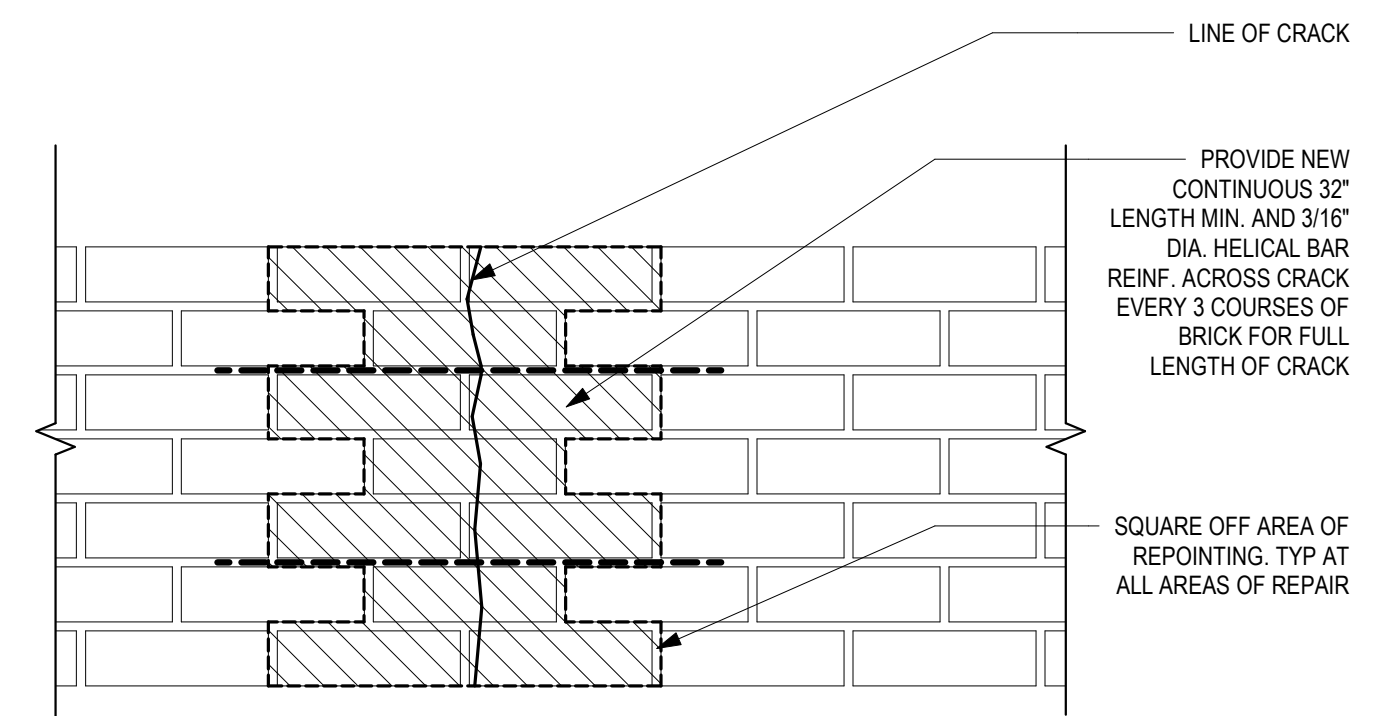
PROJECT NO:	22096
DRAWN BY:	AS
CHECKED BY:	LR
SCALE:	As indicated
DATE:	04/19/23
FILE NAME:	M:\2022\22096 - Midway Artists Studio\22096 - BET Revit\22096 - East