



# 252 Shawmut Street

SELDC Presentation

09/18/2023



**South End Landmark District  
And Protection Area**

0 200 400 600 800 1,000 Feet

This map is intended for informational purposes only.



J.J. Foley's Cafe

Myers+Chang  
Chinese • \$8

24 Berkeley St Parking

Castle Ct

Laconia Lofts

Washi Boston  
Authentic Japanese • \$8

Miles Place

Little League Field  
at Peters Park

Playground at Peters Park

Berkeley  
Community  
1867551

Shawmut Ave

Peters Park  
Bicycling, dog run, playground, tennis courts

Peters Park Dog Park

Pedestrian walkway

Shawmut Place

Watson Park

Gerald Pomeroy Interiors

Watson Park II

Alexandria Pizza  
Pizza Delivery • \$8

Cosmo Chopsticks  
Italian • \$8

Gerald Pomeroy Interiors

BRIX Wine Shop  
Wine store

Cosmo Chopsticks  
Italian • \$8

Boston Real Estate Concierge

Wood Barbers Of Boston

Fornaggio Kitchen  
South End

Boston Real Estate Concierge

Amefact Home/Garden  
Furniture • \$8

Bradford Street Play area

Uchi Japane's South End  
Shawmut Ave

Burro Bar South End  
Washi Mexican • \$8

M. Lynn Jewelry  
Jewelry store

Uchi Japane's South End  
Shawmut Ave

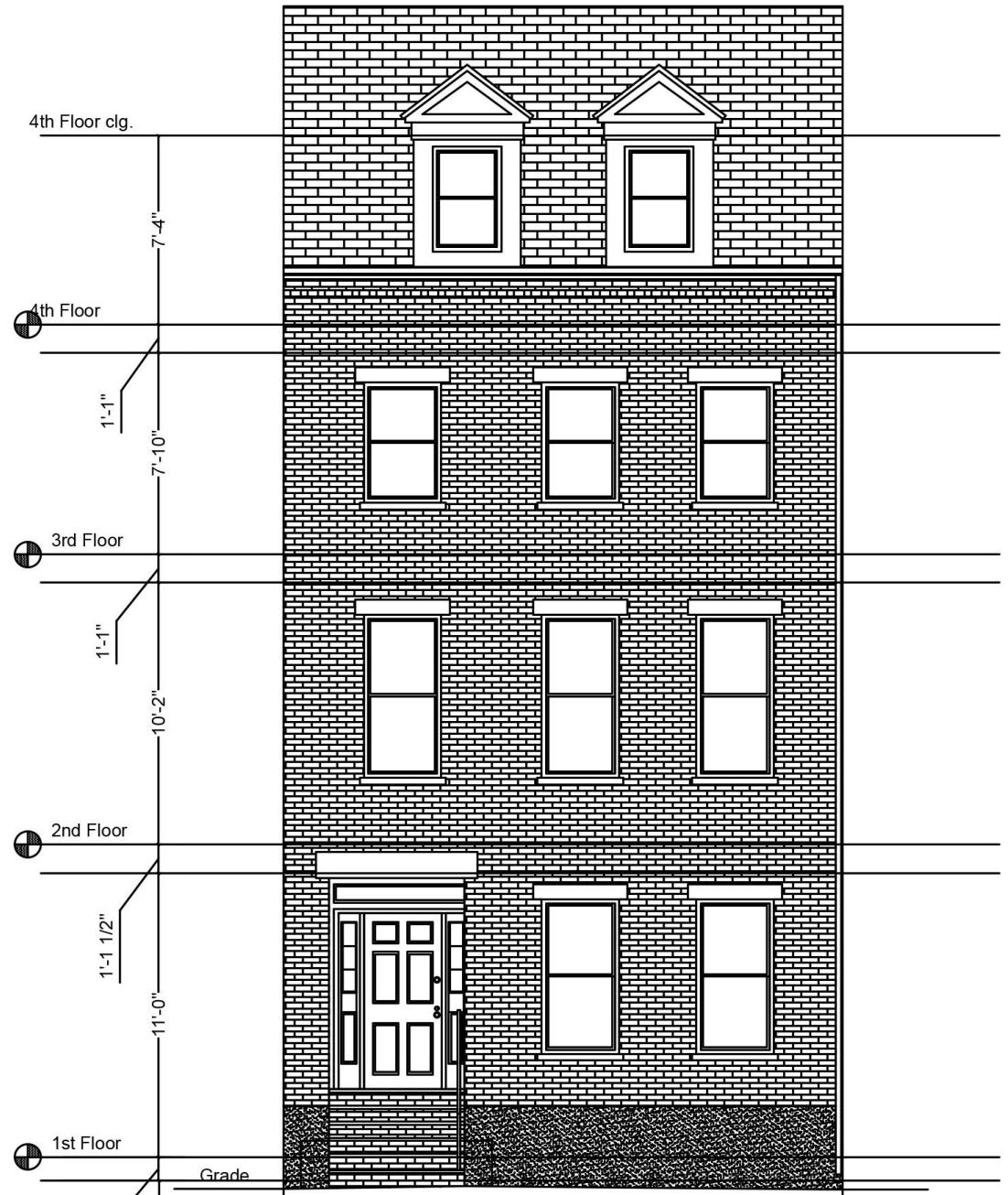
Ringgold St

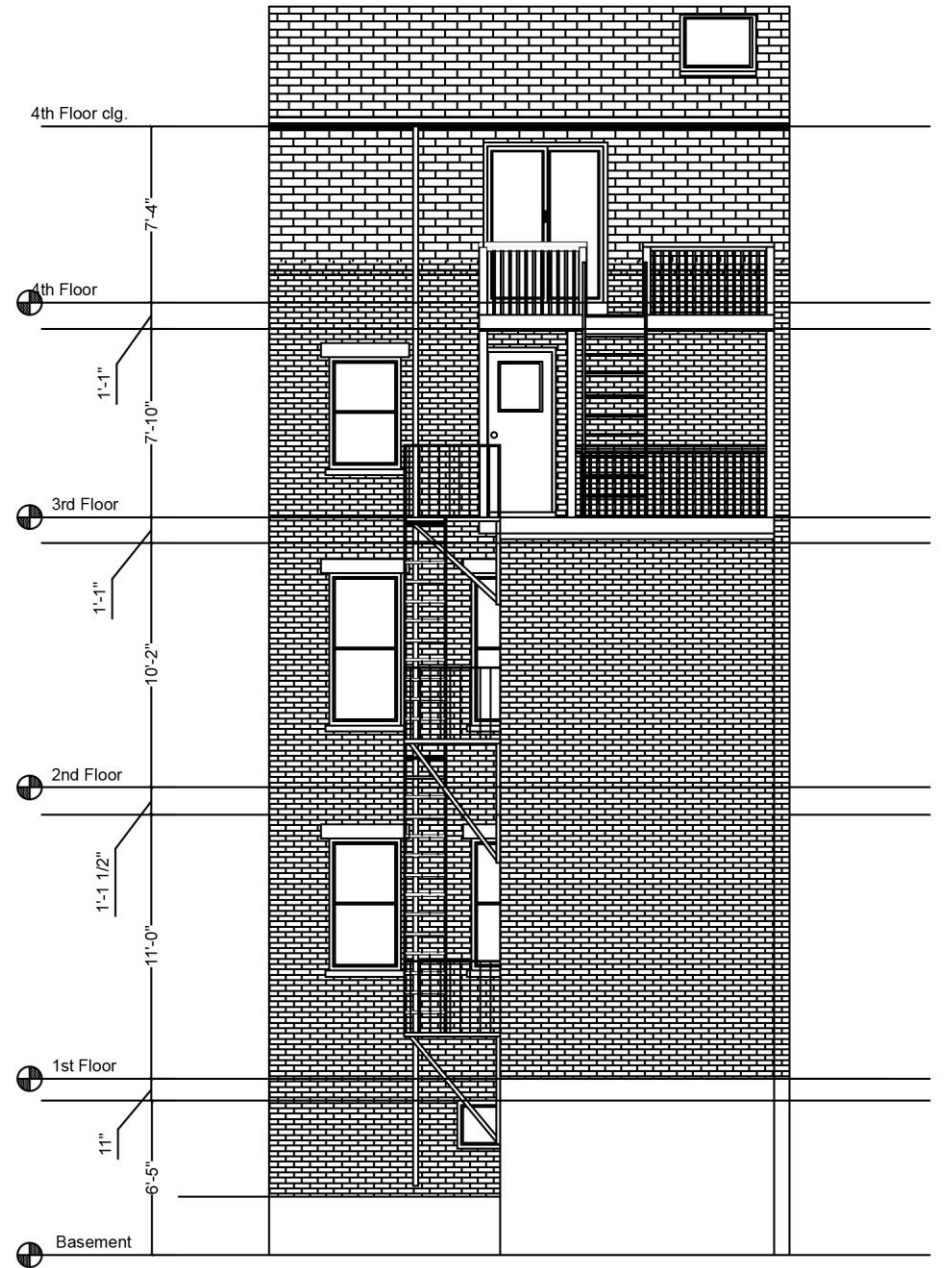
Ringgold Park

American Martial Sports  
Shawmut Ave

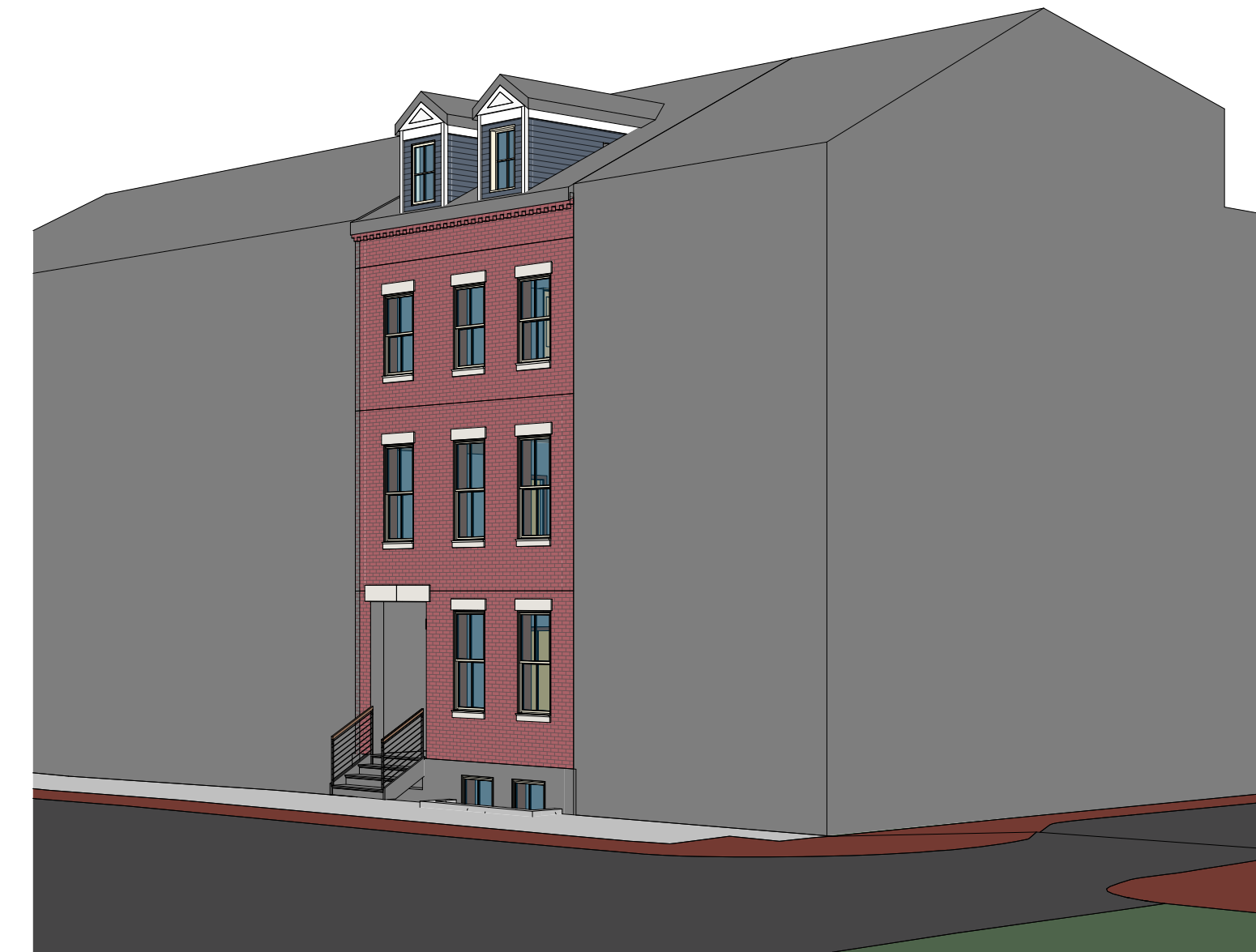
American Martial Sports  
Shawmut Ave

American Martial Sports  
Shawmut Ave





ARCHITECTURAL DRAWING LIST			
Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
A-000	COVER SHEET	06/28/2023	09/15/23
C-0	EXISTING CIVIL PLAN	11/9/2021	
C-1	PROPOSED CIVIL SITE PLAN	08/24/2022	
C-2	PROPOSED CIVIL DETAILS	08/24/2022	
A-020	ARCHITECTURAL SITE PLAN	06/28/2023	
A-021	AREA PLANS	06/28/2023	
EX-101	EXISTING FLOOR PLANS	06/28/2023	
A-101	FLOOR PLANS	06/28/2023	
A-300	FRONT & LEFT SIDE ELEVATIONS	06/28/2023	
A-301	REAR & RIGHT SIDE ELEVATIONS	06/28/2023	
A-900	WINDOW SCHEDULE	09/14/2023	
AV-1	PROPOSED PERSPECTIVES	06/28/2023	



**PROJECT NAME**  
**252 SHAWMUT**

**PROJECT ADDRESS**  
 252 SHAWMUT STREET  
 BOSTON, MA

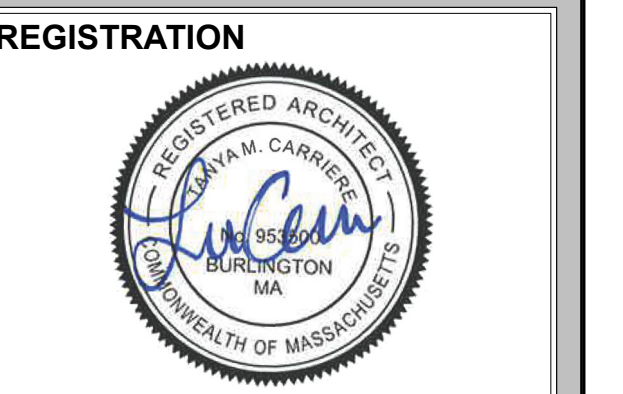
**CLIENT**  
**PAK LAM TAM &  
 ERIC TAM**

**ARCHITECT**

17 IVALOO STREET SUITE 400  
 SOMERVILLE, MA 02143  
 TELEPHONE: 617-591-8682

**CONSULTANTS:**

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 OF PROSECUTION UNDER LAW



**REGISTRATION**

Project number	21064
Date	09/15/2023
Drawn by	ERS
Checked by	JSK
Scale	

**REVISIONS**

No.	Description	Date
1	SELDC COMMENTS	09/15/23

**COVER SHEET**

**A-000**

252 SHAWMUT



# PROJECT: 252 SHAWMUT RENOVATION

**PROJECT ADDRESS:**  
 252 SHAWMUT STREET  
 BOSTON, MA

**ARCHITECT**  
 KHALSA DESIGN INC.  
 ADDRESS:  
 17 IVALOO STREET, SUITE 400  
 SOMERVILLE, MA 02143

**OWNER**  
 PAK LAM TAM & ERIC TAM  
 14 PAMELA COURT  
 NEWTON, MA 02466

**SD SET 06/28/2023**  
**REVISED: 09/15/2023**

252  
SHAWMUT  
AVENUE

Boston, Massachusetts 02118

PREPARED FOR:

PAK LAM  
&  
ERIC TAM

14 Pamela Court  
Auburndale, MA 02466

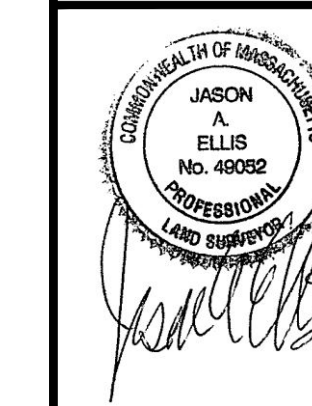
HANCOCK  
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

121 EAST BERKELEY STREET, BOSTON, MA 02118  
VOICE (617) 357-8145, FAX (617) 357-9495  
WWW.HANCOCKASSOCIATES.COM



NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 11/09/21 DRAWN BY: KNB  
SCALE: 1"=10' CHECK BY: JML/JAE

EXISTING CONDITIONS  
PLAN OF LAND  
IN  
BOSTON, MA

PLOT DATE: Dec 09, 2021 1:01 pm  
PATH: G:\Civil 3D Projects\25431 - Tam - Boston\Sur\DWG\

DWG: 25431ec.dwg  
LAYOUT: Layout1-EC  
SHEET: 1 OF 1  
PROJECT NO.: 25431

ASSESSORS:

PROPERTY ID: 0306051000

ZONING:

SOUTH END NEIGHBORHOOD  
MFR/LS-MULTIFAMILY RESIDENTIAL/LOCAL SERVICES

REFERENCES:

DEED BOOK 57524, PAGE 151  
PLAN BOOK 568 PAGE 15  
PLAN BOOK 2012 PAGE 456  
PLAN BOOK 1763 PAGE 89  
PLAN BOOK 8980 PAGE 159  
SOUTH END PROJECT R-56 SHEET S-20  
BY YUNITS ENGINEERING DATED AUG. 26  
1968

RECORD OWNER:

PLT SHAWMUT AVE  
14 PAMELA COURT  
AUBURNDALE, MA 02466

NOTES:

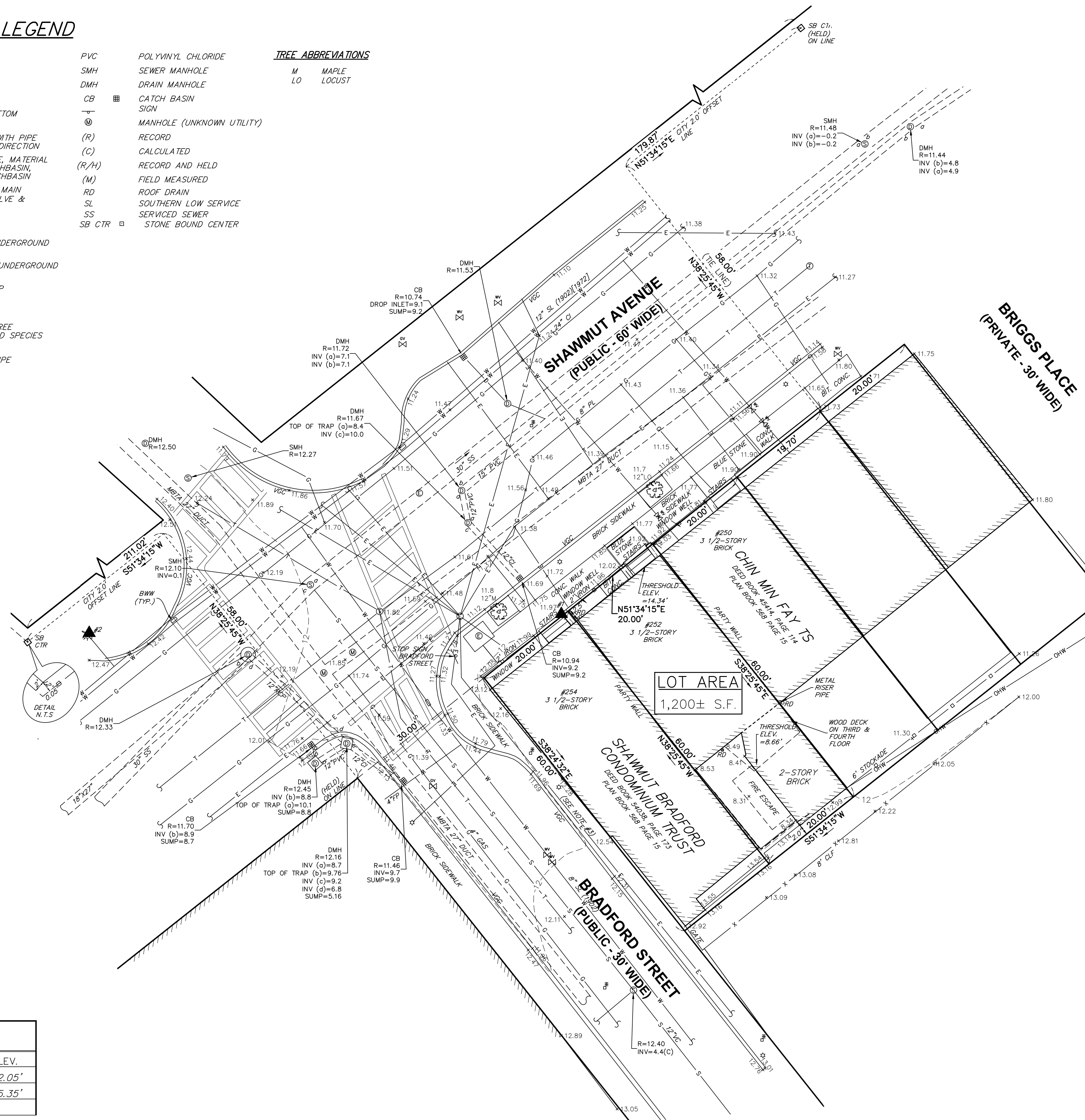
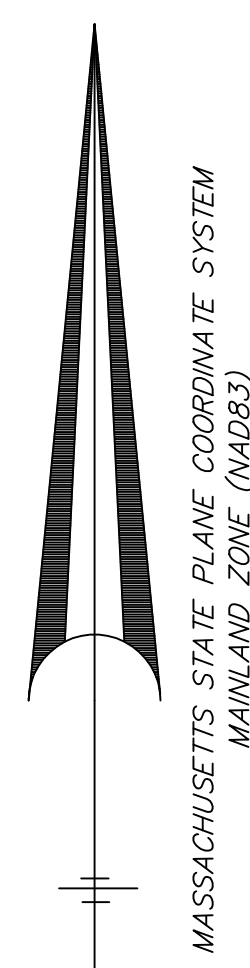
1) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. THE VERTICAL DATUM FOR THIS SURVEY IS BOSTON CITY BASE. SAID DATUMS WERE ESTABLISHED VIA GPS OBSERVATION UTILIZING REALIZATION NAD83(2011) AND GEOID 12A.

2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE BOSTON WATER SEWER COMMISSION (BWSC), MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE, & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 1-888-344-7233 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

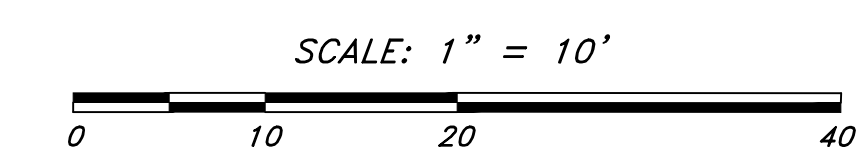
3) UNDERGROUND ELECTRIC UTILITY SHOWN HEREON ARE COMPILED FROM EVERSOURCE ELECTRIC. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION OF THESE FINDINGS.

LEGEND

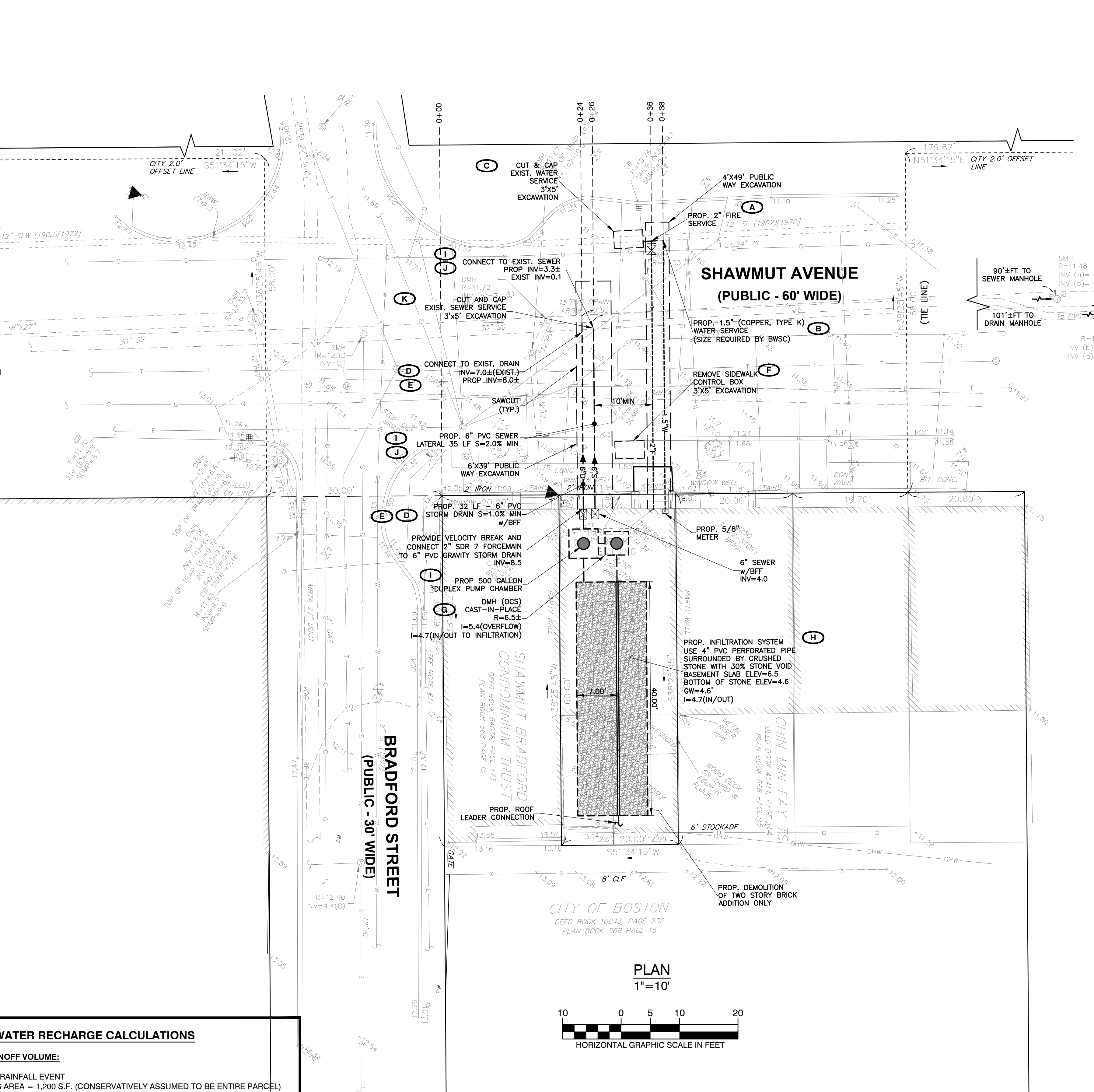
---234---	SURFACE CONTOUR	PVC	POLYVINYL CHLORIDE	TREE ABBREVIATIONS
—x—x—x—	EDGE OF PAVEMENT	SMH	SEWER MANHOLE	M MAPLE
—x—x—x—	CHAIN LINK FENCE	DMH	DRAIN MANHOLE	LO LOCUST
—x—x—x—	WIRE FENCE	CB	CATCH BASIN	
—x—x—x—	CURB WITH TOP AND BOTTOM CURB ELEVATION	⊕	SIGN	
—x—x—x—	SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION	⊙	MANHOLE (UNKNOWN UTILITY)	
—x—x—x—	DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN	(R)	RECORD	
—x—x—x—	WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT	(C)	CALCULATED	
—x—x—x—	GAS MAIN WITH SIZE & GATE VALVE	(R/H)	RECORD AND HELD	
—x—x—x—	ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES	(M)	FIELD MEASURED	
—x—x—x—	TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES	RD	ROOF DRAIN	
—x—x—x—	RETAINING WALL WITH TOP AND BOTTOM ELEVATIONS	SL	SOUTHERN LOW SERVICE	
× 232.6	SPOT ELEVATION	SS	SERVICED SEWER	
⊙ 26.8	PROMINENT DECIDUOUS TREE WITH ELEVATION, SIZE AND SPECIES	SB CTR	STONE BOUND CENTER	
☆	LIGHT POLE			
RCP	REINFORCED CONCRETE PIPE			
CI	CAST IRON			
VC	VITRIFIED CLAY			



ELEVATION BENCH MARKS		
DATUM: BOSTON CITY BASE		
NO.	DESCRIPTION	ELEV.
1.	L.O.C.L.S.S. BUILDING #254	12.05'
2.	HYDRANT BOLT OVER MAIN OUTLET	15.35'
3.		



- NOTES:**
- LOCATIONS AND ELEVATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE REFERENCED PLAN AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. HANCOCK ASSOCIATES ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES INACCURATELY SHOWN OR OMITTED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY DEPARTMENT SHALL BE NOTIFIED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHALL BE VERIFIED IN THE FIELD. CALL THE BWS, (617)889-7000 AND DIG-SAFE CALL CENTER, (888)344-7233, 72 HOURS (3 WORKING DAYS) PRIOR TO EXCAVATION.
  - ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO BWS REQUIREMENTS AND ALL OTHER APPLICABLE MUNICIPAL REGULATIONS.
  - ELEVATIONS SHOWN HEREON REFER TO BOSTON CITY BASE.
  - ALL DISTURBANCES WITHIN THE PUBLIC WAY SHALL CONFORM TO CITY AND BWS STANDARDS.
  - IT IS UNDERSTOOD THAT THE RESPONSIBILITY OF OWNERSHIP AND MAINTENANCE OF THE SEWER CONNECTIONS ON PRIVATE PROPERTY AND/OR PRIVATE AND PUBLIC WAYS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS. IT IS ALSO UNDERSTOOD THAT THE WATER CONNECTIONS ON PRIVATE PROPERTY INCLUDING PRIVATE WAYS ARE ALSO THE RESPONSIBILITY OF THE DEVELOPER AND/OR OWNERS. IF THE CONNECTIONS CROSS, OR ARE NEAR INDIVIDUAL PROPERTY LINES, PROVISIONS MUST BE MADE TO ALLOW EACH OWNER TO MAINTAIN OR RECONSTRUCT THEIR RESPECTIVE CONNECTIONS. THIS FACT MUST BE INCORPORATED INTO ANY PURCHASE AND SALES AGREEMENT AND DEEDS RELATED TO THE TRANSFER OF OWNERSHIP OF THE PROPERTIES.
  - SITE CONTRACTOR TO PROVIDE ALL EXCAVATION, INSTALLATION, BACK FILLING, PAVEMENT PATCHING, ETC. FOR THE INSTALLATION OF UNDERGROUND DRAIN AND SIMILAR SERVICES.
  - IF EXISTING ABANDONED BWS SERVICES ARE ENCOUNTERED THEY SHALL BE CUT AND CAPPED AT THE MAIN PER BWS STANDARDS.
  - SEWER GRAVITY PIPE SHALL BE POLYVINYL CHLORIDE (PVC) PIPE SDR 35 CONFORMING TO ASTM STANDARD SPECIFICATIONS D3034.
  - CONTRACTOR IS TO OBTAIN THE ROUGH CONSTRUCTION SIGN OFF DOCUMENT FROM THE CITY OF BOSTON INSPECTIONAL SERVICES DEPARTMENT PRIOR TO FILING A GENERAL SERVICES APPLICATION WITH BWS.
  - CONTRACTOR WILL BE RESPONSIBLE FOR PREPARING AS-BUILT PLANS IN ACCORDANCE WITH BWS REQUIREMENTS.
  - CONTRACTOR TO CONFIRM THE LOCATIONS AND INVERTS OF THE EXISTING UTILITIES IN THE STREET PRIOR TO THE INSTALLATION OF NEW SERVICE CONNECTIONS. SERVICES SHALL BE FIELD VERIFIED BEFORE BEGINNING CONSTRUCTION.
  - ANY CONSTRUCTION DEWATERINGS SHALL EMPLOY MEASURES TO FILTER OUT SEDIMENT PRIOR TO ITS DISCHARGE AND SHALL CONFORM WITH BWS REQUIREMENTS. CONTRACTOR TO SUBMIT A SKETCH OF THESE TO THE ARCHITECT FOR APPROVAL.
  - CONTRACTOR TO EMPLOY MEASURES TO CONTROL DUST DURING CONSTRUCTION.
  - RIM ELEVATIONS OF DRAINAGE STRUCTURES ARE APPROXIMATE. FINAL ELEVATIONS ARE TO BE SET FLUSH. ADJUST ALL OTHER RIM ELEVATIONS OF EXISTING MANHOLES, WATER GATES, GAS GATES AND OTHER UTILITIES TO FINISHED GRADE WITHIN LIMITS OF WORK.
  - THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM AND OTHER PRIVATE COMPANIES, AS REQUIRED.
  - SEE PLUMBING PLANS FOR ALL WATER/SEWER PIPE WORK WITHIN BUILDING.
  - EXISTING WATER & SEWER SERVICES ARE SHOWN ON THIS PLAN STRICTLY FOR PERMITTING PURPOSES ONLY. EXACT LOCATIONS AND ELEVATIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
  - SEE PLUMBING PLANS FOR FINAL STORMWATER PUMP DETAILS.
  - A BACKFLOW PREVENTER IS REQUIRED FOR BOTH SEWER AND DRAIN.
  - SITE CONTRACTOR RESPONSIBLE FOR COORDINATING WITH PUBLIC WORKS DEPARTMENT ALL GUARANTEED STREET REQUIREMENTS.



**INSPECTION SIGN-OFF SCHEDULE**

ITEM	QTY	BWS INSPECTOR/DATE
A	2" FIRE CONNECTION	1
B	2" WATER CONNECTION	1
C	CUT AND CAP EXIST. WATER	1
D	6" STORM WATER DRAIN	1
E	DYE TEST DRAIN	1
F	REMOVE SIDEWALK CONTROL BOX	1
G	DMH (OCS)	1
H	INFILTRATION SYSTEM	1
I	6" SEWER	1
J	DYE TEST SEWER	1
K	CUT AND CAP EXISTING SEWER	1
L	PUMP CHAMBER	1

**SPECIAL CONDITIONS**

ITEM	BWS INSPECTOR/DATE
AS-BUILT PLAN	

**REFERENCES:**  
 EXISTING PROPERTY LINE, TOPOGRAPHIC AND UTILITY INFORMATION IS TAKEN FROM A DIGITAL FILE RECEIVED ON AUGUST 17, 2021 AND NAMED "25431EQ.dwg" OF A PLAN TITLED "EXISTING CONDITIONS, 252 SHAWMUT AVENUE, BOSTON, MA 02118" AND DATED NOVEMBER 9, 2021. PLAN PREPARED BY HANCOCK ASSOCIATES OF BOSTON, MA.  
 PROPOSED ARCHITECTURAL BUILDING INFORMATION HAS BEEN TAKEN FROM A DIGITAL FILE RECEIVED ON NOVEMBER 5, 2021 AND NAMED "PROPOSED FLOOR PLAN". PLAN PREPARED BY KHALSA DESIGN OF SOMERVILLE, MA.

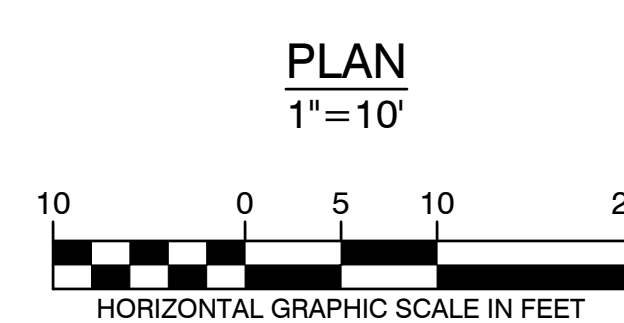
**STORMWATER RECHARGE CALCULATIONS**

**DESIGN RUNOFF VOLUME:**  
 USE 1-INCH RAINFALL EVENT  
 IMPERVIOUS AREA = 1,200 S.F. (CONSERVATIVELY ASSUMED TO BE ENTIRE PARCEL)  
 RUNOFF VOLUME = 1,200 S.F. x 1" x (1 FT./12 IN.) = 100.0 C.F.  
 DESIGN VOLUME = 100.0 C.F.

