

# CHABAD CENTER FOR MISSION HILL

1615-1617 Tremont Street

Mission Hill Triangle

Architectural Conservation District Commission

Advisory Review Application

July 13, 2023

**August 3, 2023 Advisory Review Hearing**

# Project Site

Google earth axon



5,079 SF of combined land at intersection of Tremont and Wigglesworth Street in Mission Hill's Brigham Circle area

# Site Property



Tremont Edge

# Site Property



Wigglesworth Edge

# Site

## Tremont Street



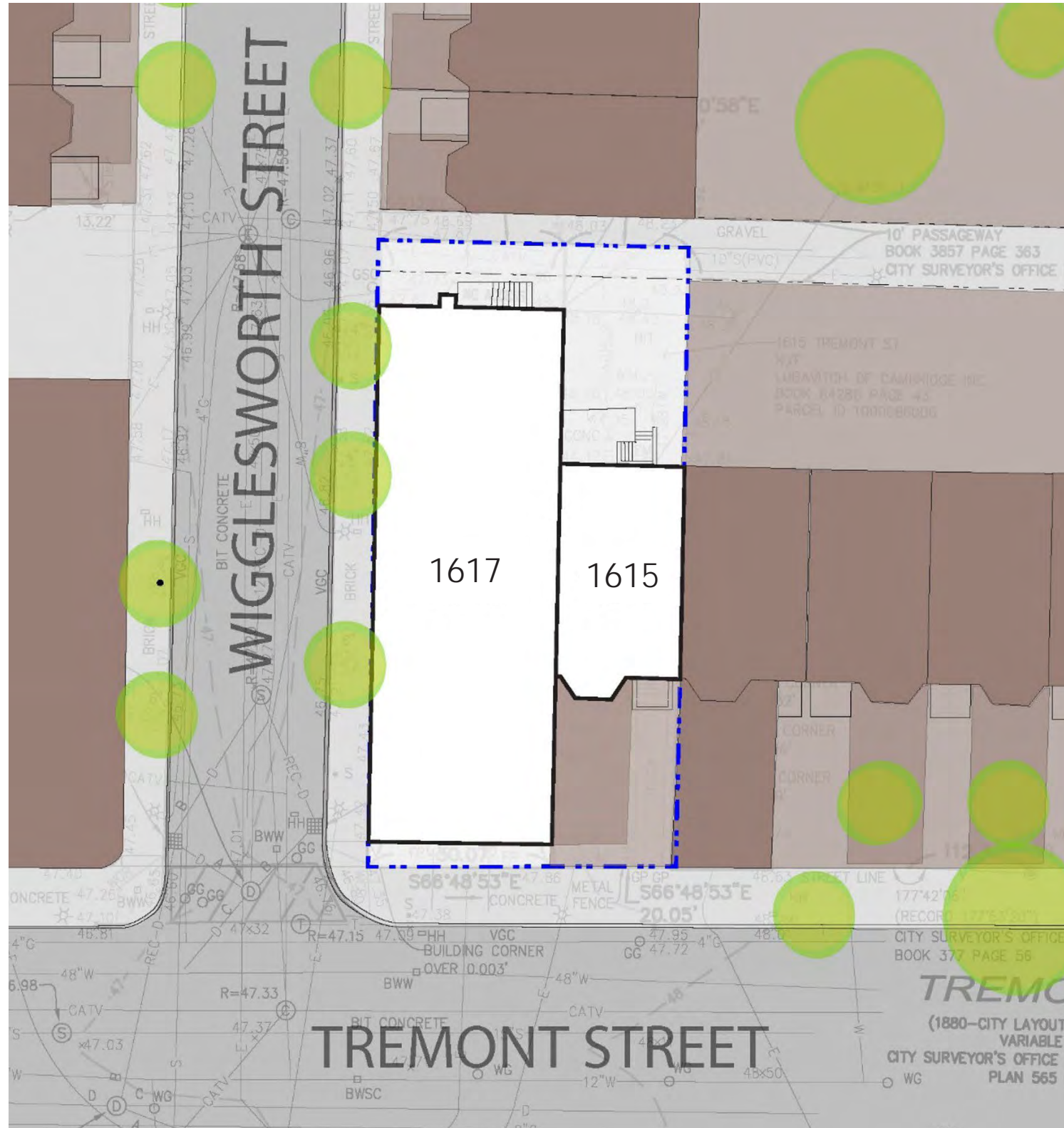
Looking East



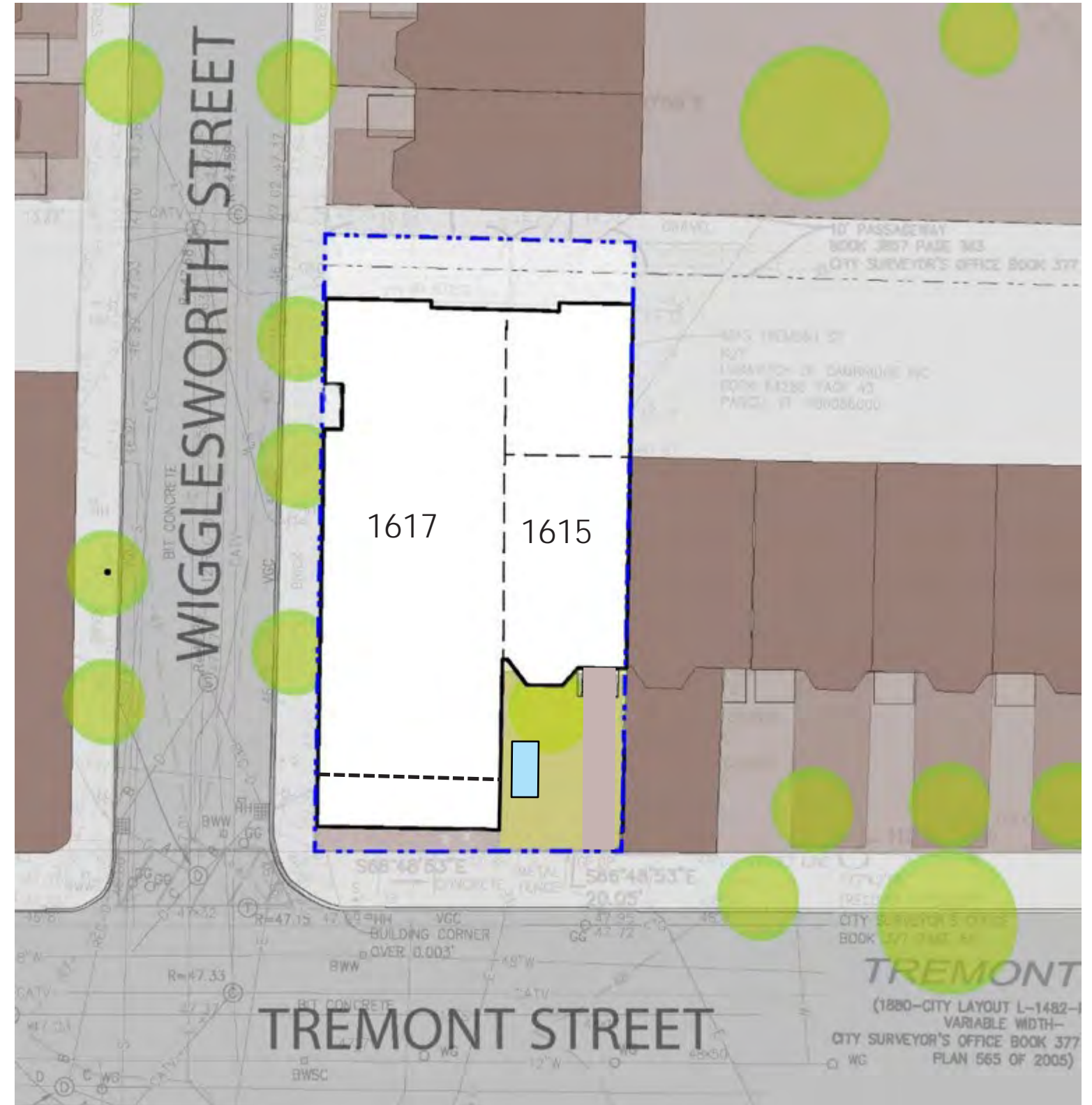
Looking West

# Site

## Existing Site Plan



## Proposed Site Plan



# Facades

## Neighborhood Architectural Character



### Façade Walls – Rhythm, Materials, Scale

- **Base**
  - simple construction, few or no decorative elements
- **Body**
  - conventional brick or stone façade walls
  - stone trim or brick detail at floor line
  - decorative stone or brick detail at window surrounds
  - decorative stone detailing
  - highly textured decorative brick work
- **Top**
  - mansard roof with dormer windows
  - follows alternating bays and flat wall
  - projecting cornice separates body from top at mansard

### Windows – Scale, Rhythm

- **Proportions and Hierarchy**
  - scale: tall and narrow window proportions
  - parlor and 2<sup>nd</sup> floor most important
  - tallest at parlor level, most detail at trim
  - 2<sup>nd</sup> floor windows smaller, similar detail at trim
  - mansard or basement smallest windows, least detail at trim
- **Rhythm and Placement**
  - alternating bay windows and single windows
  - windows in mansard follow alternating rhythm of bays
  - single windows at mansard projecting dormer with pediment
  - windows at mansard bay recessed

# 1615 Tremont Street Repair Work

## Windows and Doors

- Window Sash
- Sills and Lintels
- Outer Vestibule Door
- Ornamentation

The approach to the row house façade will consist of a combination of restoration, reconstruction, and change depending on the existing condition of the building component or feature.