Elevation and Details - Landmarks - 2023-09-20.rvt
DRAWING NUMBER	



4 DET - SILL REPAIR - CRACK GREATER THAN 1/16"
 3" = 1'-0"

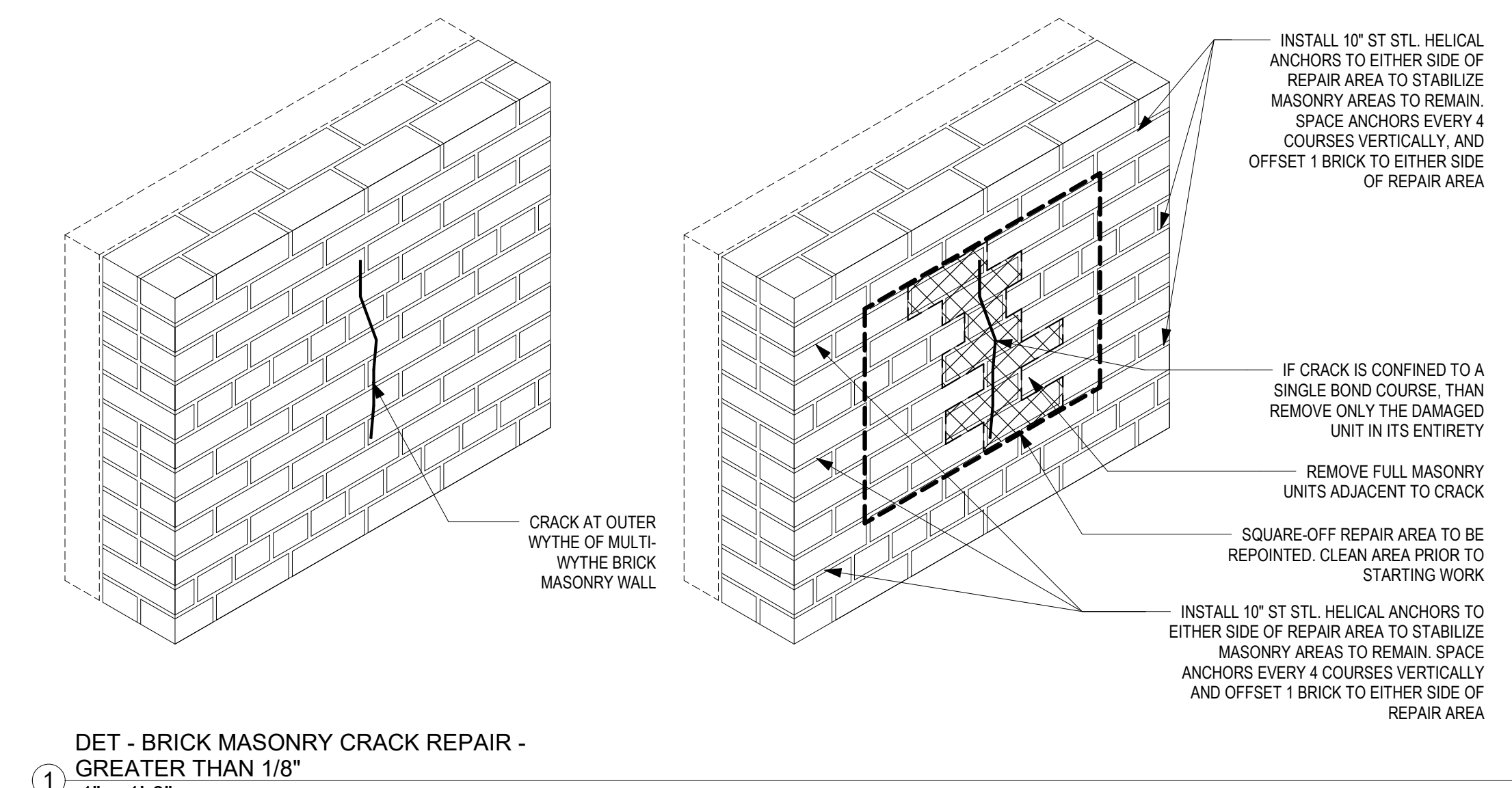
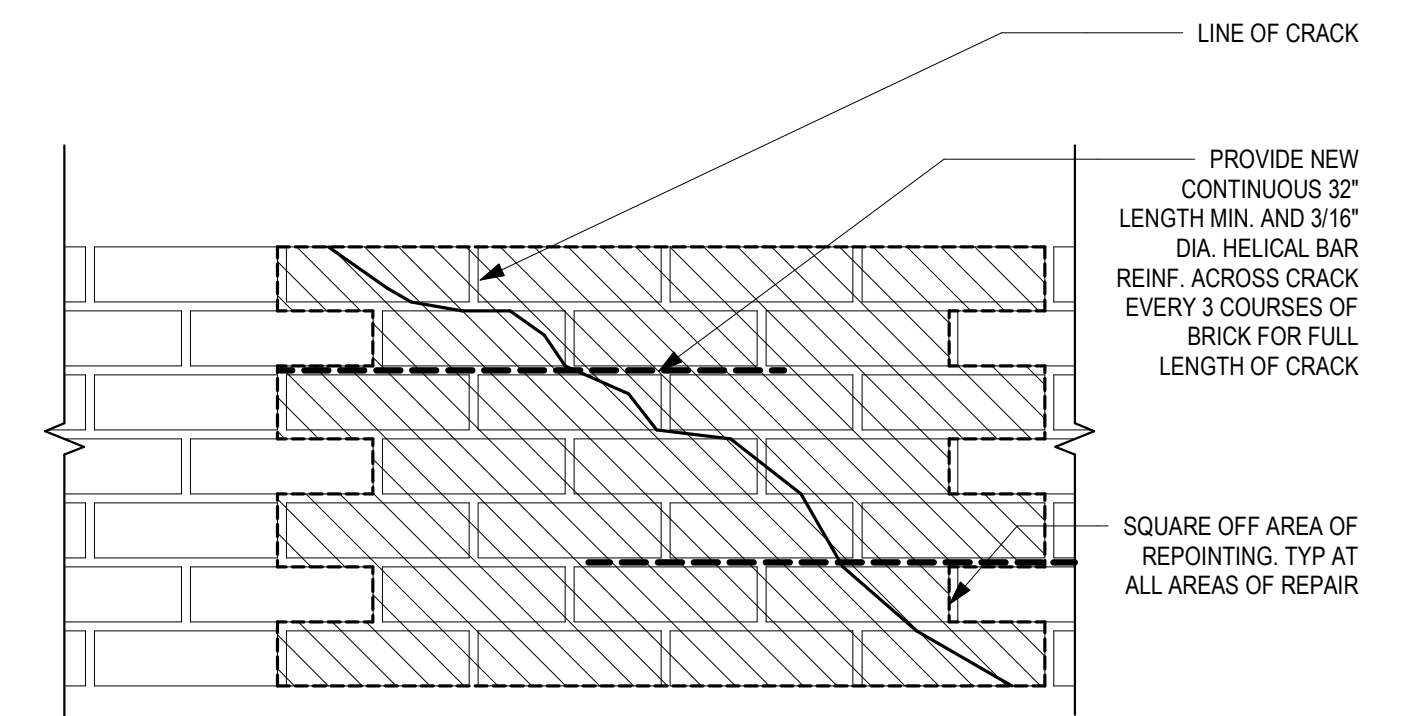