**PROPOSED INFILTRATION SYSTEM STORAGE VOLUME**

**INFILTRATION SYSTEM (40' L X 12' W X 0.7' D)**  
 USE 8" DEEP CRUSHED STONE VOID STORAGE  
 TOTAL VOLUME 4" PIPE = ((12')<sup>2</sup> X 3.14) X 40' = 3.5 C.F.  
 TOTAL TRENCH VOLUME = 0.7 FT X 12 FT X 40 FT = 336 C.F.  
 AVAILABLE STORAGE = (336-3.5 C.F.) X 30% STONE VOIDS + 3.5 C.F. = 103.25 C.F.  
 TOTAL SYSTEM STORAGE = 103.3 C.F.

**STORMWATER STORAGE VOLUME = 103.3 C.F. > 100 C.F.**



**LEGEND**

- 102— SURFACE CONTOUR
- x—x— CHAIN LINK FENCE
- o—o— WOOD FENCE
- 86.75 / 86.25— CURB WITH TOP AND BOTTOM CURB ELEVATION
- 6" CI— SEWERLINE & MANHOLE W/PIPE SIZE, MATERIAL & FLOW DIRECTION
- 12" RCP— DRAINLINE WITH PIPE SIZE, FLOW DIRECTION, CATCHBASIN, MANHOLE, & MATERIAL
- W 6" CI— WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- 10" DI— GAS MAIN WITH SIZE & GATE VALVE
- #181— EXISTING UTILITY POLE W/ OVERHEAD WIRES
- E— ELECTRIC MANHOLE & UNDERGROUND ELECTRIC LINES
- T— TELEPHONE MANHOLE & TELEPHONE LINES
- 98.2 / 93.2— RETAINING WALL WITH TOP AND BOTTOM ELEVATIONS
- x 100.7— SPOT ELEVATION
- 93.7 / 12" M— PROMINENT DECIDUOUS TREE W/ELEVATION, SIZE & SPECIES
- 96.2 / 18" P— PROMINENT CONIFEROUS TREE W/ELEVATION, SIZE & SPECIES
- ☆— LIGHT POLE
- RCP— REINFORCED CONCRETE PIPE
- CI— CAST IRON
- CMP— CORRUGATED METAL PIPE
- ASB— ASBESTOS PIPE
- VC— VITRIFIED CLAY
- PVC— POLYVINYL CHLORIDE
- SMH ⊙— SEWER MANHOLE
- DMH ⊙— DRAIN MANHOLE
- CB ⊞— CATCH BASIN
- SIGN
- ⊙— MANHOLE (UNKNOWN UTILITY)
- (FD)— FOUND
- DH ⊙— DRILL HOLE
- DHSB ⊞— DRILL HOLE IN STONE BOUND
- VGC— VERTICAL GRANITE CURB
- BIT. CONC.— BITUMINOUS CONCRETE
- CLF— CHAIN LINK FENCE
- 12" D— DRAIN LINE
- 8" S— SEWER LINE
- OCS— OUTLET CONTROL STRUCTURE
- BFF— BACKFLOW PREVENTER

**PROPERTY INFORMATION**

Account Number 1116570 Parcel Number 0306051000 Ward 3  
 Property Location 252 SHAWMUT AVENUE  
 Contact ERIC TAM  
 Project Name 252 SHAWMUT AVENUE  
 Neighborhood SOUTH END Extended Zip Code 02118  
 Type of Premise RESIDENTIAL

**PROPOSED SEWAGE FLOW**

RESIDENTIAL USE: 7 BEDROOMS x 110 GPD/BEDROOM = 770 GPD  
**TOTAL SEWAGE FLOW = 770 GPD**

**BOSTON LAND USE CODE: "R3"**  
(THREE FAMILY DWELLING)

DRAWN BY: KNB DESIGNED BY: KNB  
 CHECKED BY: FK APPROVED BY: AD

10 0 5 10 20  
 HORIZONTAL GRAPHIC SCALE IN FEET

**REVISIONS**

NO.	DATE	DESCRIPTION
1	8/24/22	BWSC COMMENTS

DATE: 04-07-2022  
 SCALE: 1" = 10'  
 SHEET 1 OF 2

**252 SHAWMUT AVENUE**  
(WITHIN GCOD)

BOSTON, MASSACHUSETTS

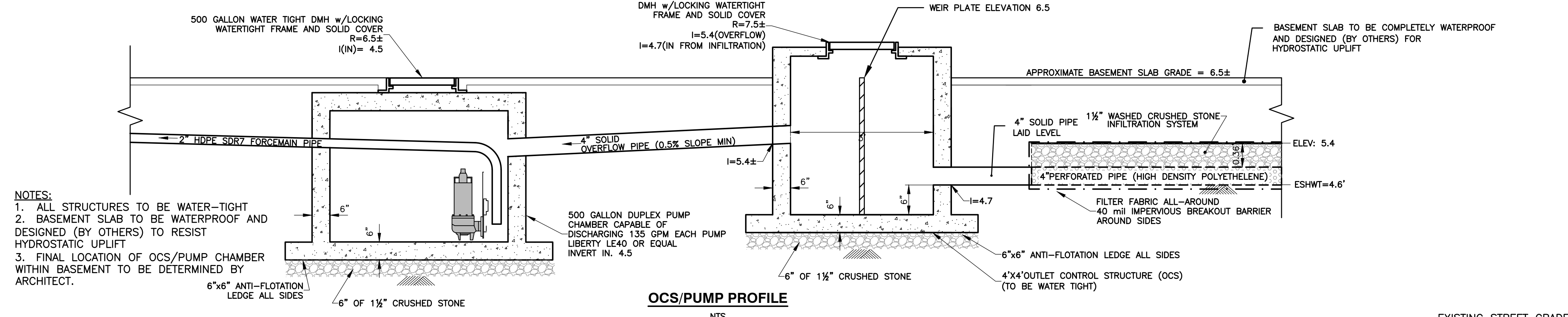
**SITE PLAN**  
BWSC# 22165

**HANCOCK ASSOCIATES**  
 121 E. Berkeley Street, 4th Floor, Boston, MA 02118  
 TEL: 617-357-8145 FAX: 617-357-9495 WEB: hwmoores.com