### Restoration

- An existing feature presumed original and in good condition, will be restored in place. Restoration may include repainting, paint removal, minor repairs and patching.

### Reconstruction

- An existing feature in poor condition will be removed and replaced or reconstructed. Reconstruction or replacement shall match the style and/or material of the original feature.

### Change

- An existing feature in poor condition and not original will be changed. A new material or component shall match the style and/or material of the original.

The interior of the row house has almost no remaining historic integrity as stair and plan arrangement have been radically altered in the past.





# Chabad Center new construction

## Façade Windows – Scale & Rhythm



Vertical hierarchy

Top

Secondary

Body

Primary

Base

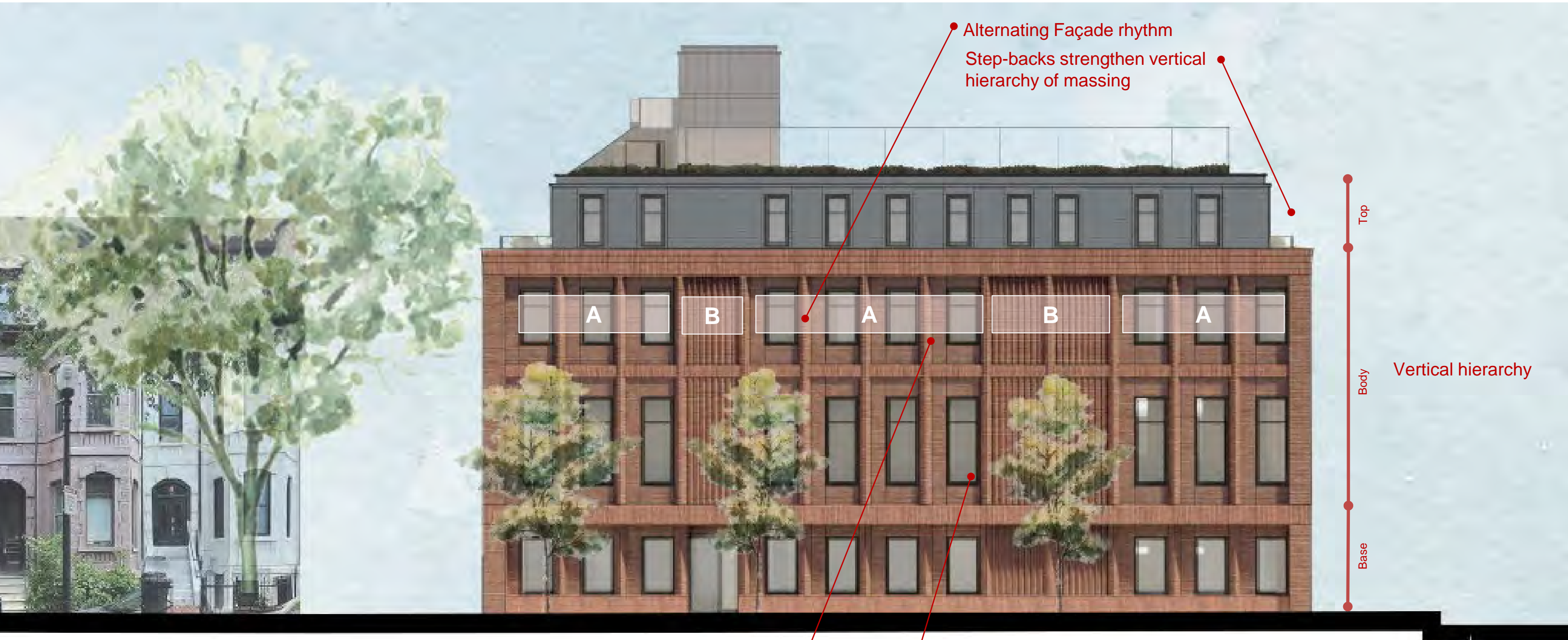
Window proportions and placement

Vertical alignment of windows and entry

Alternating Façade rhythm

# Chabad Center new construction

## Façade Walls – Rhythm, materials , scale



• Alternating Façade rhythm  
• Step-backs strengthen vertical hierarchy of massing

A B A B A

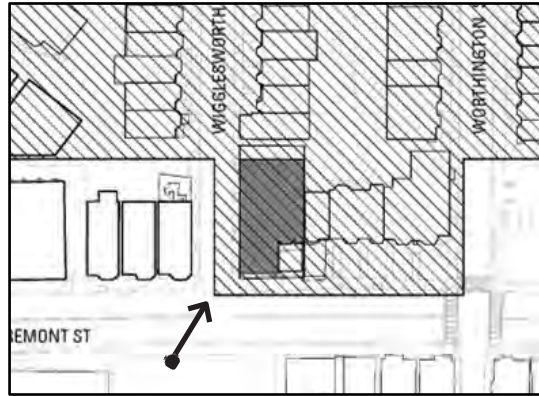
Top  
Body  
Base

Vertical hierarchy

• Articulated façade and material depth  
• Brick coursing details and decorative brick textures