3 DET - SILL REPAIR - CRACK LESS THAN 1/16"
 3" = 1'-0"

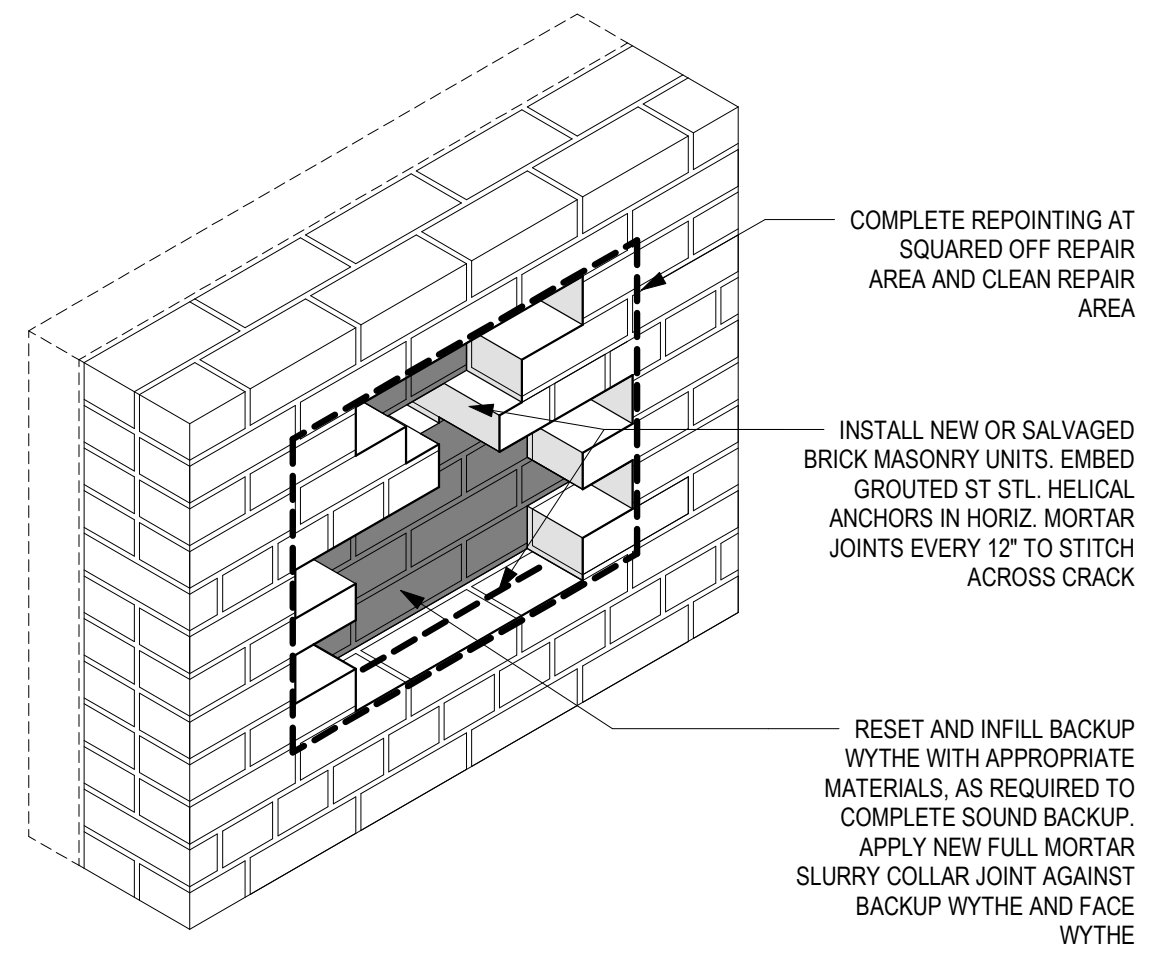
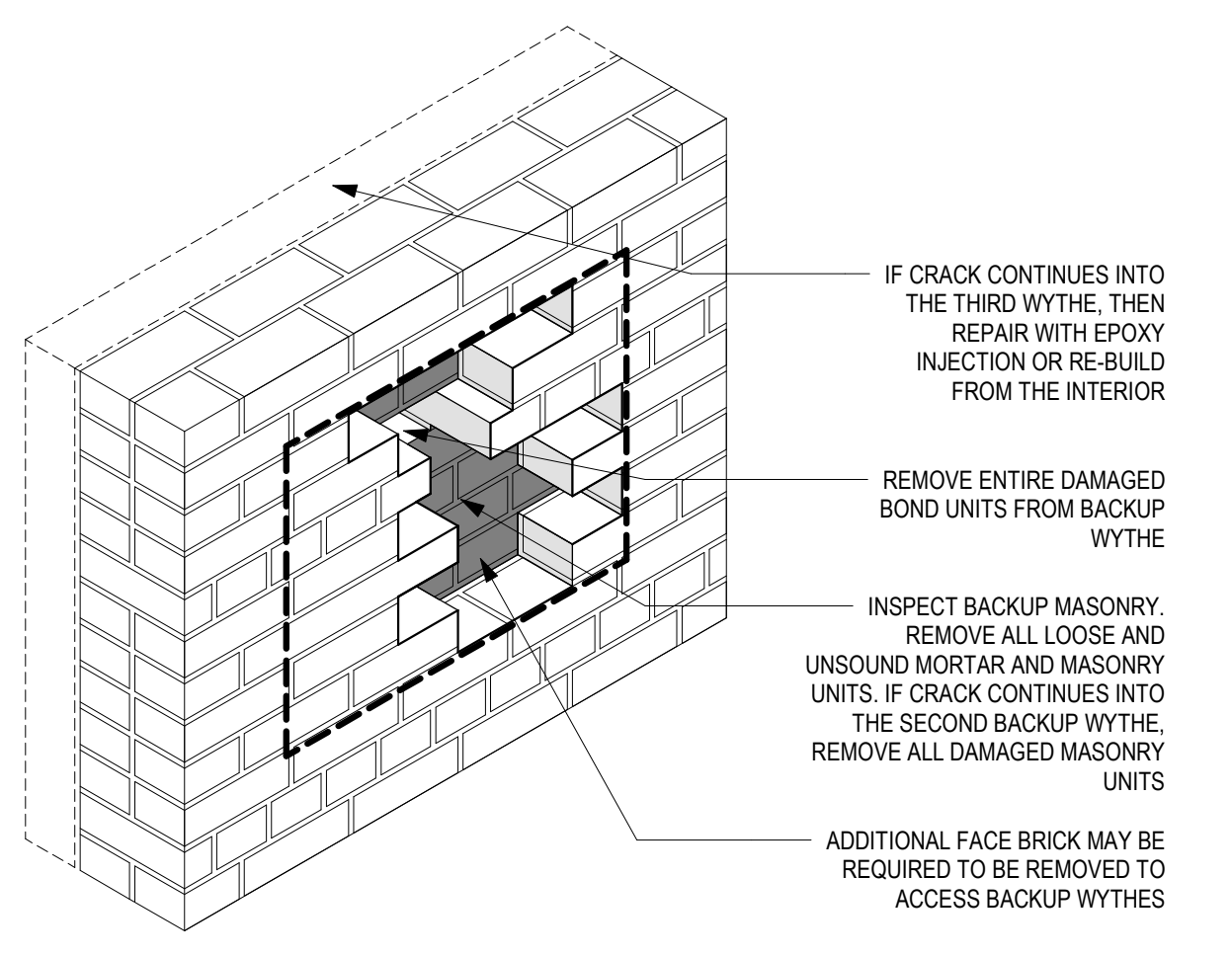


REPAIR NOTES:
 1. REPLACE HATCHED BRICK WITH NEW OR SALVAGE BRICKS TO MATCH EXISTING.
 2. DO NOT REPLACE HEADER BRICK IF NOT CRACKED.
 3. SAWCUT BED JOINT FOR NEW REINFORCEMENT - MIN 1 1/2" DEPTH.
 4. SQUARE OFF EXTENT OF AREA OF REPOINTING, TYP.

2 DET - BRICK MASONRY CRACK REPAIR - LESS THAN 1/8"
 1 1/2" = 1'-0"



1 DET - BRICK MASONRY CRACK REPAIR - GREATER THAN 1/8"
 1" = 1'-0"



NOTE: ALL MATERIALS TO MATCH EXISTING CONDITIONS