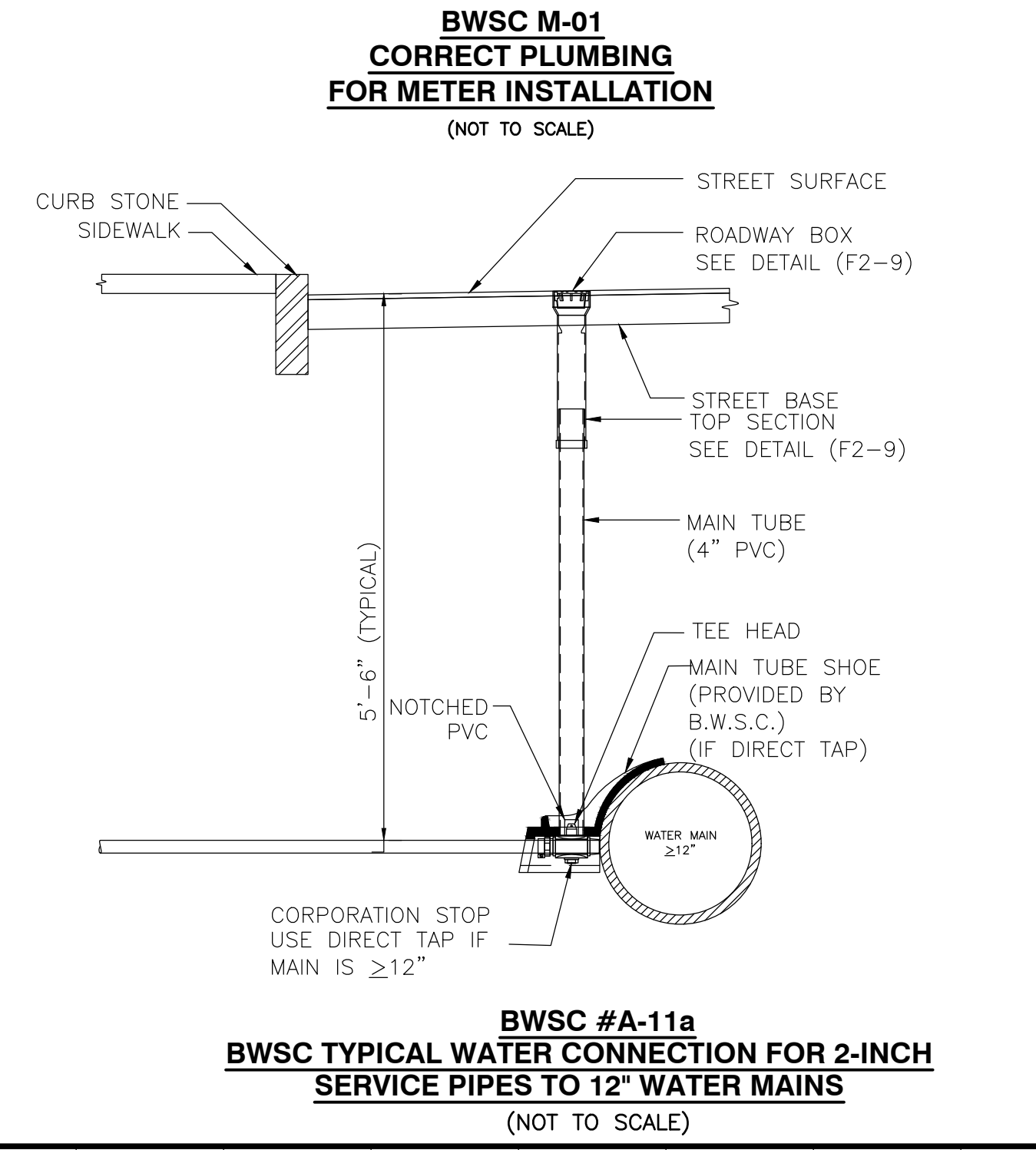
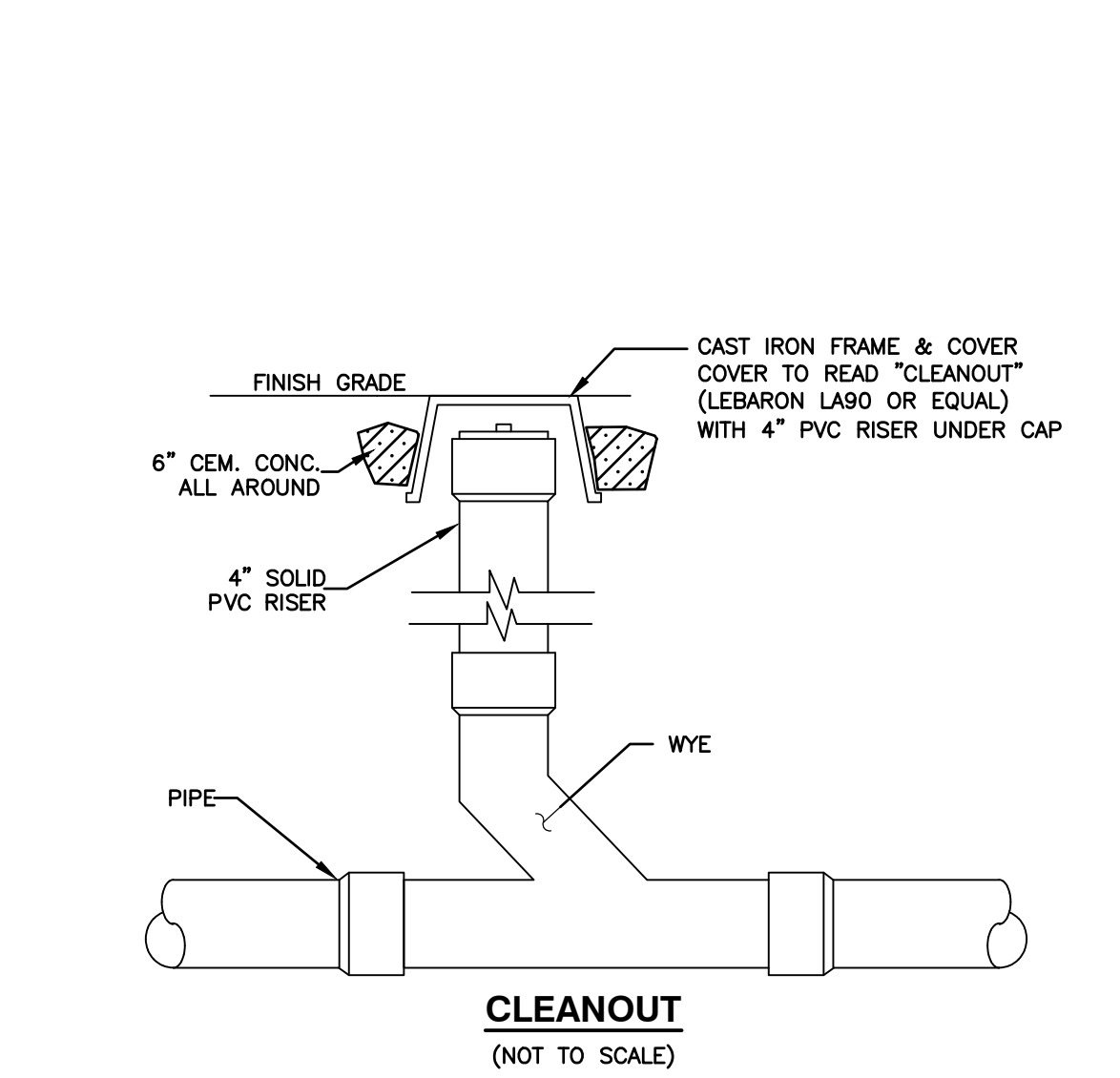
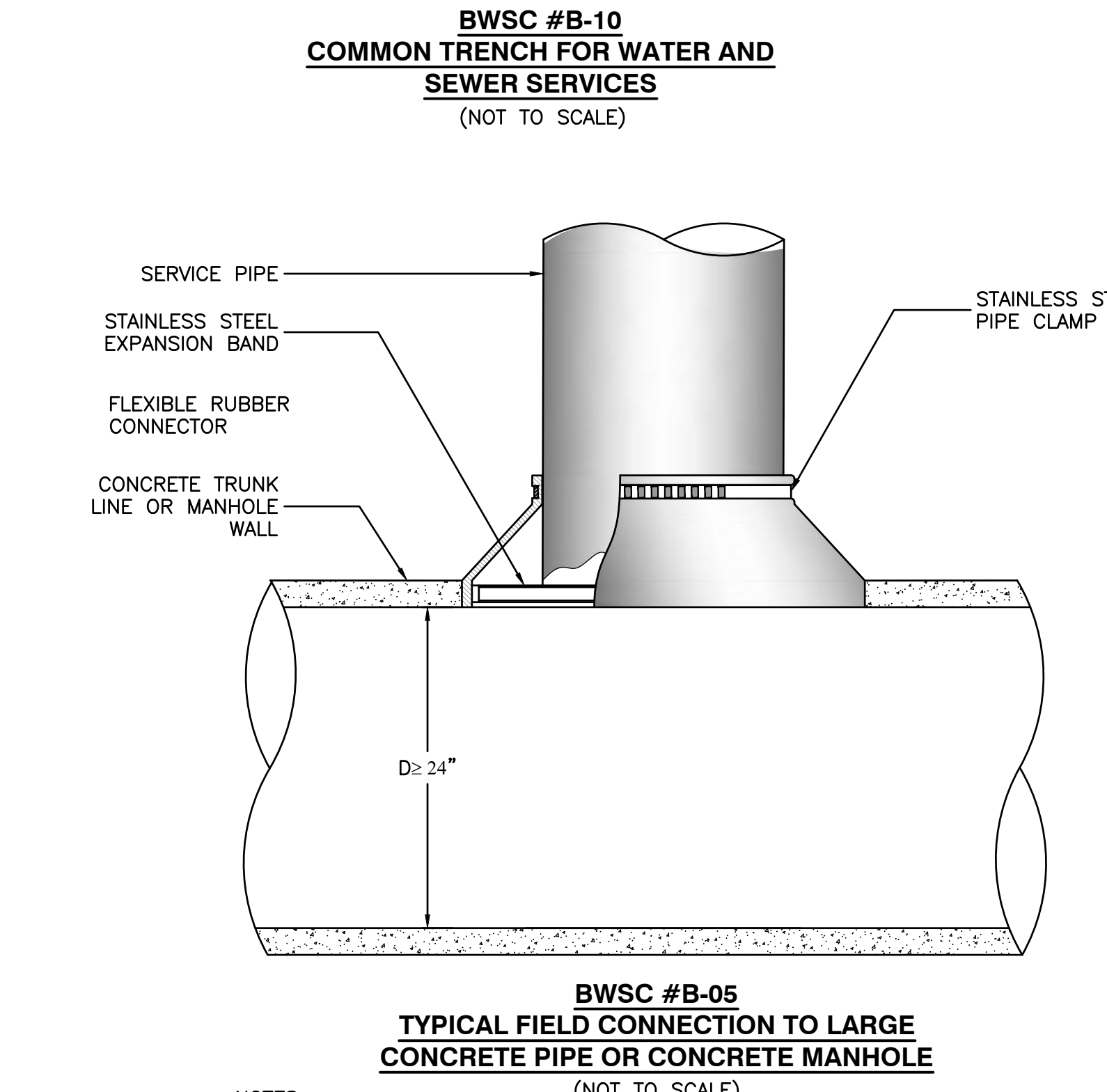
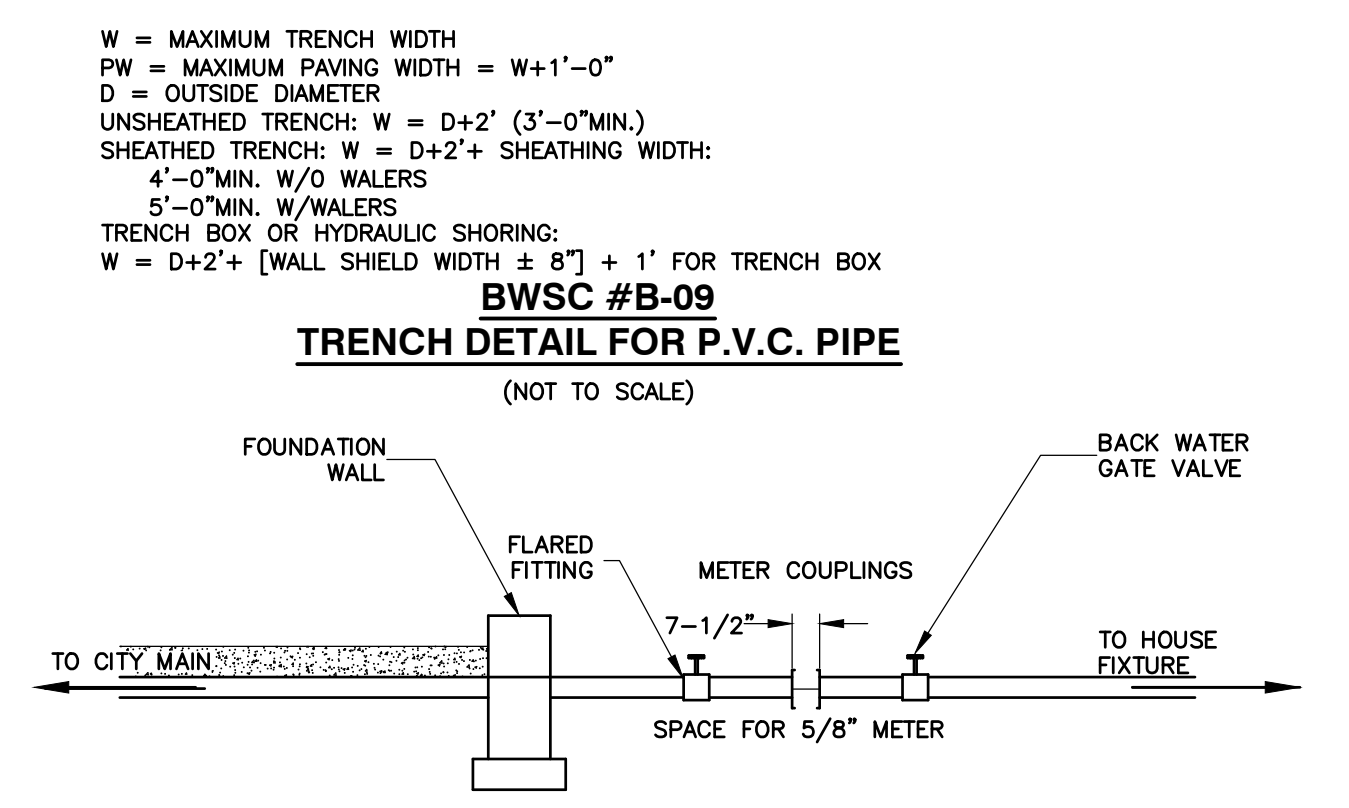
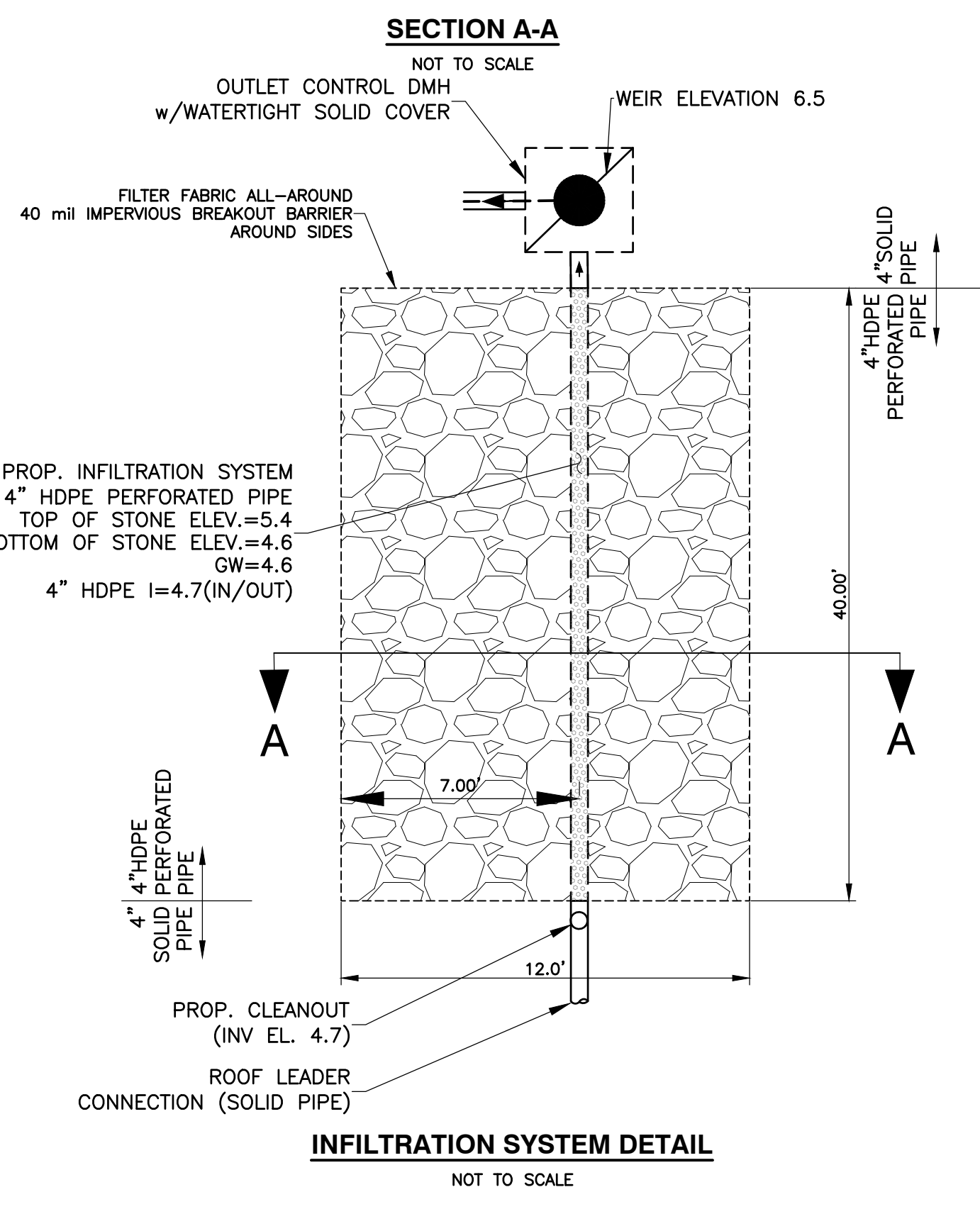
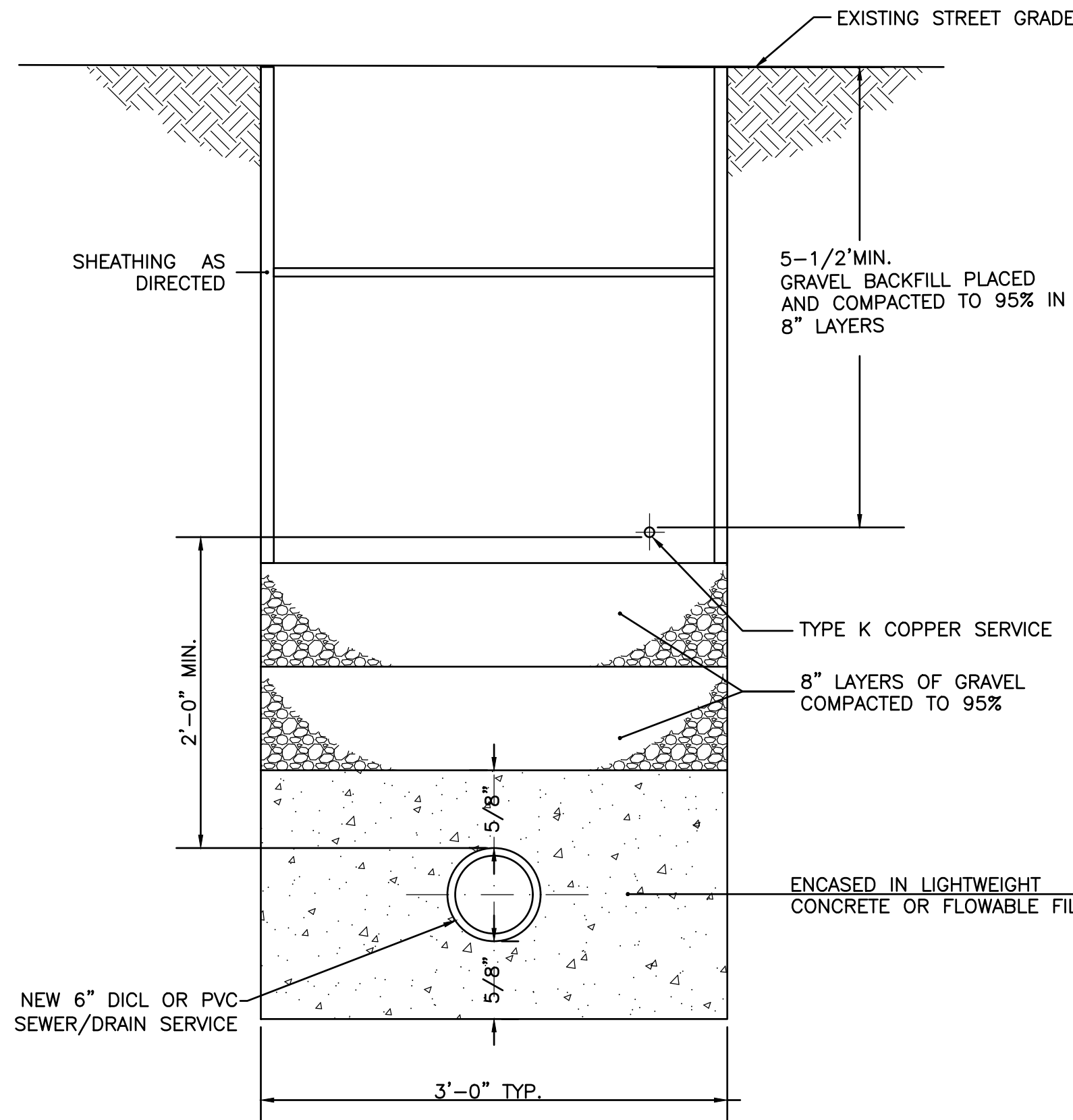
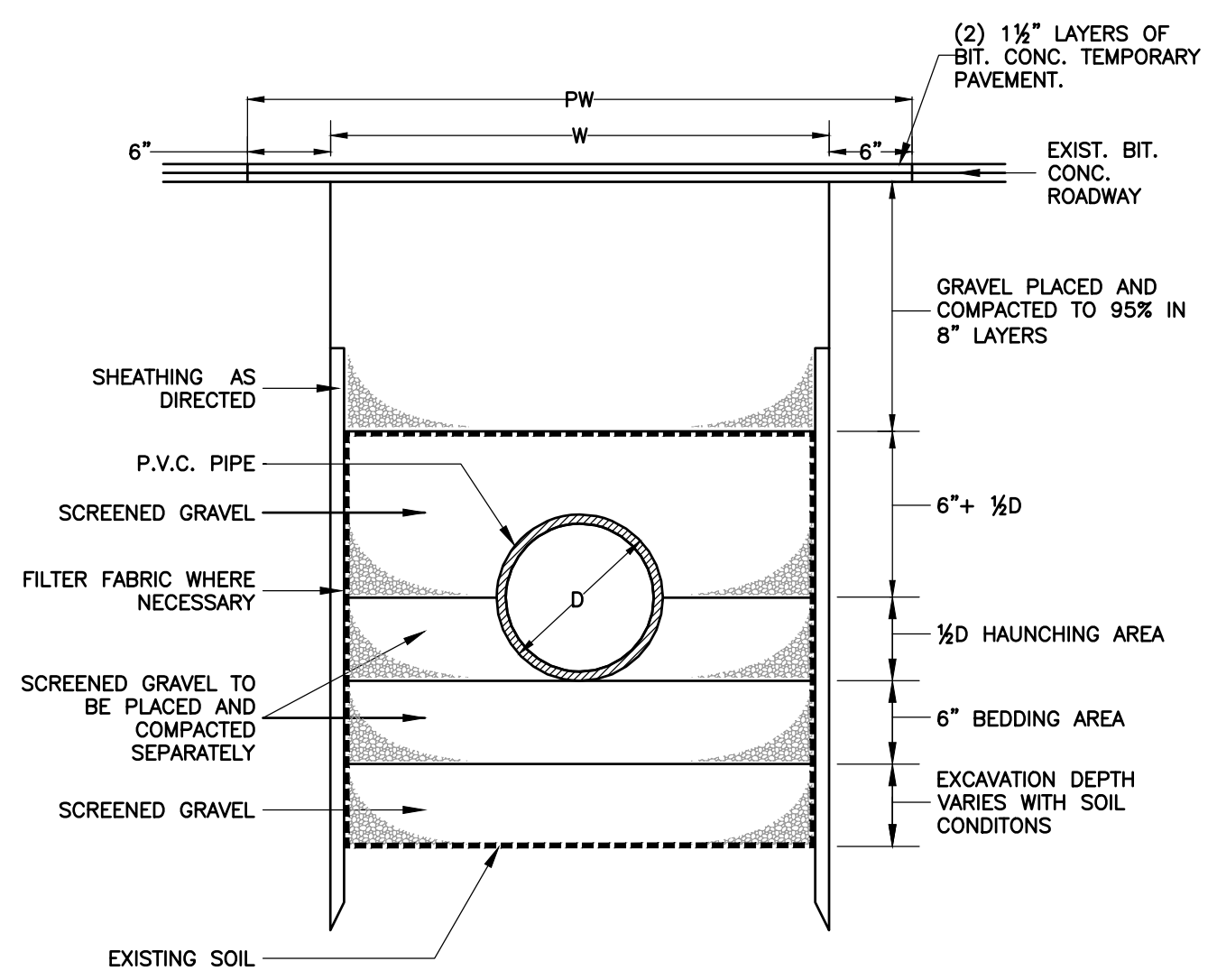
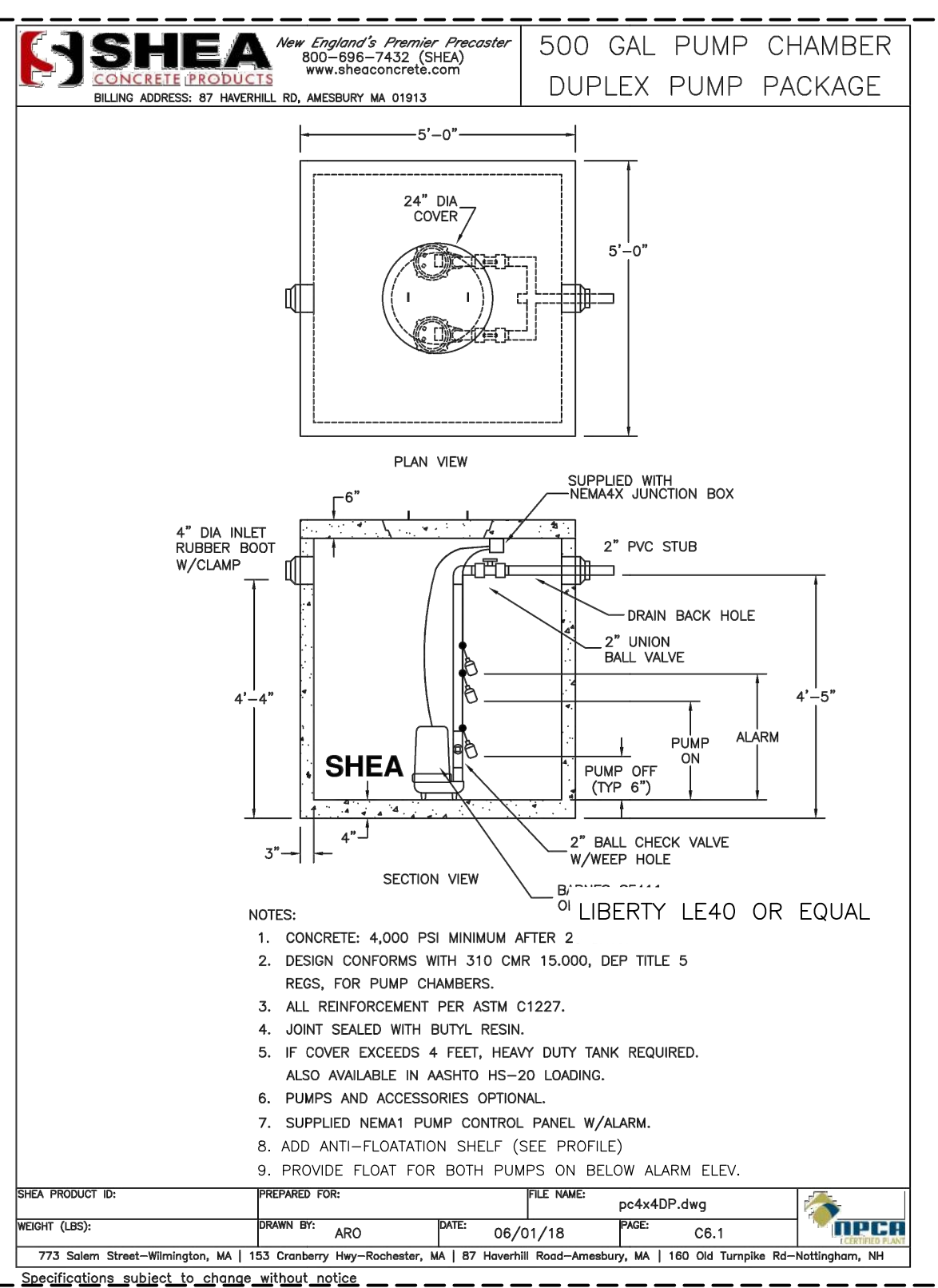
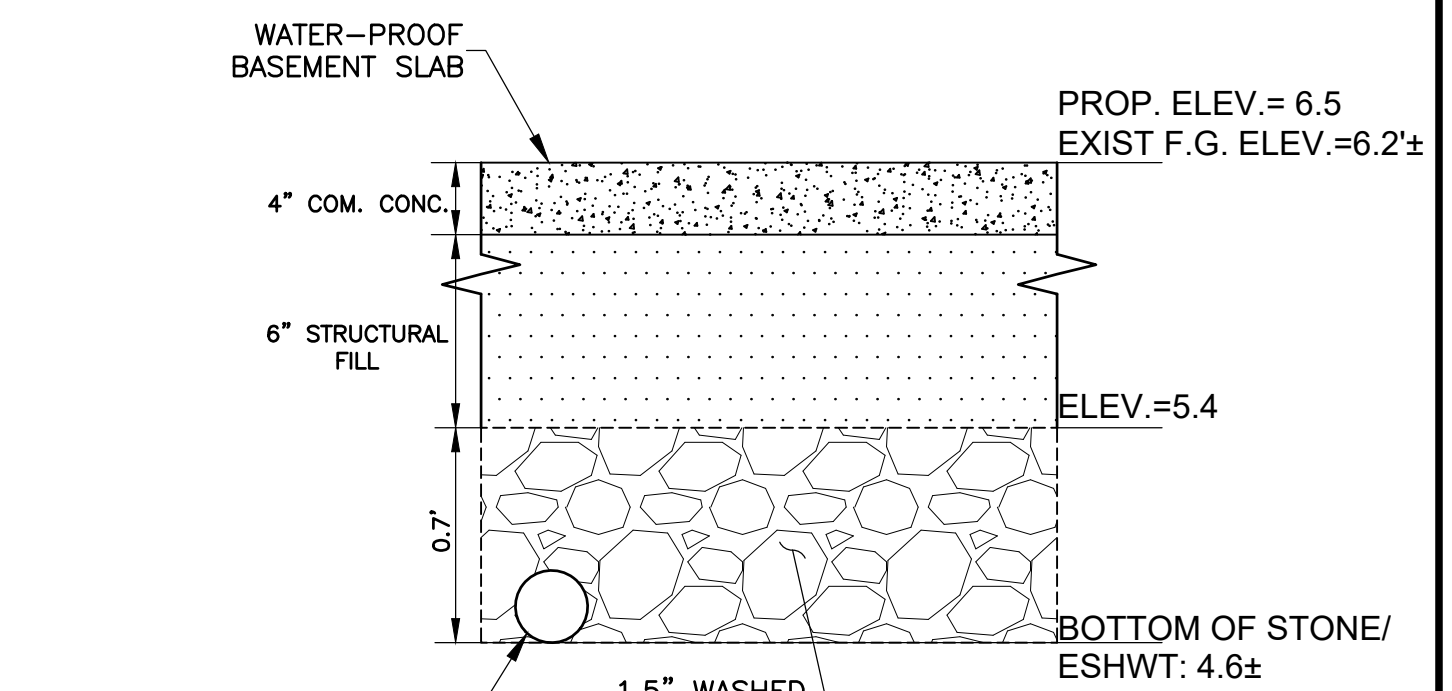
**OWNER/PROJECT**  
 ADDRESS/APPLICANT  
 PLT SHAWMUT AVE LLC  
 252 SHAWMUT AVENUE  
 SOUTH END, BOSTON, MA