# Chabad Center new construction

View along Tremont Street (looking north) - PROPOSED

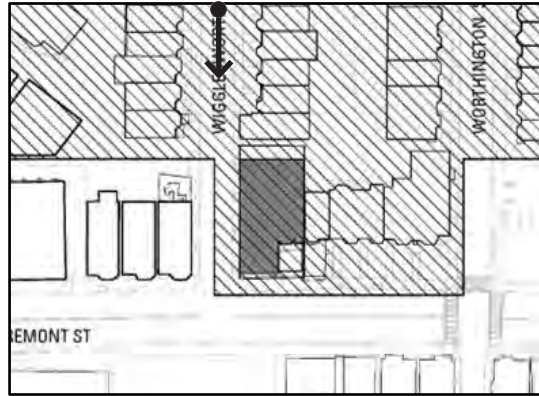


KEY PLAN



# Chabad Center new construction

View along Wigglesworth Street (looking south) - PROPOSED

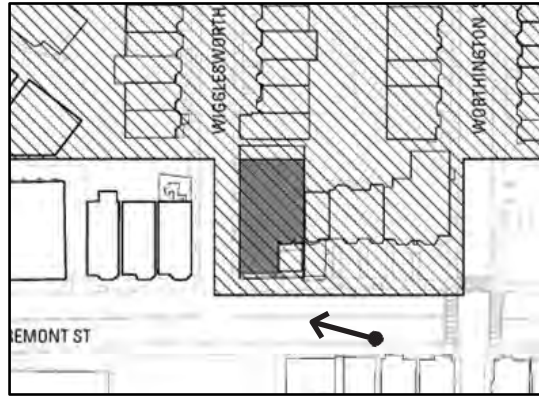


KEY PLAN



# Chabad Center new construction

View along Tremont (looking west) - PROPOSED

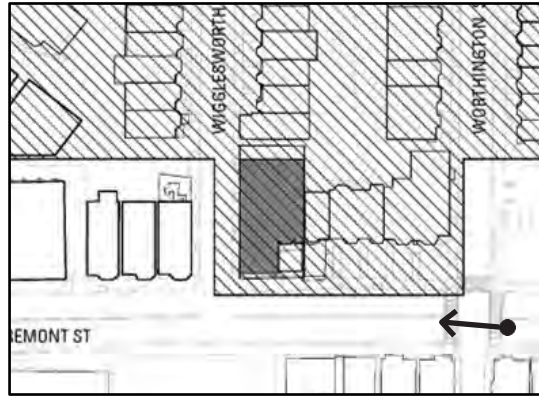


KEY PLAN



# Chabad Center new construction

View from Worthington & Tremont intersection (looking west) - PROPOSED

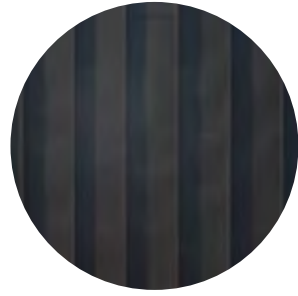


KEY PLAN



# Chabad Center new construction

## Materials



- METAL
- Headhouse Cladding



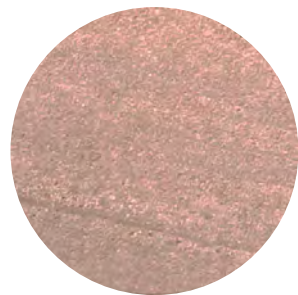
- SLATE
- 4<sup>th</sup> Fl Cladding



- GLASS
- Windows and Guardrails



- BRICK
- Exterior Walls  
Ground, 1<sup>st</sup> and 2<sup>nd</sup>



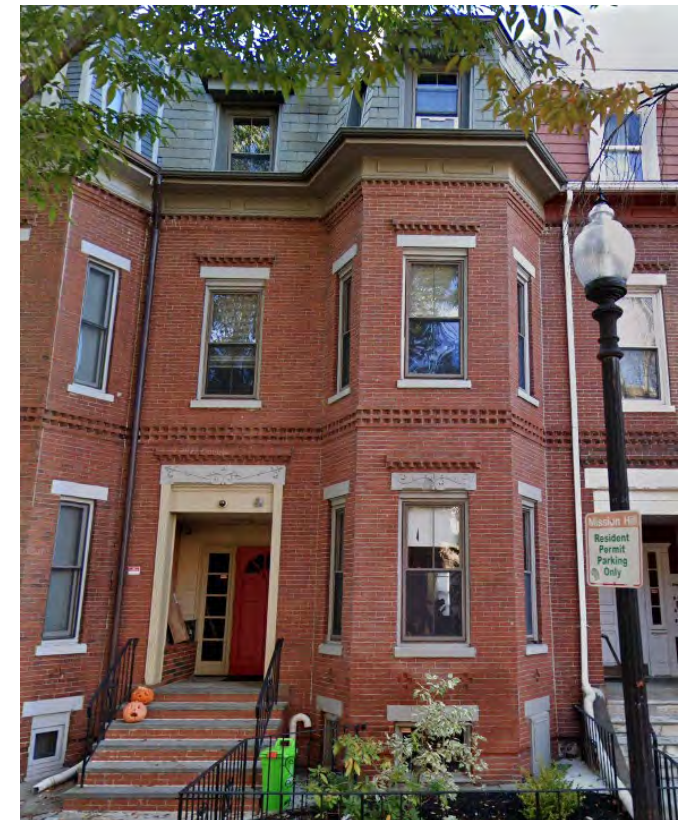
- STONE
- Base / Water table



On Tremont Street, looking down Wigglesworth



On Wigglesworth Street, looking towards Tremont



Wigglesworth Materials Precedent



Brick Detail Precedent Wigglesworth

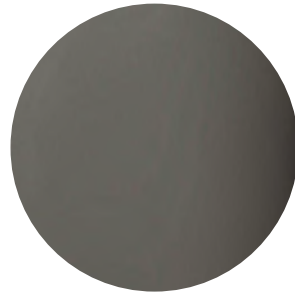
# Chabad Center – 1615 Tremont Street Row House

## Materials



### SLATE

- Mansard
- Match existing as needed for repairs



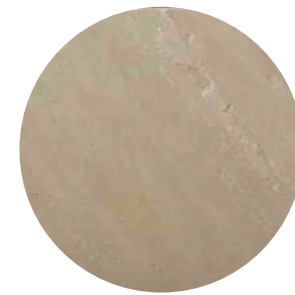
### PAINTED TRIM –

- Mansard Windows
  - Cornice
- Similar hue and value to slate, final color TBD



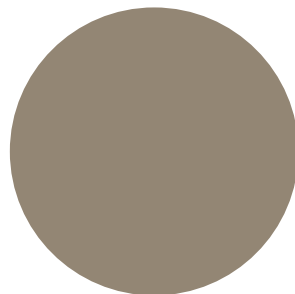
### PAINTED WALL SURFACE

- Parlor Level
  - Second Floor
- Contrast to window surround/stone. Final color TBD



### STONE SURROUND

- Verify condition of original stone
- Restore original stone finish



### PAINTED WALL SURFACE

- Lower Level
- Match stone window surrounds, Final color TBD



1615 Tremont St



1607 Tremont St Precedent



# Appendix

**DEMOLITION KEY**

EXISTING TO REMAIN  
 EXISTING TO BE REMOVED

**Bruner/Cott**

ARCHITECTS

225 Friend St., Suite 701

Boston, MA 02114

617.492.8400

www.brunercott.com

Rev	Date	Remarks

Date: February 22, 2022  
 Scale: As indicated  
 Project Number:  
 Drawn By: Author

**MISSION HILL  
CHABAD**

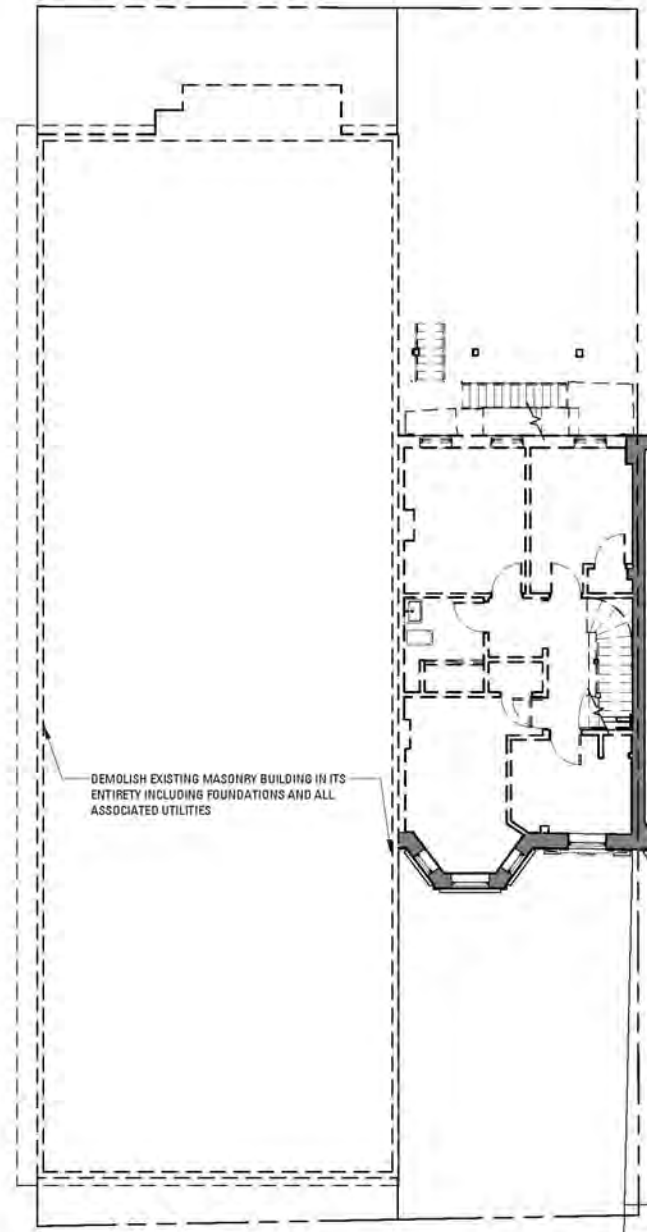
1615 - 1617 Tremont Street  
Boston, MA 02120



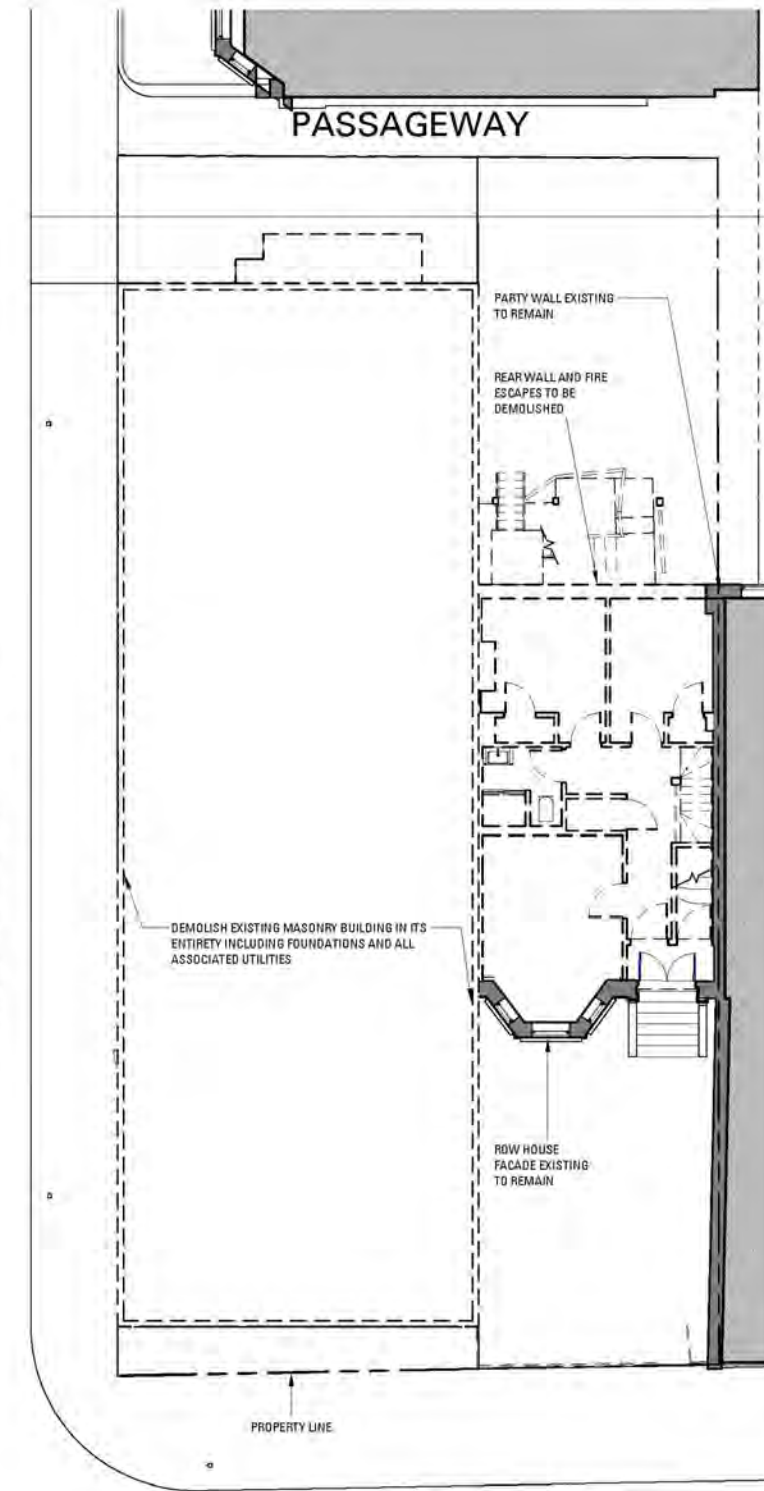
DEMOLITION PLAN



**AD-100**



**2** SECOND FLOOR - DEMOLITION  
SCALE: 1/8" = 1'-0"



**1** GROUND FLOOR - DEMOLITION  
SCALE: 1/8" = 1'-0"

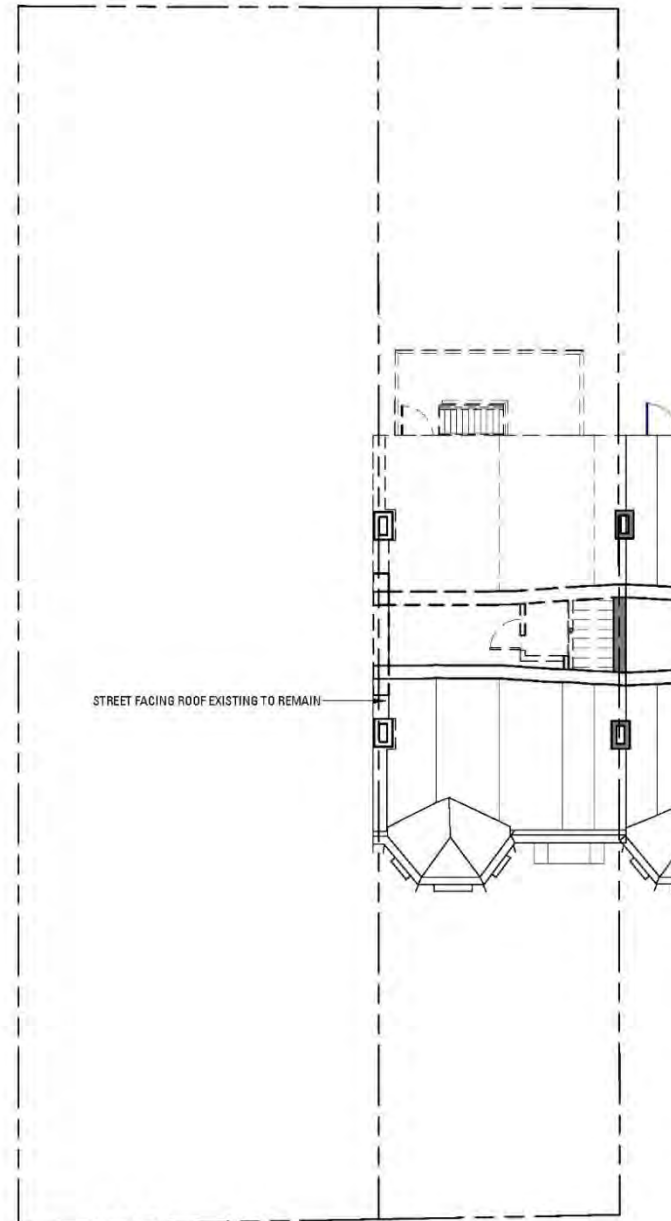
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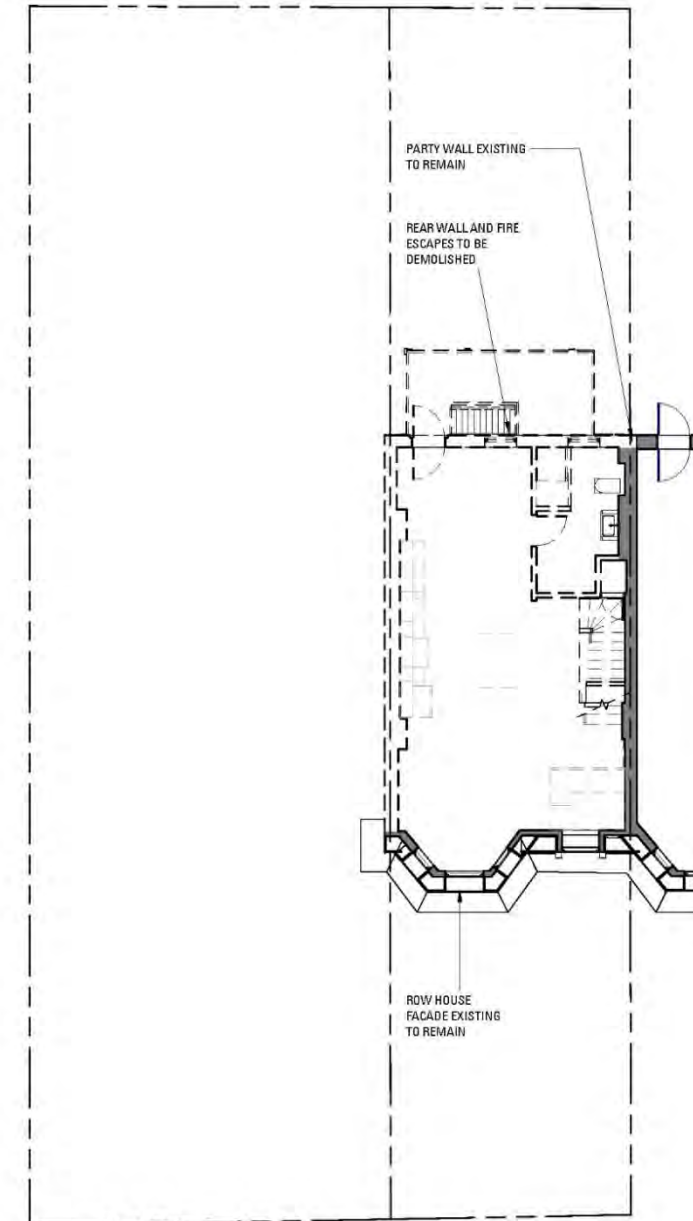
**DEMOLITION KEY**