**CIVIL ENGINEER**  
 HANCOCK ASSOCIATES  
 121 BERKELEY STREET  
 BOSTON, MA 02118  
 TEL: 617-357-8145





- NOTES:**
1. ALL STRUCTURES TO BE WATER-TIGHT
  2. BASEMENT SLAB TO BE WATERPROOF AND DESIGNED (BY OTHERS) TO RESIST HYDROSTATIC UPLIFT
  3. FINAL LOCATION OF OCS/PUMP CHAMBER WITHIN BASEMENT TO BE DETERMINED BY ARCHITECT.



**REFERENCES:**  
 EXISTING PROPERTY LINE, TOPOGRAPHIC AND UTILITY INFORMATION IS TAKEN FROM A DIGITAL FILE RECEIVED ON AUGUST 17, 2021 AND NAMED "25431E0.dwg" OF A PLAN TITLED "EXISTING CONDITIONS, 252 SHAWMUT AVENUE, BOSTON, MA 02118" AND DATED NOVEMBER 9, 2021. PLAN PREPARED BY HANCOCK ASSOCIATES OF BOSTON, MA.  
 PROPOSED ARCHITECTURAL BUILDING INFORMATION HAS BEEN TAKEN FROM A DIGITAL FILE RECEIVED ON NOVEMBER 5, 2021 AND NAMED "PROPOSED FLOOR PLAN". PLAN PREPARED BY KHALSA DESIGN OF SOMERVILLE, MA.

DRAWN BY: KNB DESIGNED BY: KNB  
 CHECKED BY: FK APPROVED BY: AD



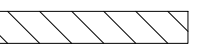


REVISIONS		DATE	DESCRIPTION
1	8/24/22	ISSUE	BWSC COMMENTS
			DATE: 04-07-2022
			SCALE: AS NOTED
			SHEET 2 OF 2

252 SHAWMUT AVENUE  
 SOUTH END, BOSTON, MASSACHUSETTS

**DETAILS**  
 BWSC# 22165  
**HANCOCK ASSOCIATES**  
 121 E. Berkeley Street, 4th Floor, Boston, MA 02118  
 Tel: 617-357-8145 Fax: 617-357-9495 web: hancock.com

ZONING CHART				
252 SHAWMUT STREET BOSTON, MA LOT SIZE: 1,204 SF +/- ZONING DISTRICT: SOUTH END NEIGHBORHOOD SUBDISTRICT: MFR/L5	REQUIRED	EXISTING	PROPOSED	COMPLIANCE
LOT AREA PER DU, MIN	NONE	301 SF / DU (4 DU)	401 SF / DU (3 DU)	COMPLIES
LOT WIDTH (MIN.)	NONE	+/- 23.5'	+/- 23.5'	COMPLIES
LOT FRONTAGE (MIN.)	NONE	+/- 23.5'	+/- 23.5'	COMPLIES
FAR	2.0 (2,408 S.F.)	2.29 / 2,764 S.F. PER DATABASE	4.83 / 4,951 S.F.	DOES NOT COMPLY
MAX HEIGHT	70'	46'	46'	COMPLIES
USABLE OPEN SPACE MIN. SF PER DWELLING UNIT	200	226 S.F. TOTAL 56 / DU	198 S.F. TOTAL (BALCONIES) 66 S.F. PER DU	DOES NOT COMPLY
FRONT SETBACK	EX BLDG ALIGNMENT	2.9'	2.9'	COMPLIES
LEFT SIDE SETBACK	NONE	1.1'	0'	COMPLIES
RIGHT SIDE SETBACK	NONE	4.3'	0'	COMPLIES
REAR SETBACK	20'	2.4'	4.2'	DOES NOT COMPLY
REAR YARD MAX. OCC. BY ACCESSORY BUILDING	25%	N/A	N/A	N/A
PARKING	.7 / DU	2.8 SPACES REQUIRED 0 SPACES PROVIDED	2.1 SPACES REQUIRED 0 SPACES PROVIDED	DOES NOT COMPLY

**SITE PLAN LEGEND**

-  EXISTING FOOTPRINT
-  PROPOSED ADDITION
-  OUTLINE OF EXISTING BUILDING
-  LANDSCAPE
-  REQUIRED SETBACKS

**NOTE:**  
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**PROJECT NAME**  
**252 SHAWMUT**

**PROJECT ADDRESS**  
252 SHAWMUT STREET  
BOSTON, MA

**CLIENT**  
**PAK LAM TAM &  
ERIC TAM**

**ARCHITECT**

**DESIGN**

**KHALSA**

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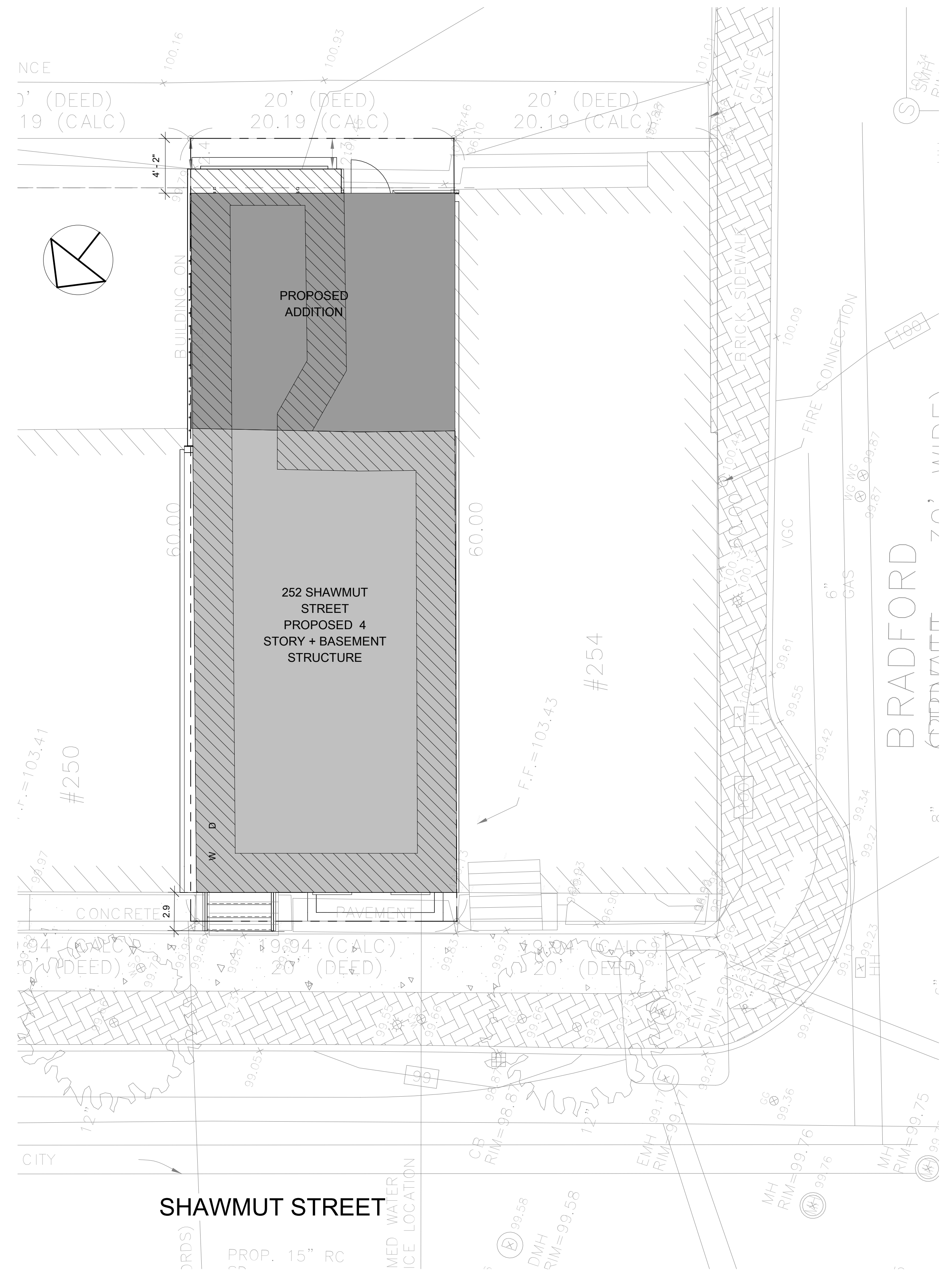
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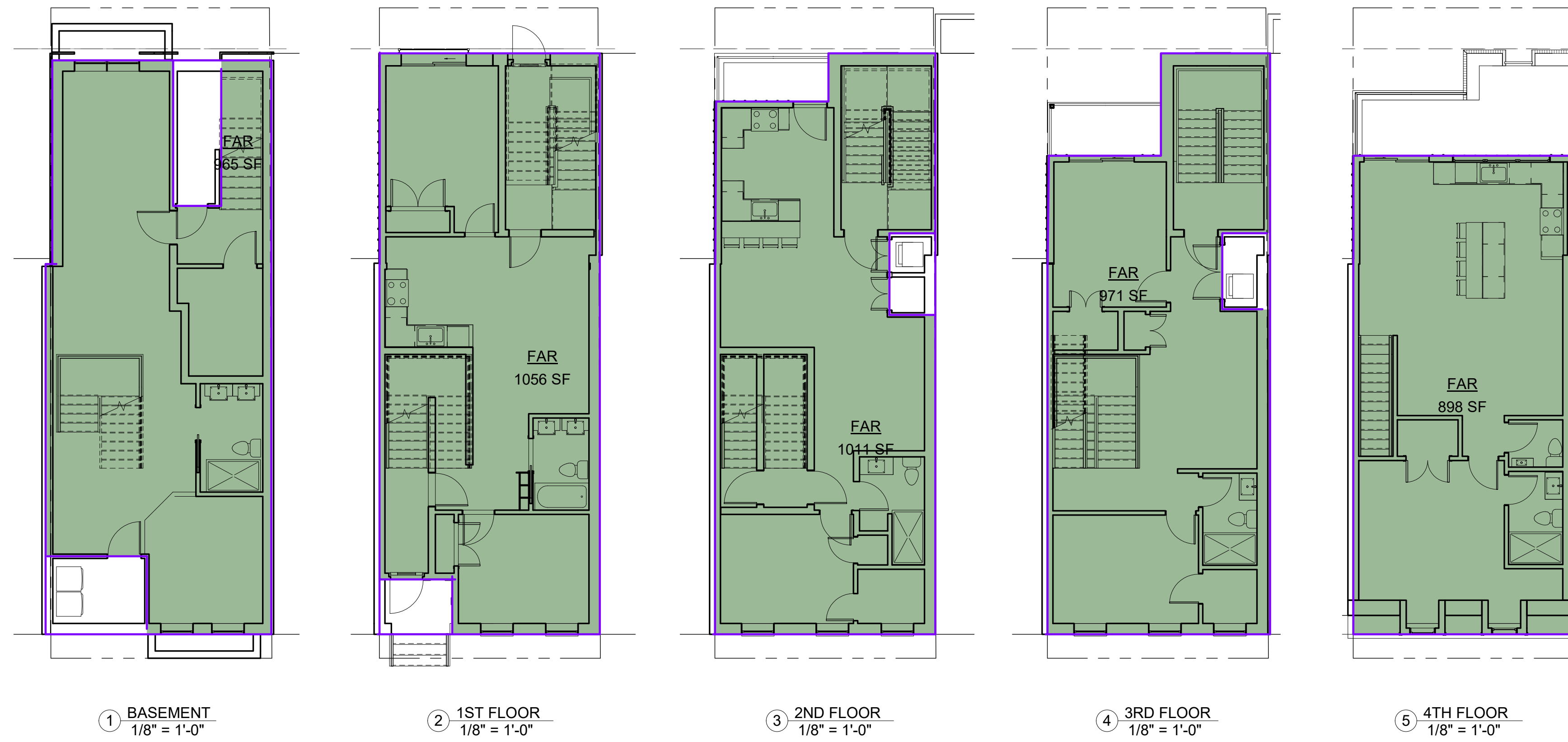
No.	Description	Date

**ARCHITECTURAL  
SITE PLAN**

**A-020**

252 SHAWMUT





Gross Floor Area (per zoning)		
Area	Level	Name
965 SF	BASEMENT	FAR
1056 SF	1ST FLOOR	FAR
1011 SF	2ND FLOOR	FAR
971 SF	3RD FLOOR	FAR
898 SF	4TH FLOOR	FAR
4900 SF		



AREA SCHEDULE (UNIT AREA)		
Area	Name	Level
<b>COMMON AREA</b>		
69 SF	COMMON	2ND FLOOR
161 SF	COMMON	3RD FLOOR
122 SF	COMMON	BASEMENT
151 SF	COMMON	1ST FLOOR
100 SF	COMMON	1ST FLOOR
154 SF	COMMON	2ND FLOOR
756 SF		
756 SF	TOTAL COMMON AREA	
<b>LEASABLE AREA</b>		
820 SF	Unit 1	BASEMENT
804 SF	Unit 1	1ST FLOOR
1623 SF		
761 SF	Unit 2	2ND FLOOR
761 SF		
63 SF	Unit 3	2ND FLOOR
843 SF	Unit 3	3RD FLOOR
911 SF	Unit 3	4TH FLOOR
1817 SF		
4201 SF	TOTAL LEASABLE AREA	
<b>STORAGE</b>		
55 SF	MECH	BASEMENT
55 SF		
90 SF	STORAGE	BASEMENT
90 SF		
145 SF	TOTAL STORAGE/MECH	
5102 SF	TOTAL AREA	

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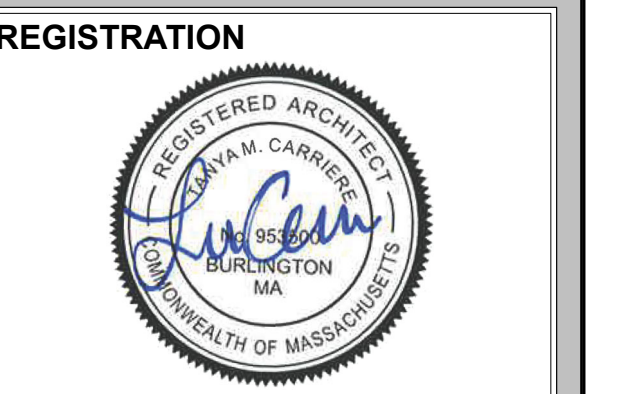
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ERIC TAM