-  EXISTING TO REMAIN
-  EXISTING TO BE REMOVED

**Bruner/Cott**  
ARCHITECTS  
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617.492.8400  
www.brunercott.com



**2** FOURTH FLOOR - DEMOLITION  
SCALE: 1/8" = 1'-0"



**1** THIRD FLOOR - DEMOLITION  
SCALE: 1/8" = 1'-0"

Rev	Date	Remarks

Date February 22, 2022  
Scale As Indicated  
Project Number  
Drawn By Author

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Boston, MA 02120



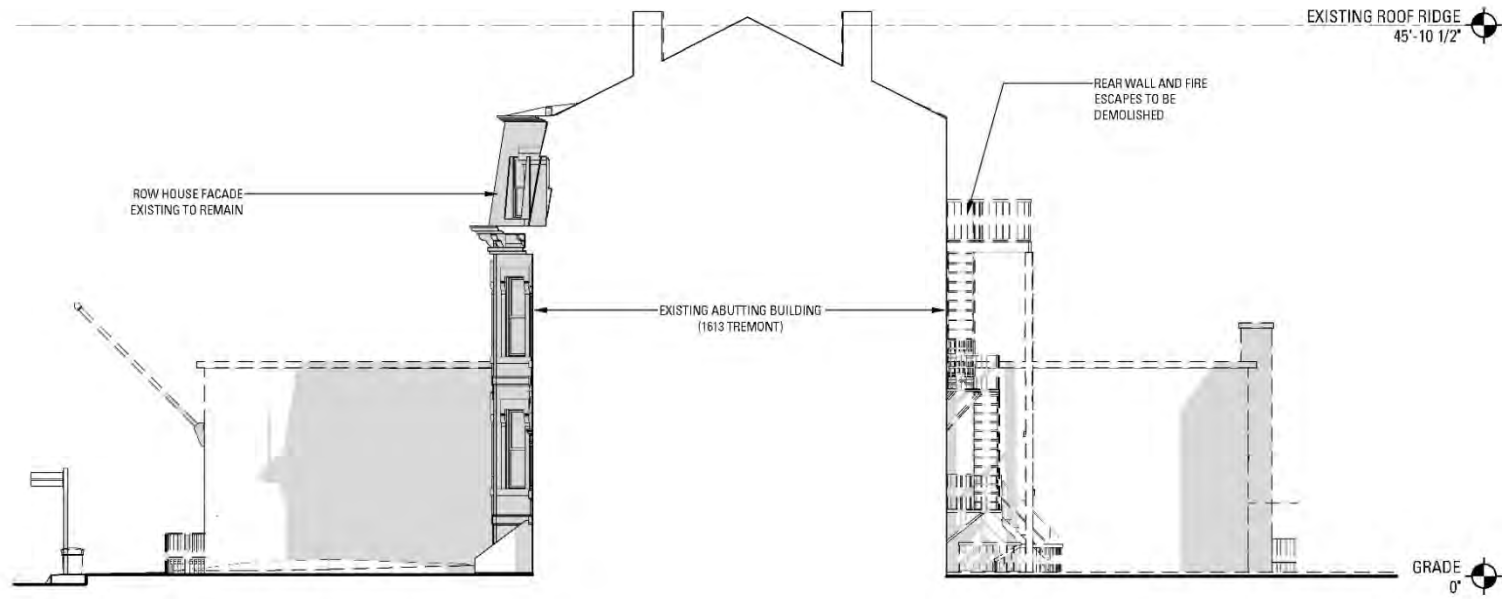
DEMOLITION PLAN



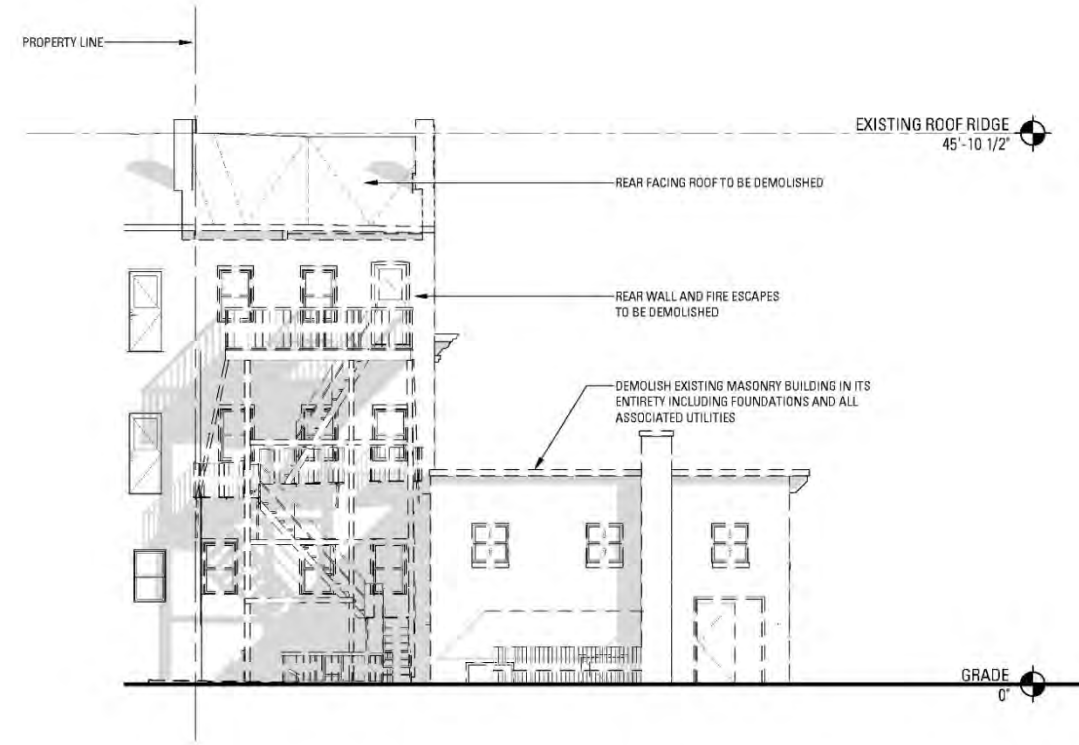
**AD-101**

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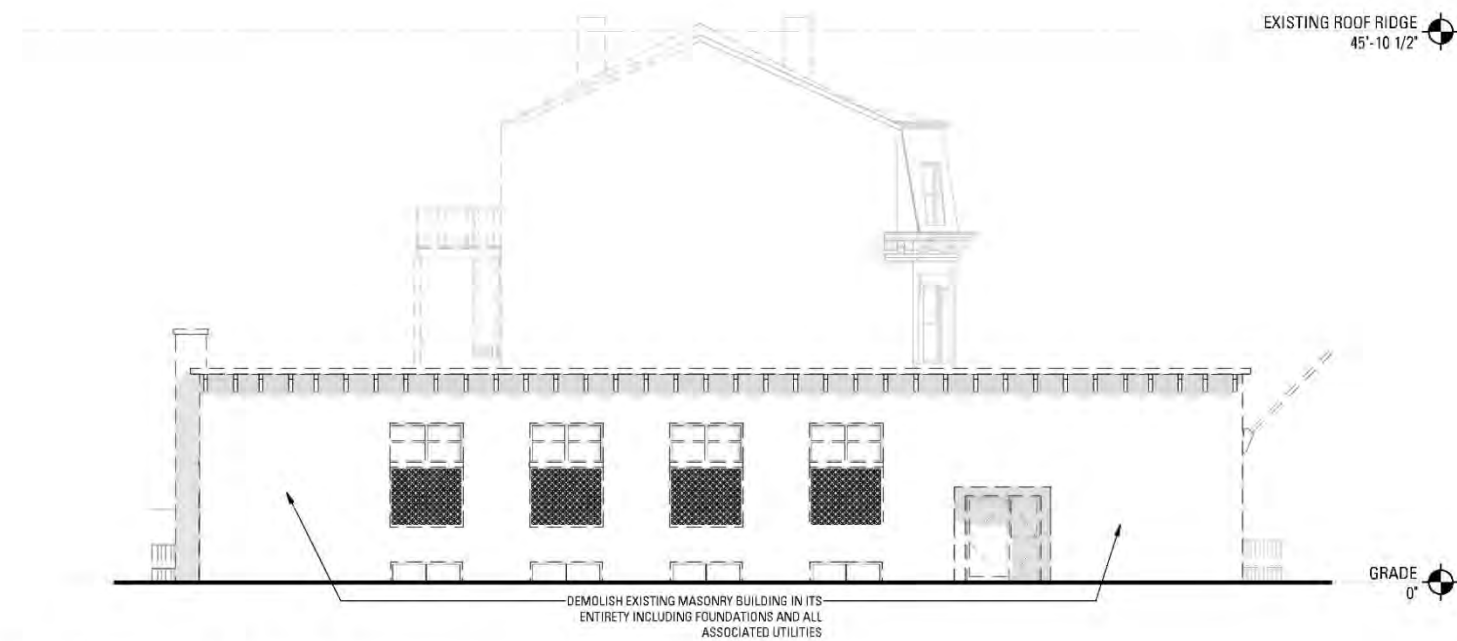
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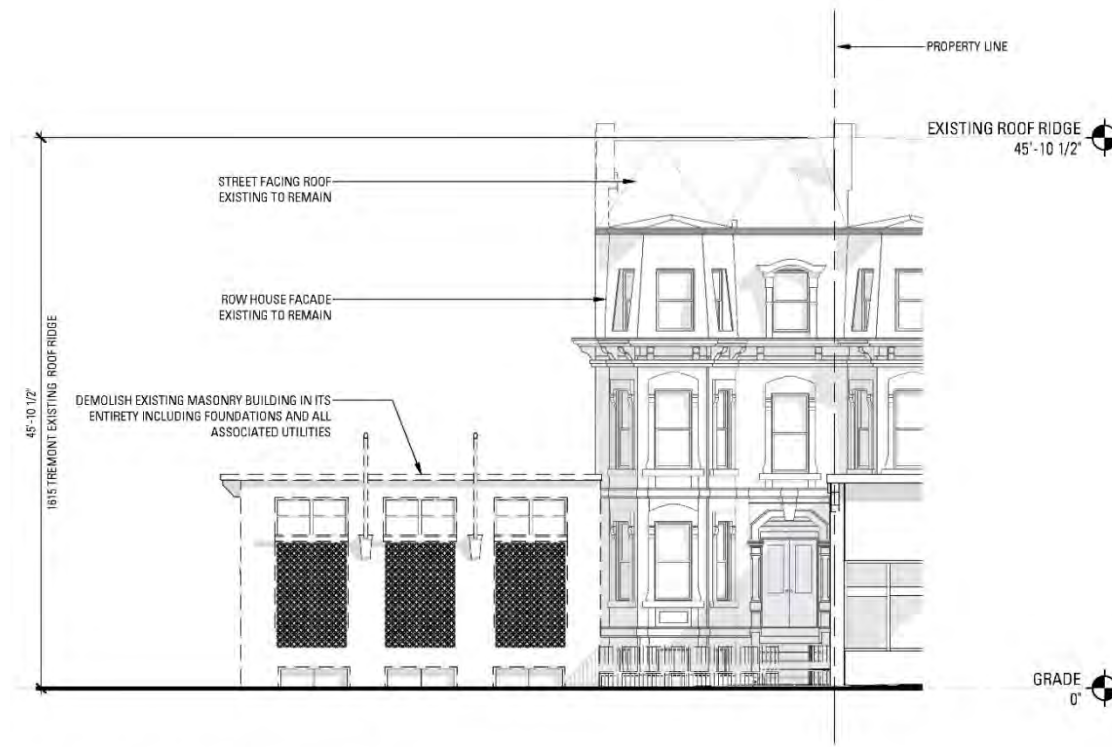
**4 EAST ELEVATION - DEMOLITION**  
 SCALE: 1/8" = 1'-0"



**2 NORTH ELEVATION - DEMOLITION**  
 SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION - DEMOLITION**  
 SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION - DEMOLITION**  
 SCALE: 1/8" = 1'-0"

Rev	Date	Remarks

Date: February 22, 2022  
 Scale: 1/8" = 1'-0"  
 Project Number:   
 Drawn By:   
 Author:

**MISSION HILL  
 CHABAD**

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 Boston, MA 02120