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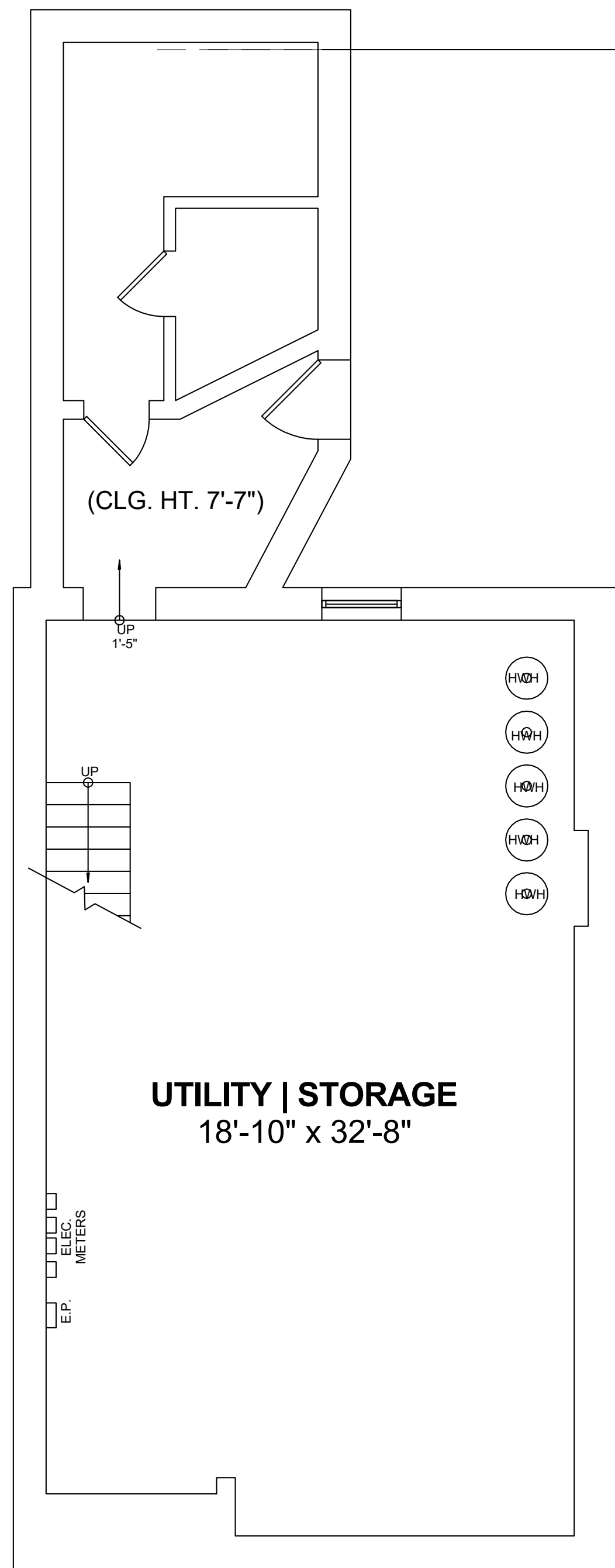
**REVISIONS**

No.	Description	Date

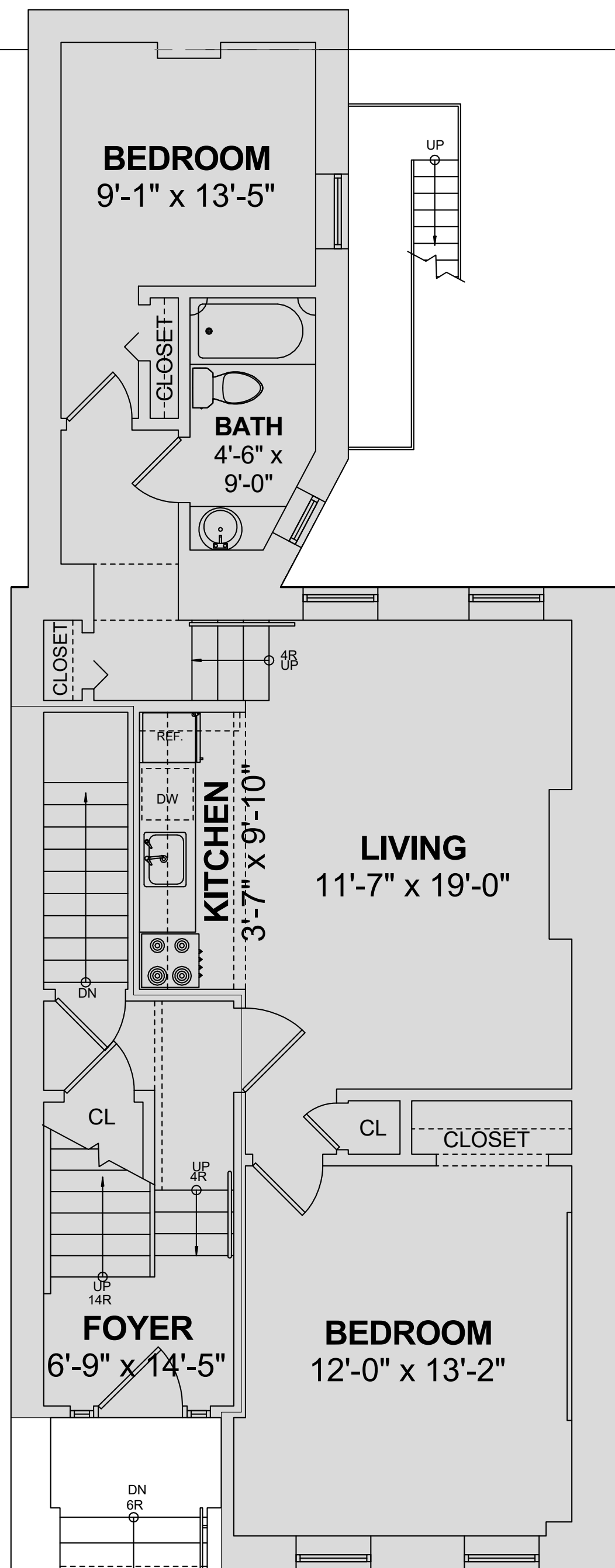
**AREA PLANS**

**A-021**

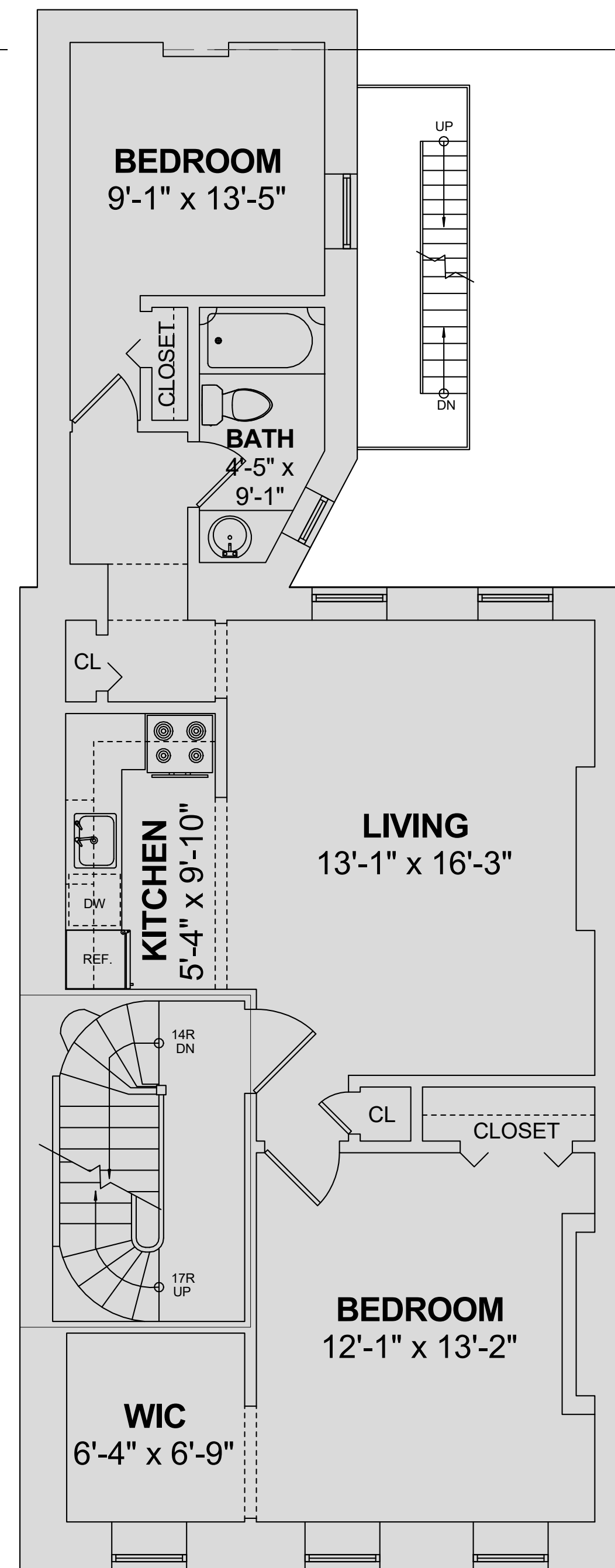
252 SHAWMUT



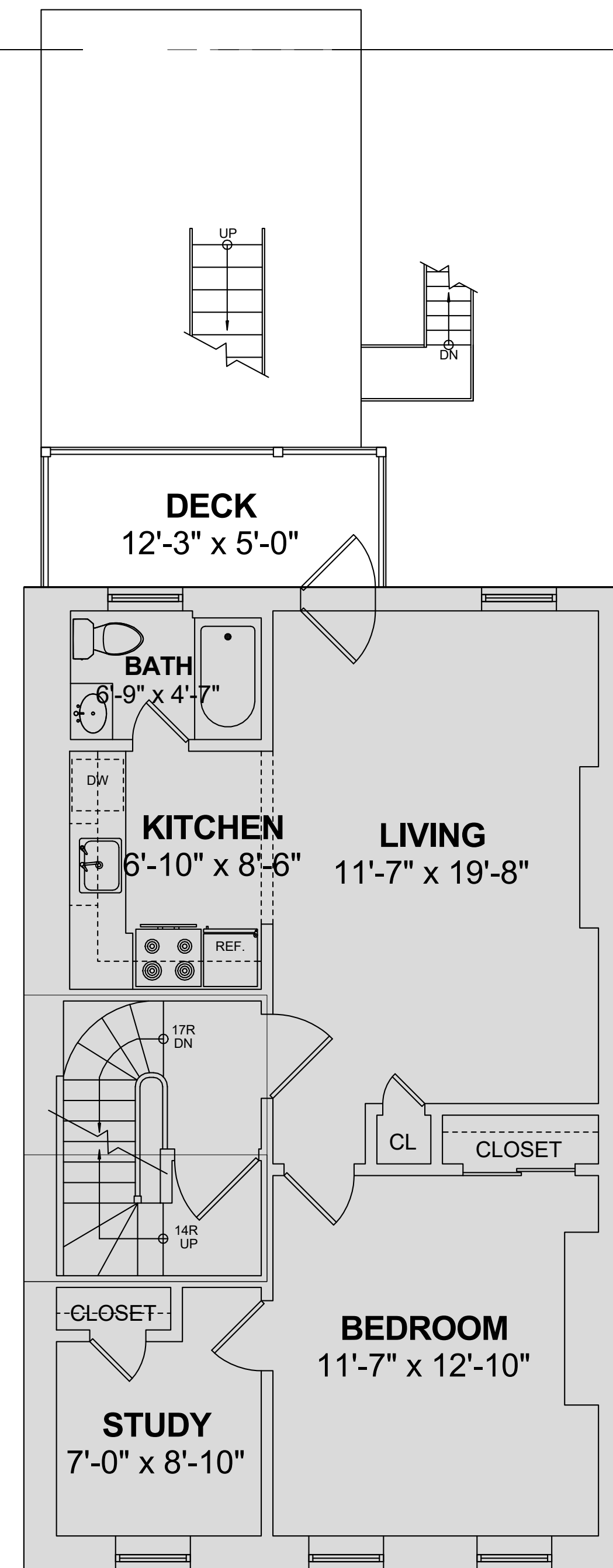
1 BASEMENT  
1/4" = 1'-0"



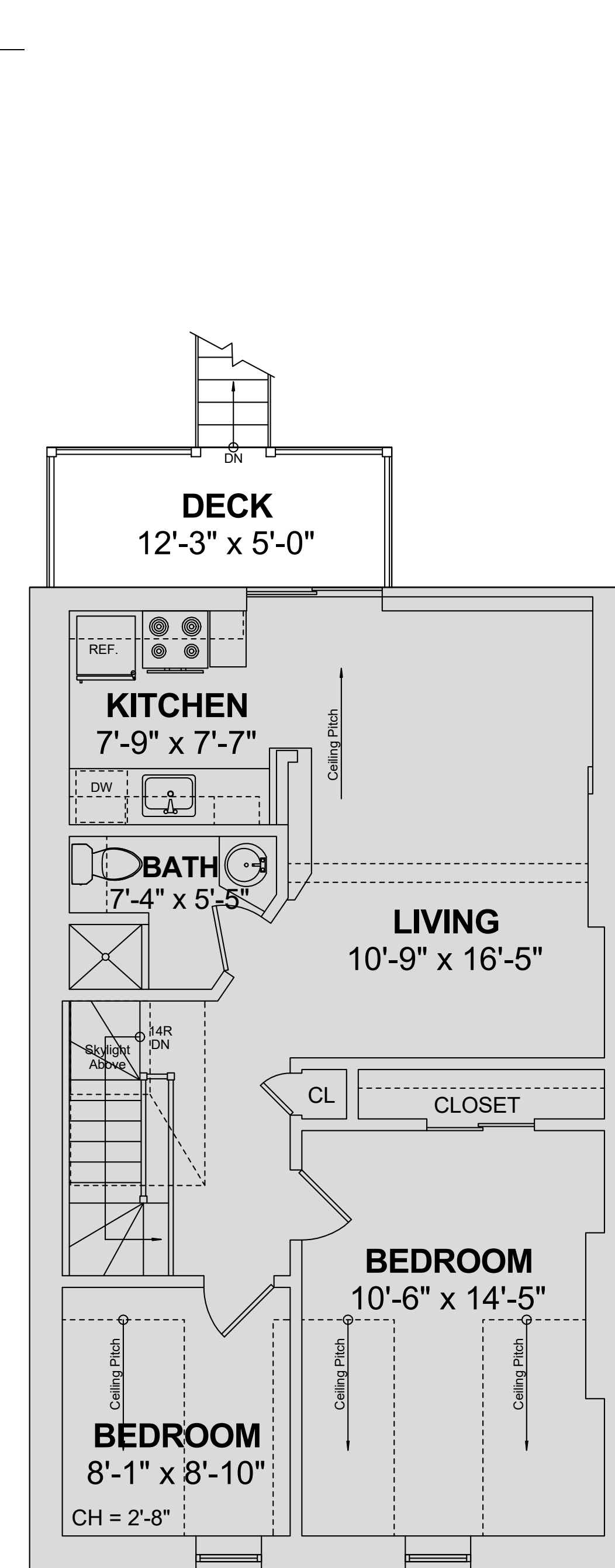
2 1ST FLOOR  
1/4" = 1'-0"



3 2ND FLOOR  
1/4" = 1'-0"



4 3RD FLOOR  
1/4" = 1'-0"



5 4TH FLOOR  
1/4" = 1'-0"

PROJECT NAME

252 SHAWMUT

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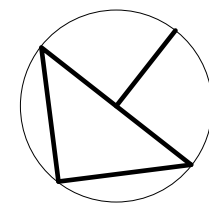
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No.	Description	Date

EXISTING FLOOR  
PLANS

EX-101

252 SHAWMUT



PROJECT NAME

252 SHAWMUT

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No.	Description	Date

FLOOR PLANS

A-101

252 SHAWMUT



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PROJECT NAME

252 SHAWMUT

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252 SHAWMUT STREET  
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CLIENT

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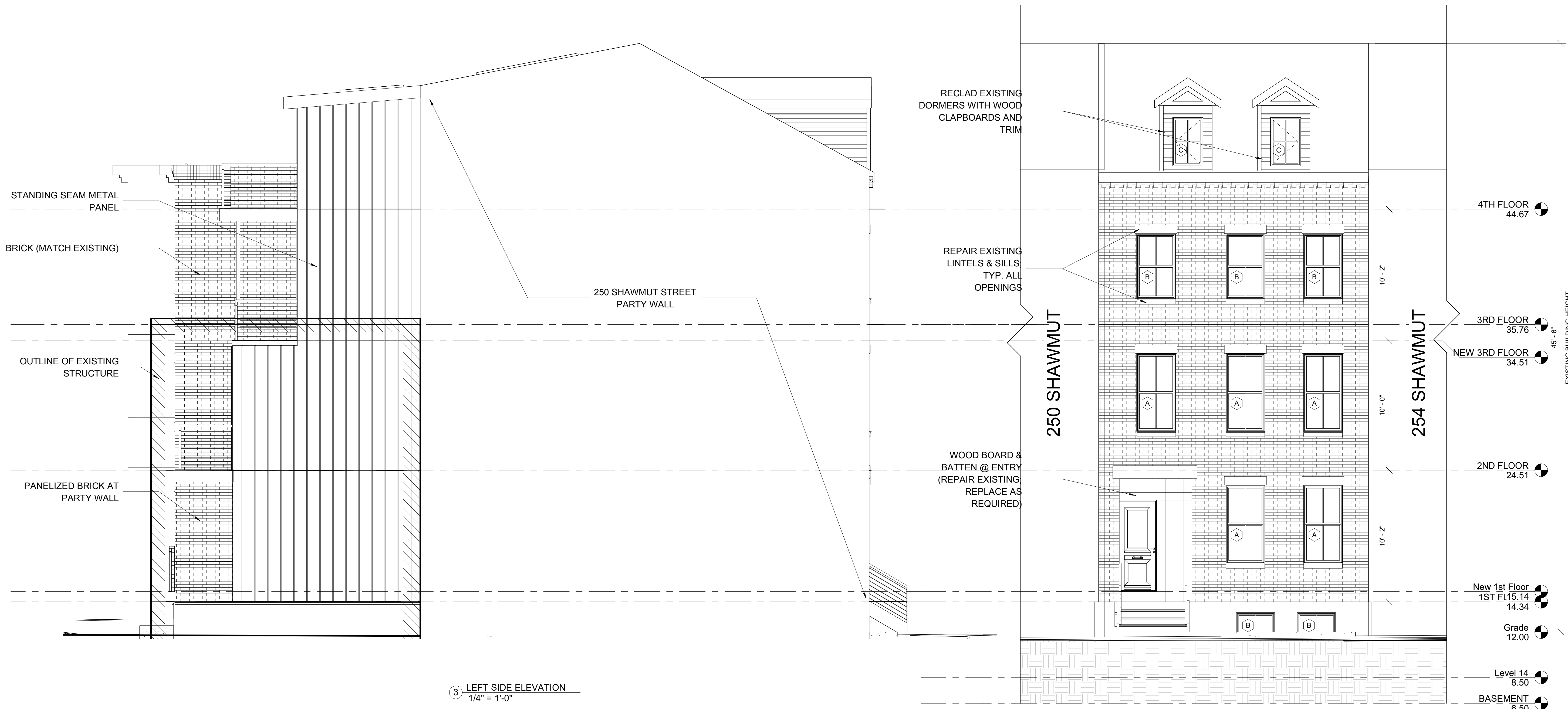
REVISIONS