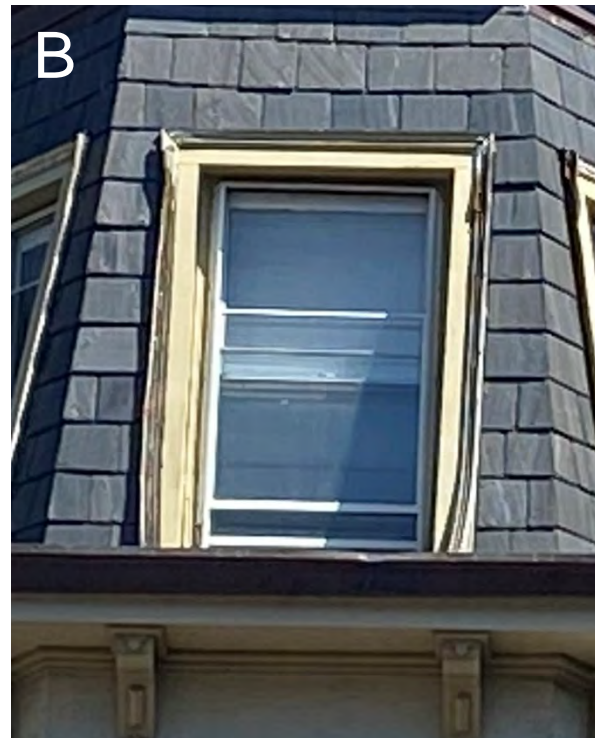
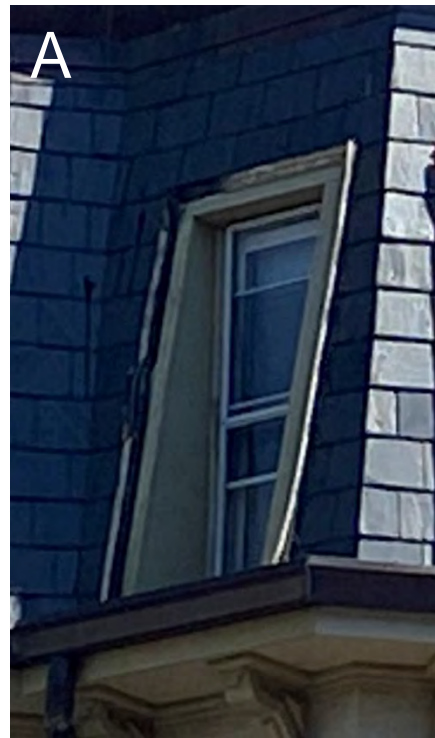
DEMOLITION ELEVATION

**AD-300**

# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

No.	Feature	Current Condition	Treatment
<b>1</b>	<b>Windows</b> <b>Mansard Windows</b>	<b>Exterior</b>	<b>Exterior</b>
	Window Sash	Poor condition	Reconstruct to match historic double hung two over two windows
	Sill	Poor condition	Reconstruction
	Lintel		
	Window surrounds	Poor condition	A,B,C to be reconstructed
			D to be reconstructed based on historic design to incorporate the decorative molding and medallion

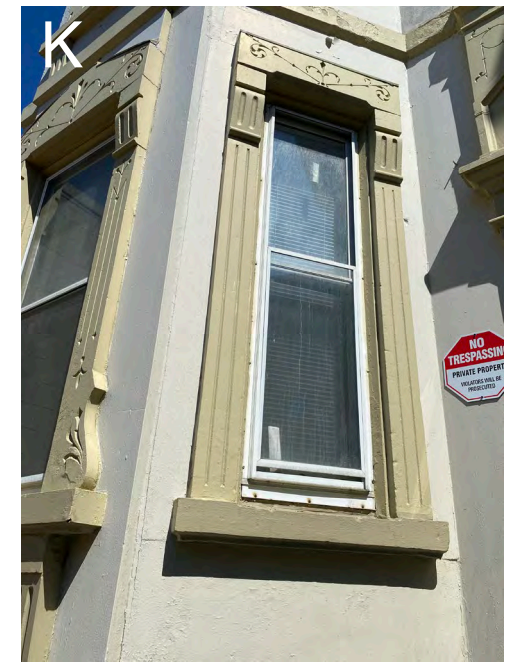


Mansard Level Windows

# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

No.	Feature	Current Condition	Treatment
<b>1</b>	<b>Windows</b> <b>Second Floor and Parlor Windows</b>	<b>Exterior</b>	<b>Exterior</b>
	Window Sash	Poor condition	Reconstruct all. F, H, J match historic double hung two over two windows
	Sill	Poor condition	Reconstruction
	Lintel		
	Window surrounds	Finish appears to be in sound condition	Remove flashing over F, G, H, J, K and replace if needed. Strip stucco/paint and leave sandstone exposed on all.



Second Floor Windows

Parlor Level Windows

# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

No.	Feature	Current Condition	Treatment
<b>1</b>	<b>Windows</b> <b>Basement Windows</b>	<b>Exterior</b>	<b>Exterior</b>
	Window Sash	Poor condition	Replace
	Sill	Poor condition	Replace
	Lintel		

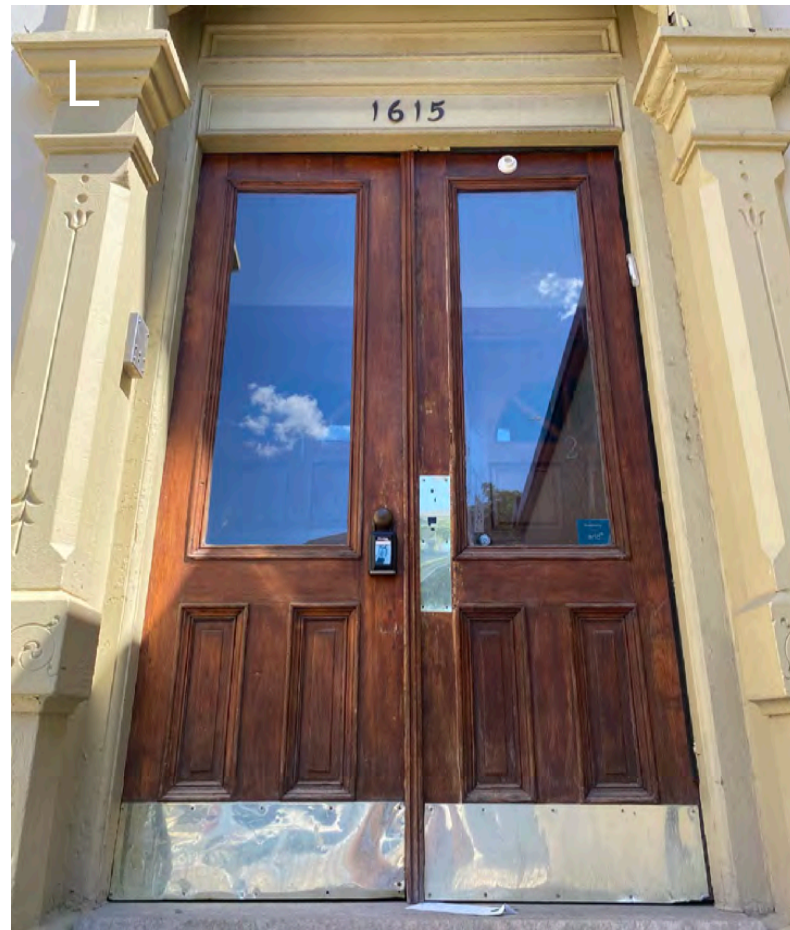


Basement Level Windows

# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

No.	Feature	Current Condition	Treatment
<b>2</b>	<b>Door</b>	<b>Exterior</b>	<b>Exterior</b>
	Paneling	Hardwood with metal kick plates	Door can be retained with all hardware replaced
	Transom		
	Vestibule Sidewalls	One side plastered; one side exposed brick	

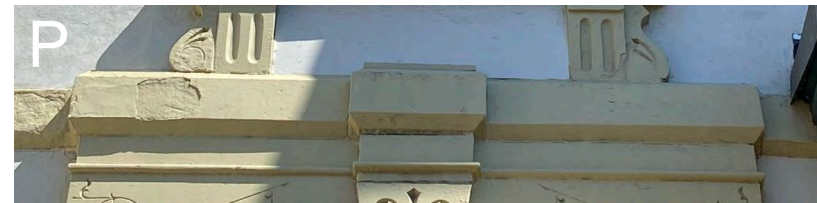




# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

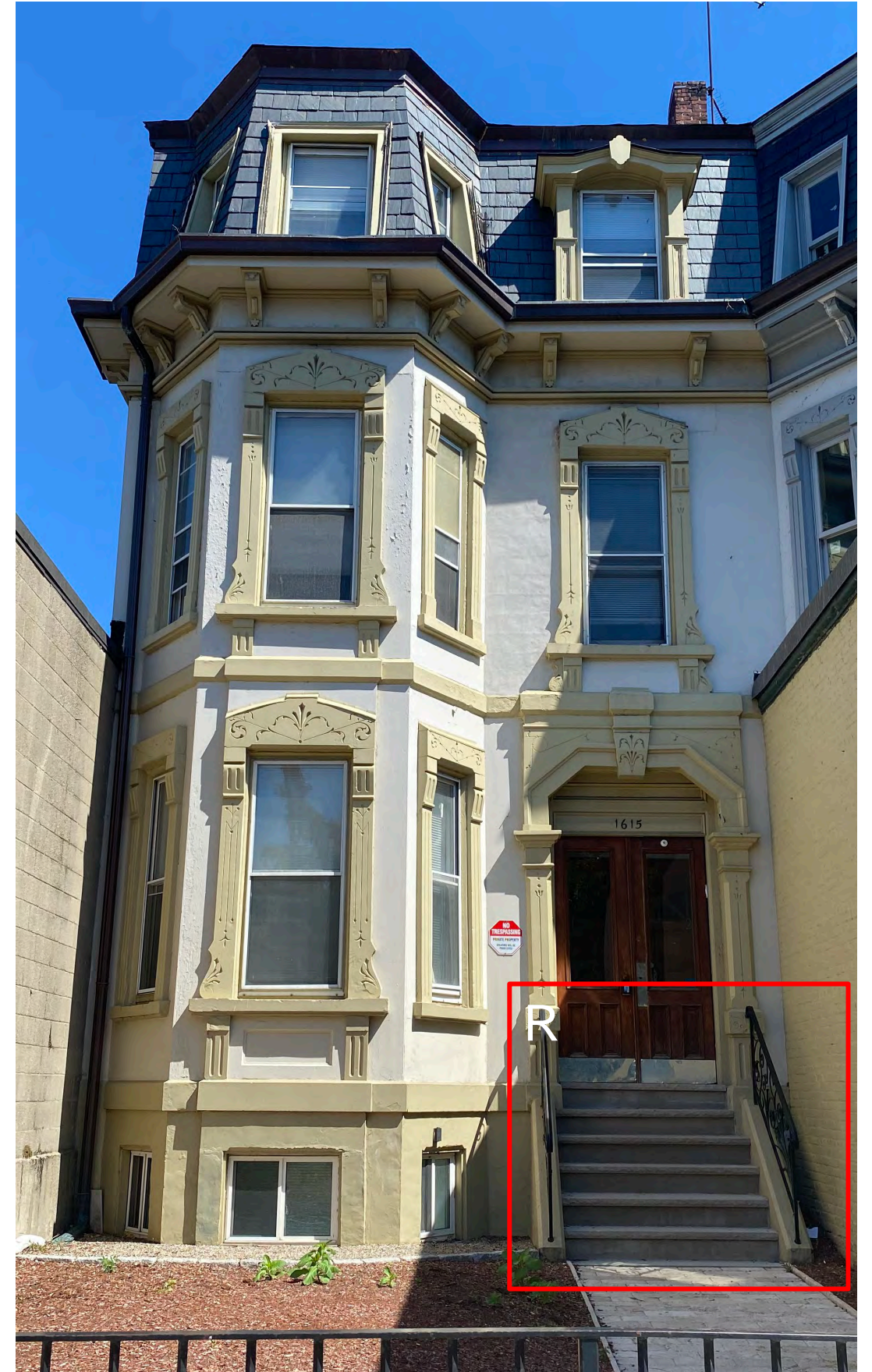
No.	Feature	Current Condition	Treatment
3	Stucco over stone trim on facade	good condition	Stucco/paint to be stripped and left as exposed stone if exploratory work reveals suitable condition