No.	Description	Date

FRONT & LEFT  
SIDE  
ELEVATIONS

A-300

252 SHAWMUT

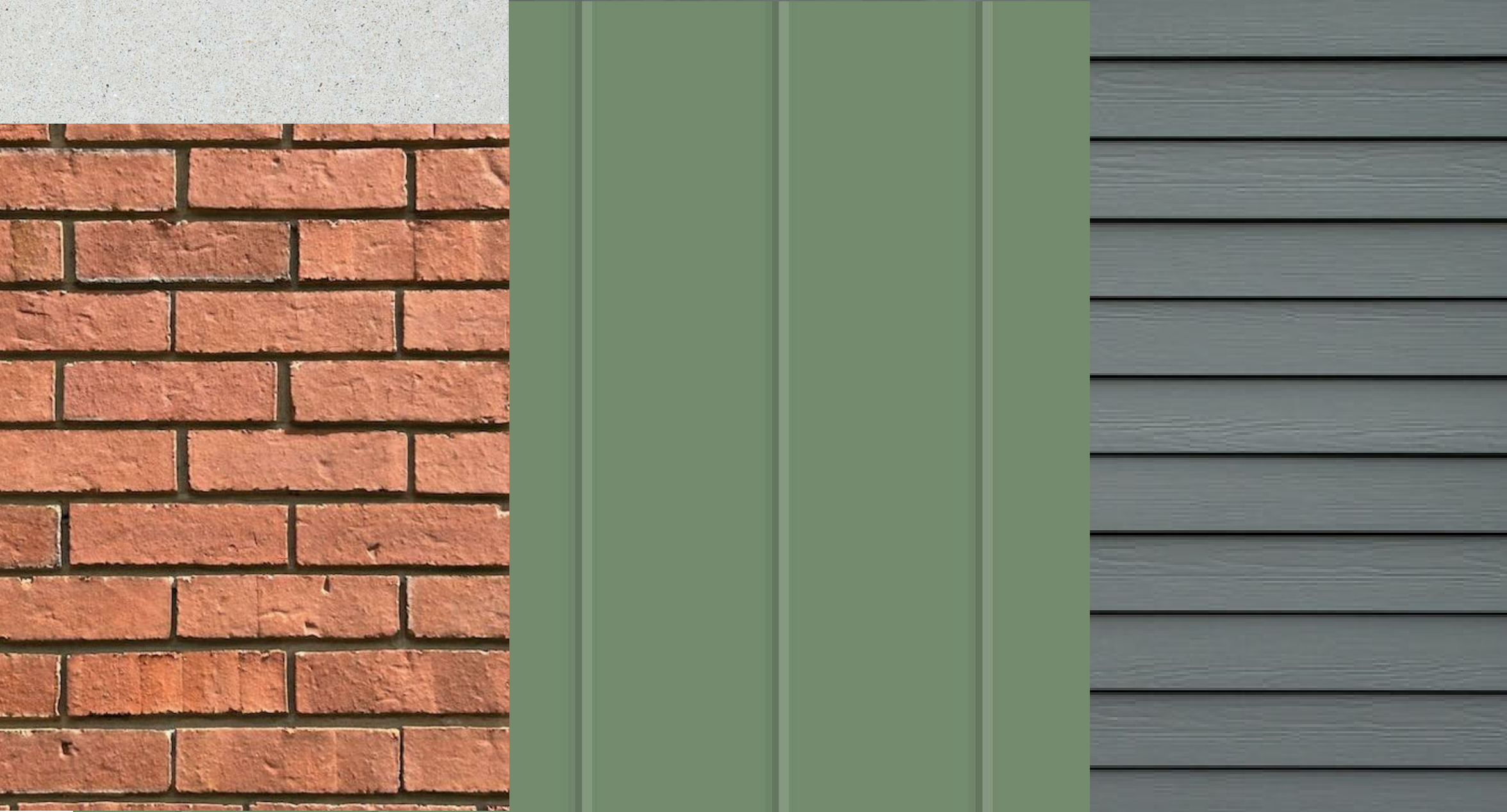


3 LEFT SIDE ELEVATION  
1/4" = 1'-0"

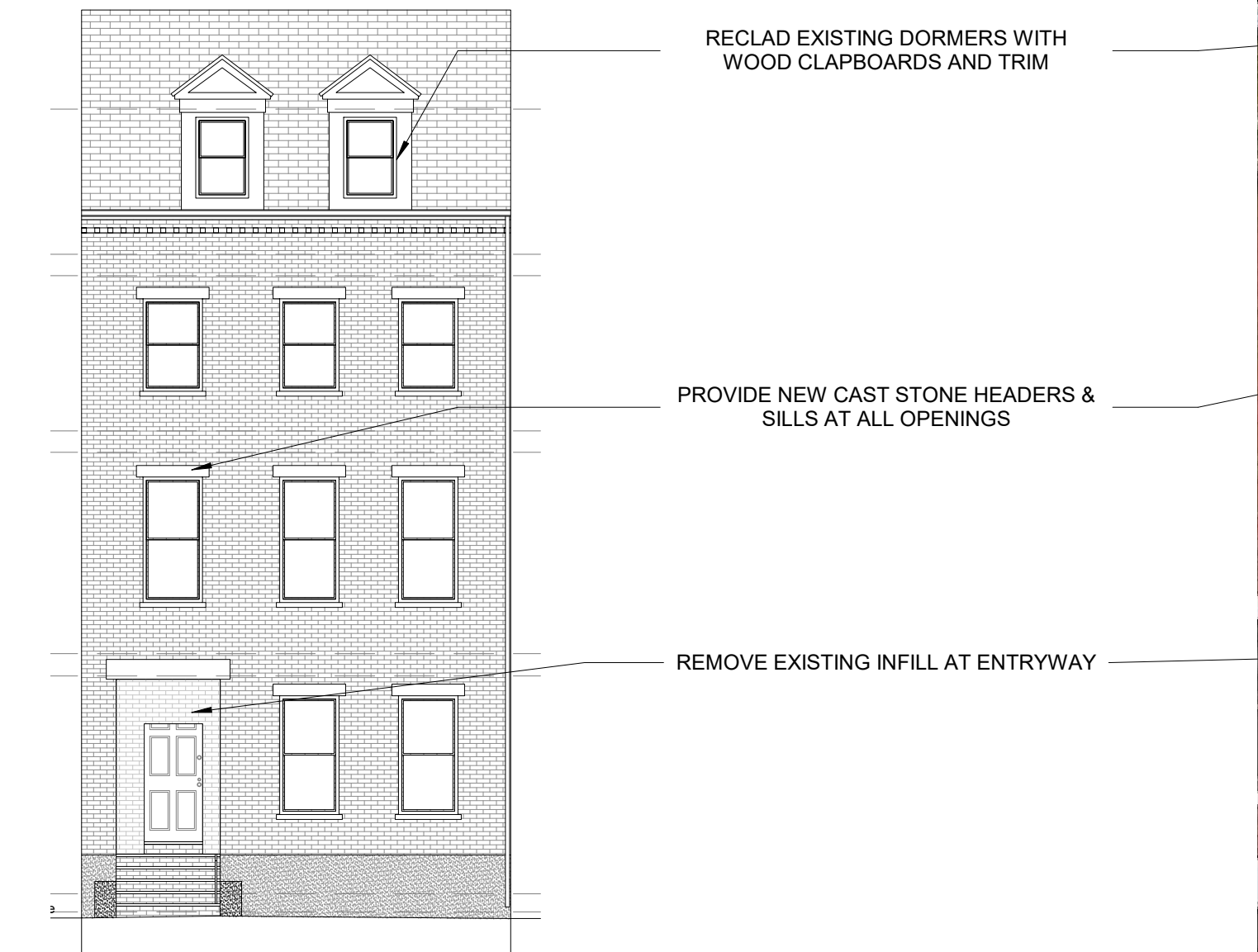
1 FRONT ELEVATION  
1/4" = 1'-0"

MATERIALS:

- REPAIR EXISTING LINTELS & SILLS
- STANDING SEAM METAL PANELS : PATINA GREEN
- WOOD CLAPBOARD

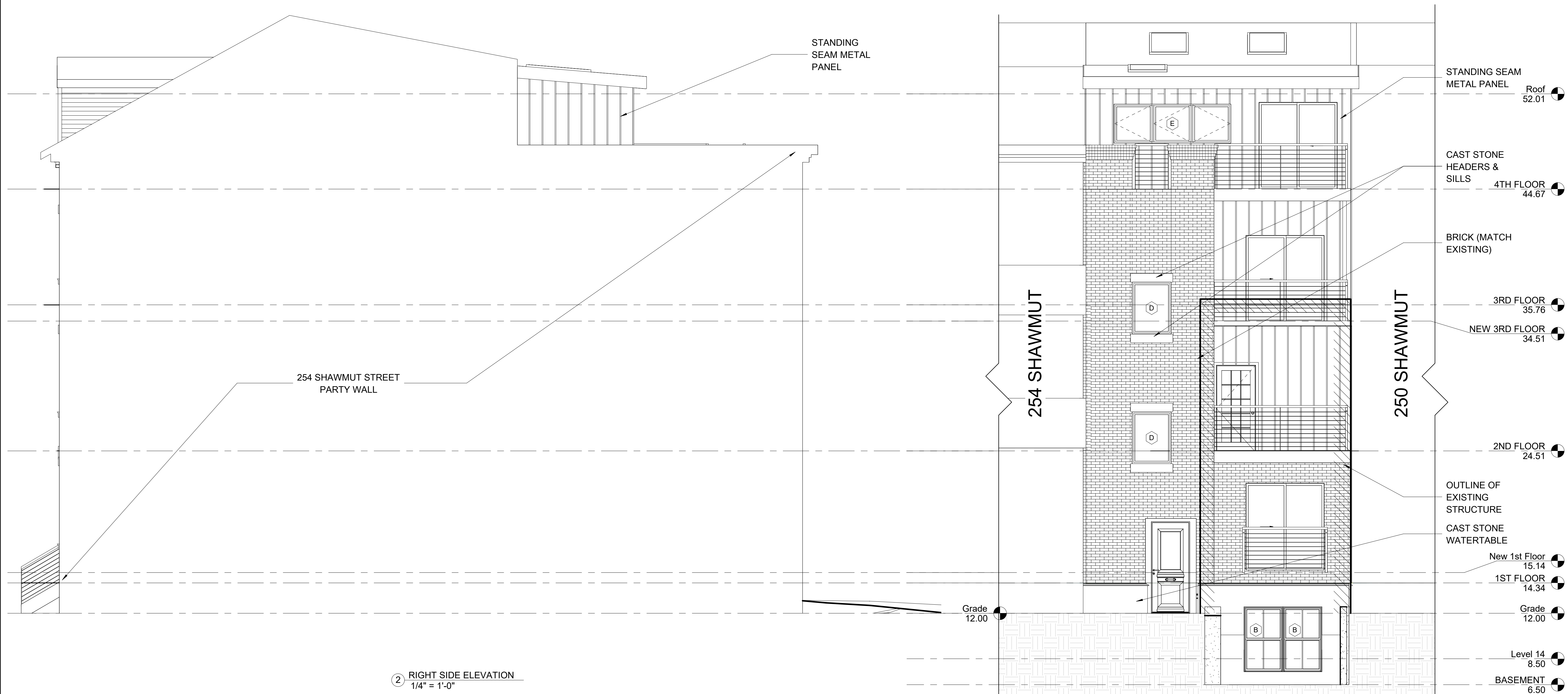


NEW BRICK AND MORTAR TO MATCH EXISTING



2 EXISTING - FRONT ELEVATION  
1/8" = 1'-0"

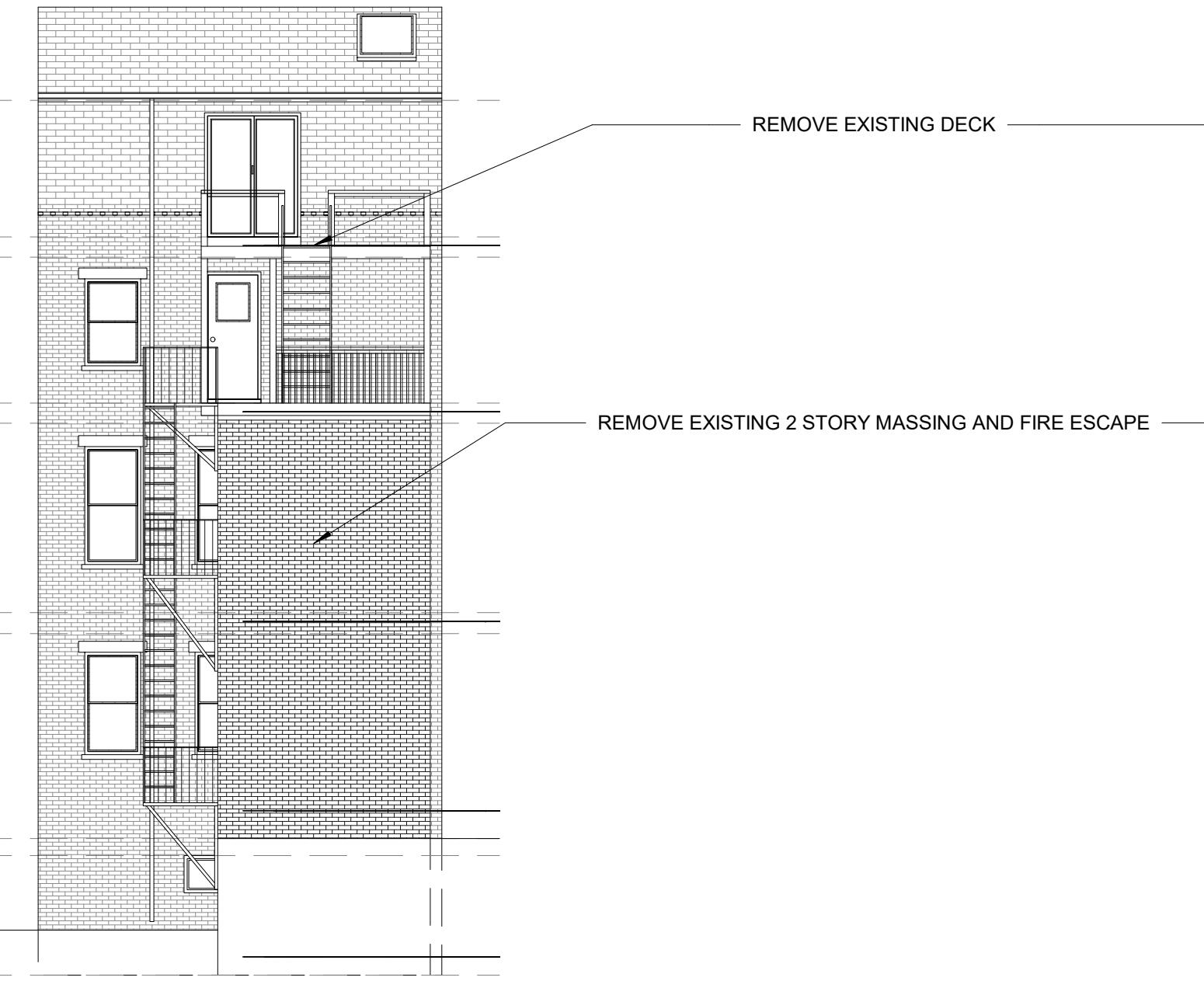
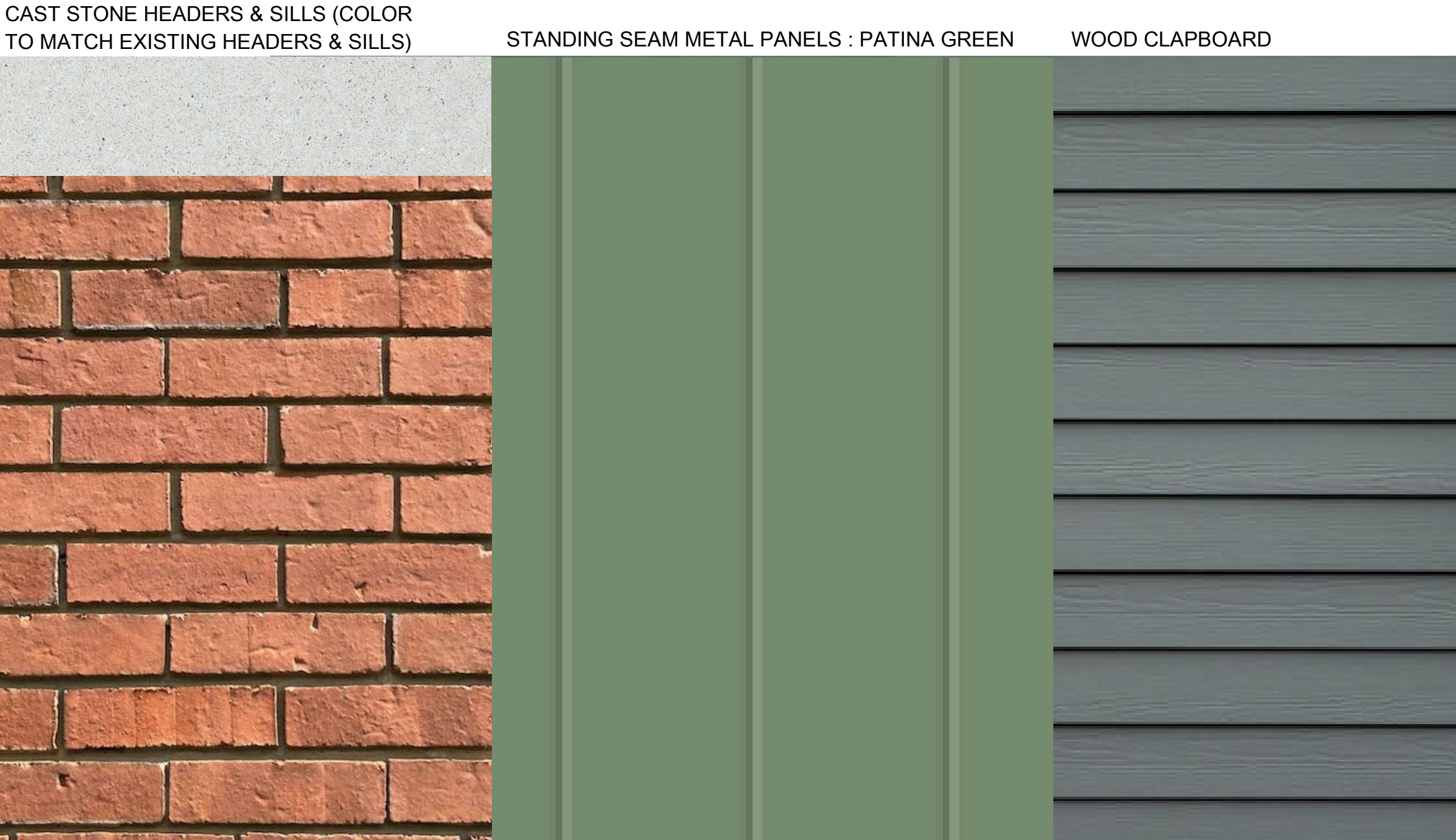




② RIGHT SIDE ELEVATION  
1/4" = 1'-0"

① REAR ELEVATION  
1/4" = 1'-0"

**MATERIALS:**



③ EXISTING REAR ELEVATION  
1/8" = 1'-0"



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252 SHAWMUT STREET  
BOSTON, MA

**CLIENT**  
**PAK LAM TAM &  
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**REVISIONS**

No.	Description	Date

**REAR & RIGHT  
SIDE  
ELEVATIONS**

**A-301**

252 SHAWMUT

PROJECT NAME

252 SHAWMUT

PROJECT ADDRESS  
252 SHAWMUT STREET  
BOSTON, MA

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ERIC TAM

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No.	Description	Date

WINDOW  
SCHEDULE

A-900

252 SHAWMUT

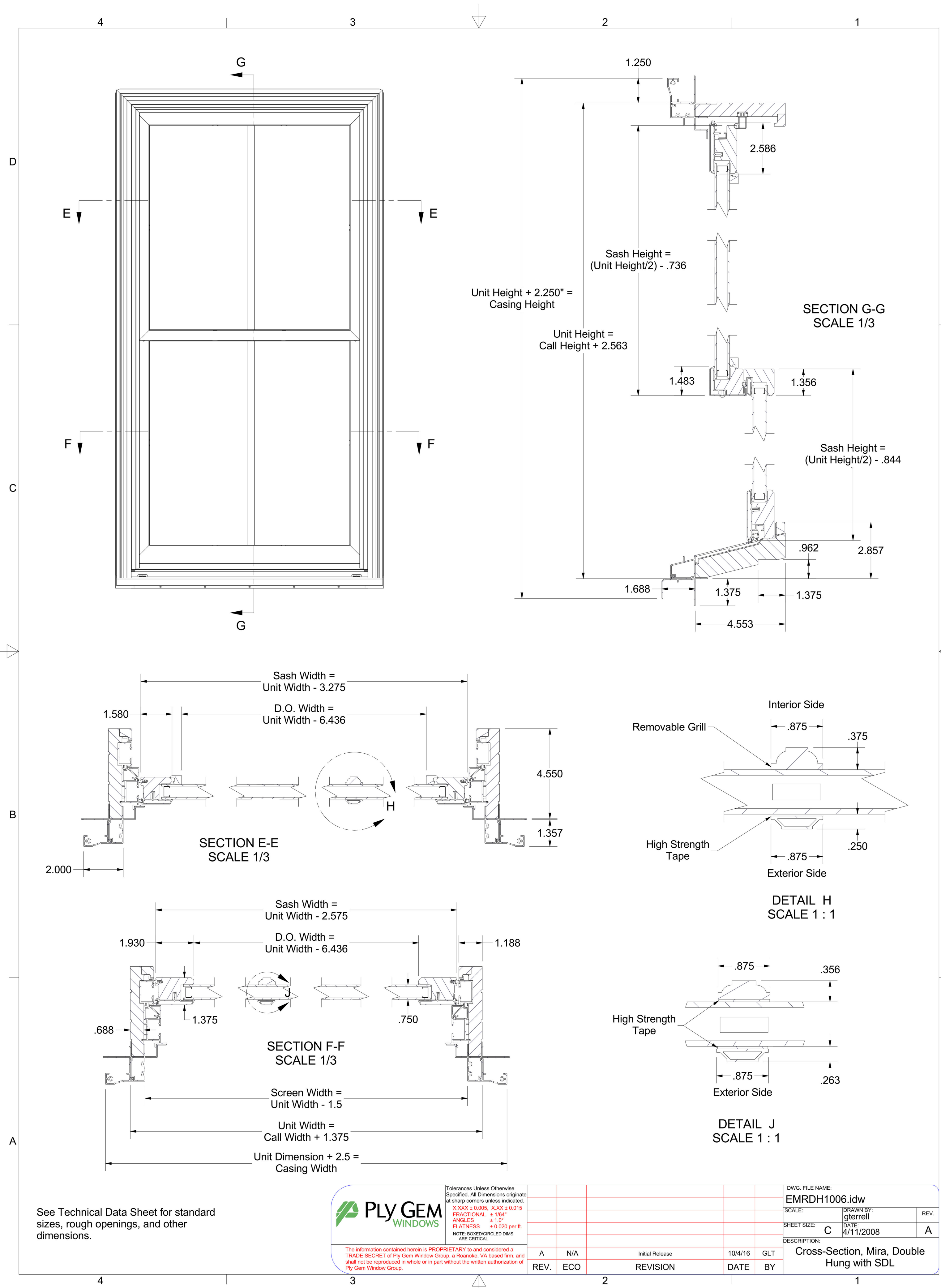
### WINDOW SCHEDULE

TYPE MARK	STYLE	WIDTH	HEIGHT	MATERIAL	MANUFACTURER
A	DOUBLE HUNG	3' - 0"	6' - 0"	WOOD CLAD	PLYGEM MIRA
B	DOUBLE HUNG	3' - 0"	5' - 0"	WOOD CLAD	PLYGEM MIRA
C	CASEMENT	2' - 4"	3' - 9"	WOOD CLAD	PLYGEM MIRA
D	FIXED	3' - 0"	4' - 0"	WOOD CLAD	PLYGEM MIRA
E	TRIPLE CASEMENT	9' - 0"	3' - 0"	WOOD CLAD	PLYGEM MIRA

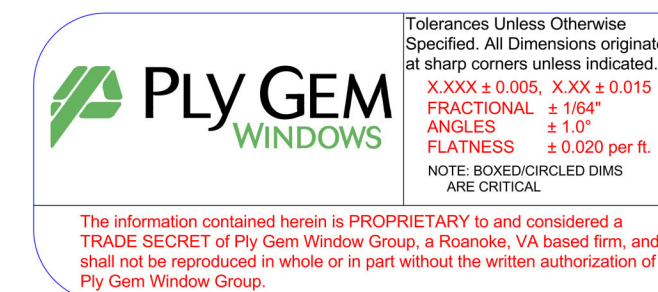
ELEVATION-FRONT VIEW	3' - 0" x 6' - 0"	3' - 0" x 5' - 0"	2' - 4" x 3' - 9"
STYLE	DOUBLE HUNG	DOUBLE HUNG	CASEMENT
MARK	A	B	C
ELEVATION-FRONT VIEW	3' - 0" x 4' - 0"	9' - 0" x 3' - 0"	
STYLE	FIXED	TRIPLE CASEMENT	
MARK	A	B	

#### WINDOW NOTES:

- CONTRACTOR TO VERIFY SIZES OF EXISTING WINDOW OPENINGS TO REMAIN, PRIOR TO ORDERING OF WINDOWS
- BEDROOM WINDOWS TO COMPLY WITH EMERGENCY ESCAPE AND RESCUE MINIMUM OPENING AREA, HEIGHT & WIDTH AS REQUIRED BY THE IBC 2015 (MA AMENDMENTS), WINDOW TO COMPLY w/ MIN. NET CLEAR OPENING DIMENSIONS OF 20" X 24" & 5.7 NET S.F. SILL HEIGHT OF OPENING TO BE A MAXIMUM OF 3'-8" ABOVE THE FINISHED FLOOR.
- ALL WINDOWS THAT HAVE OPENINGS LESS THAN 36" ABOVE THE FINISHED FLOOR AND MORE THAN 72" ABOVE FINISHED GRADE SHALL HAVE A WINDOW OPENING CONTROL DEVICE. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE, THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED FOR EMERGENCY ESCAPE AND RESCUE OPENING.
- WINDOWS SHALL HAVE EXTERIOR MUNTINS AS SHOWN ON THE ELEVATIONS & HALF SCREENS ON ALL WINDOWS.
- WINDOW SUBMITTAL TO BE SUBMITTED TO ARCHITECT PRIOR TO ORDERING OF WINDOWS.
- ALL FINISHES AND HARDWARE TO BE SELECTED BY OWNER.
- LOCATIONS REQUIRING TEMPERED GLASS TO BE VERIFIED PRIOR TO ORDERING WINDOWS.



See Technical Data Sheet for standard sizes, rough openings, and other dimensions.



DWG. FILE NAME: EMRDH1006.idw		SCALE: DRAWN BY: gterrell	REV.:
SHEET SIZE: C		DATE: 4/11/2008	A
DESCRIPTION: Cross-Section, Mira, Double Hung with SDL			
REV.	ECO	REVISION	DATE BY
A	N/A	Initial Release	10/4/16 GLT

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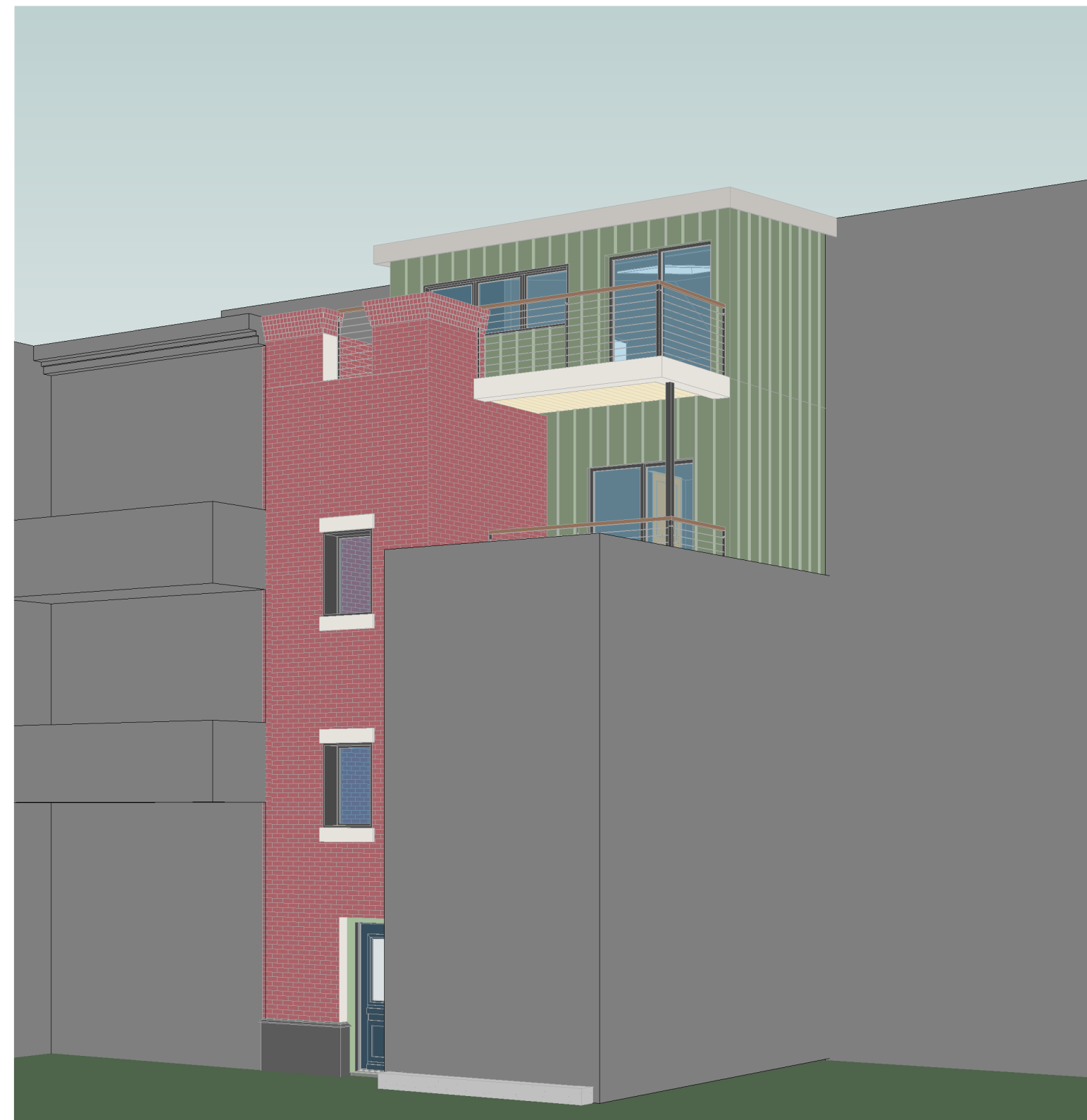
FRONT PERSPECTIVE



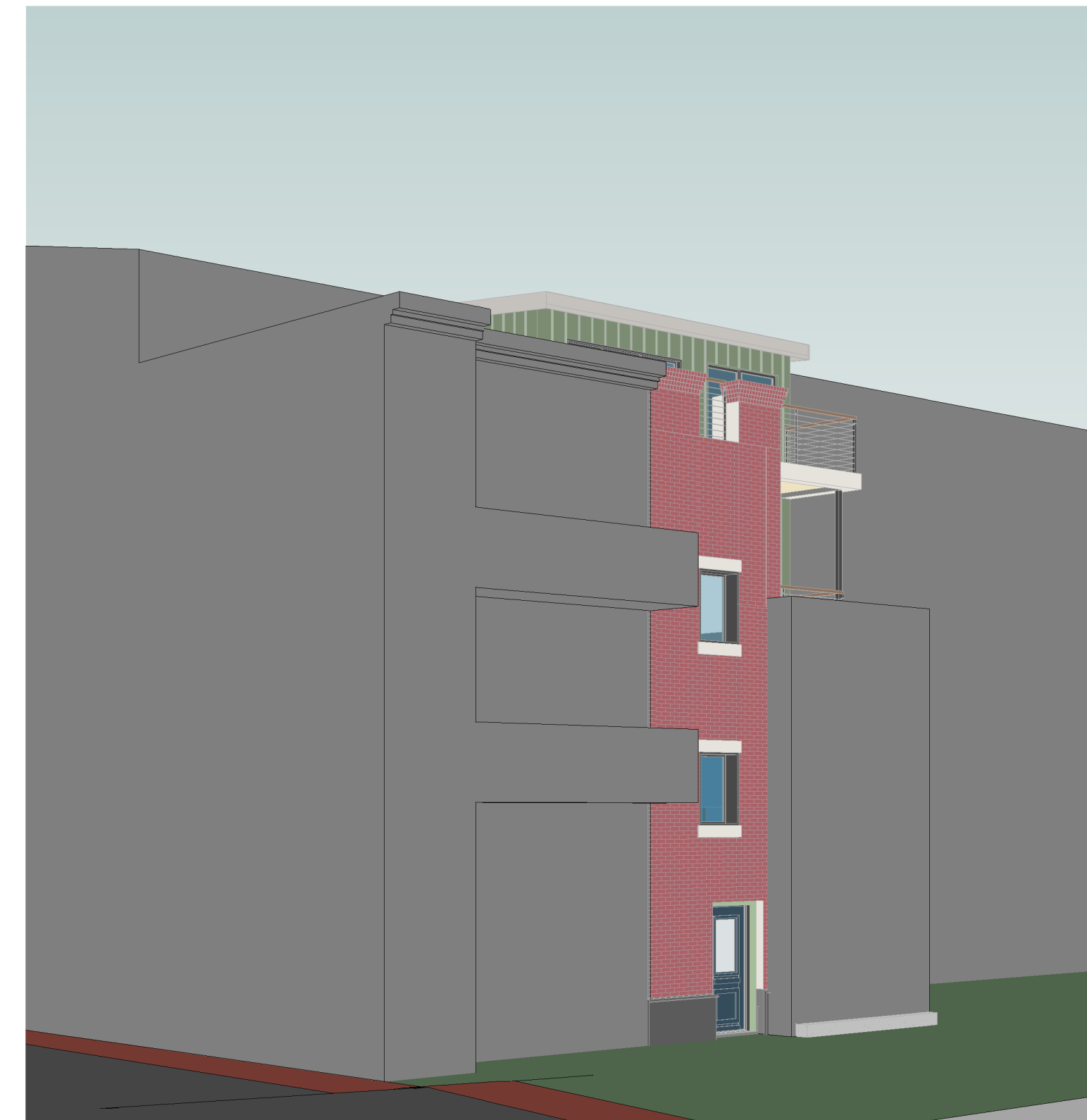
REAR PERSPECTIVE



REAR PERSPECTIVE



REAR PERSPECTIVE W/ EXISTING MASSING



REAR PERSPECTIVE W/ EXISTING MASSING

PROJECT NAME

**252 SHAWMUT**

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252 SHAWMUT STREET  
BOSTON, MA

CLIENT

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**PROPOSED  
PERSPECTIVES**

**AV-1**

252 SHAWMUT