# 1615 Tremont Street Repair Work

## Stoop and Front Stair

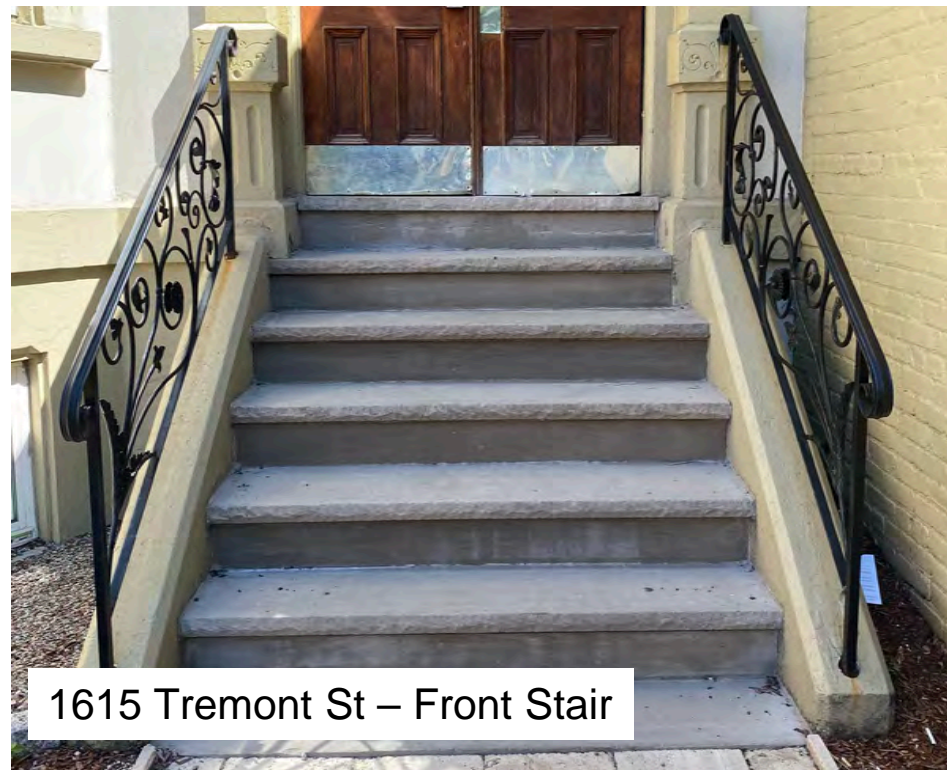
- Stringer
- Riser
- Tread
- Railing



# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

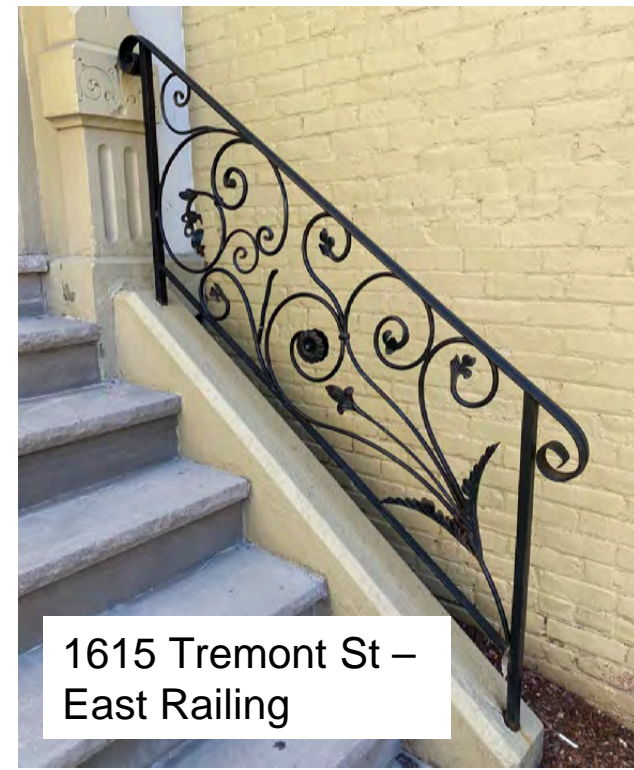
No.	Feature	Current Condition	Treatment
1	Stringer	Possibly original sound condition	Exploratory work to reveal stringer material. If stone in good condition, leave exposed. If not, repaint, color TBD
2	Riser	Stone replacement (not original) Limestone sound condition	Remove and reinstall
3	Tread	Limestone sound condition	Remove and reinstall
4	Railing	Recent steel, insecure Ornamental design out of character	Remove and replace with period appropriate balustrade/handrail Relocate from stringer to treads and separate from ornamental door surround



1615 Tremont St – Front Stair



1615 Tremont St –  
West Railing



1615 Tremont St –  
East Railing

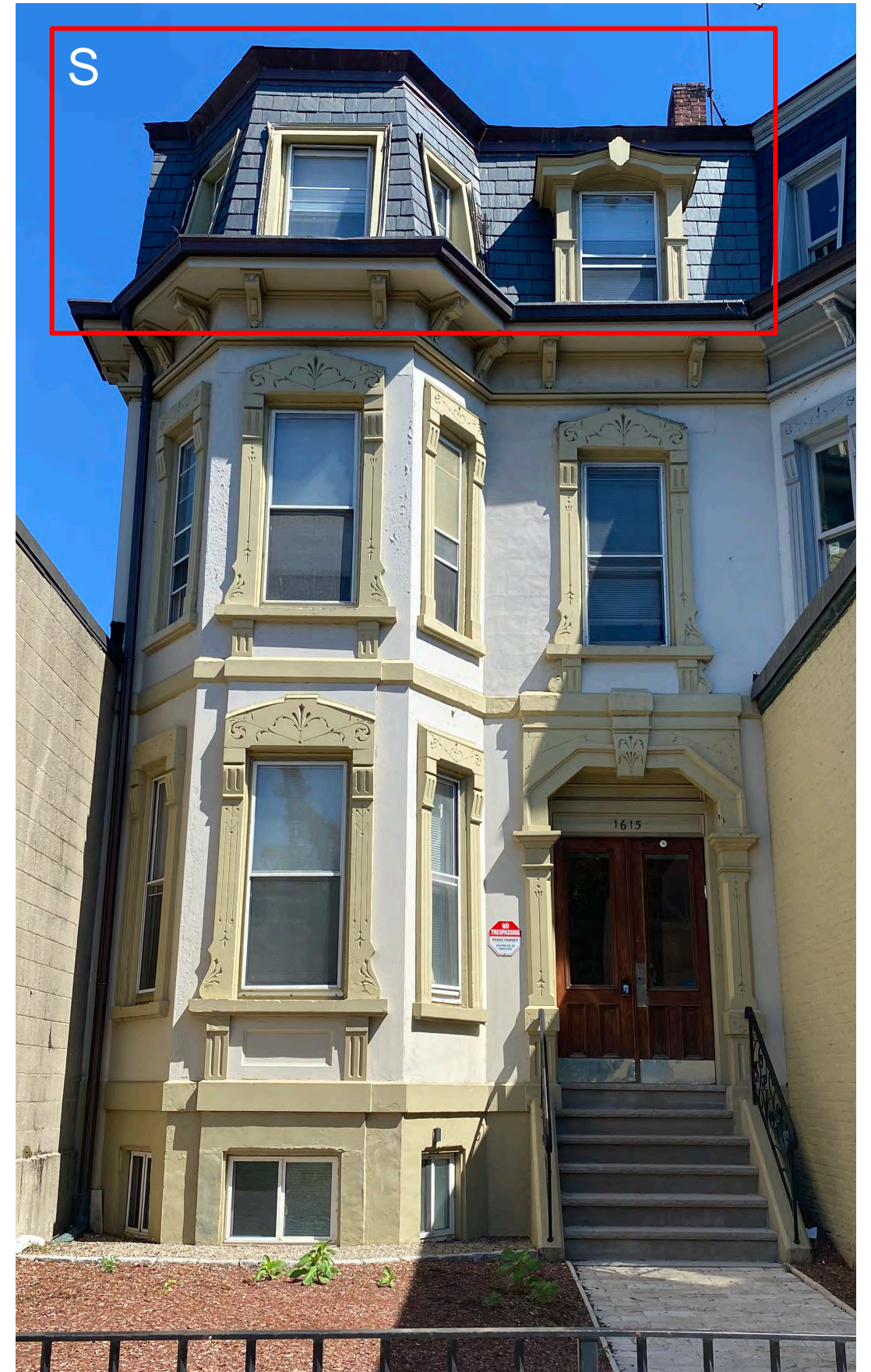


1615 Tremont St –  
Riser and Tread

# 1615 Tremont Street Repair Work

## Roofs, Dormers, Vertical Additions

- Mansard Roof
- Chimney



# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

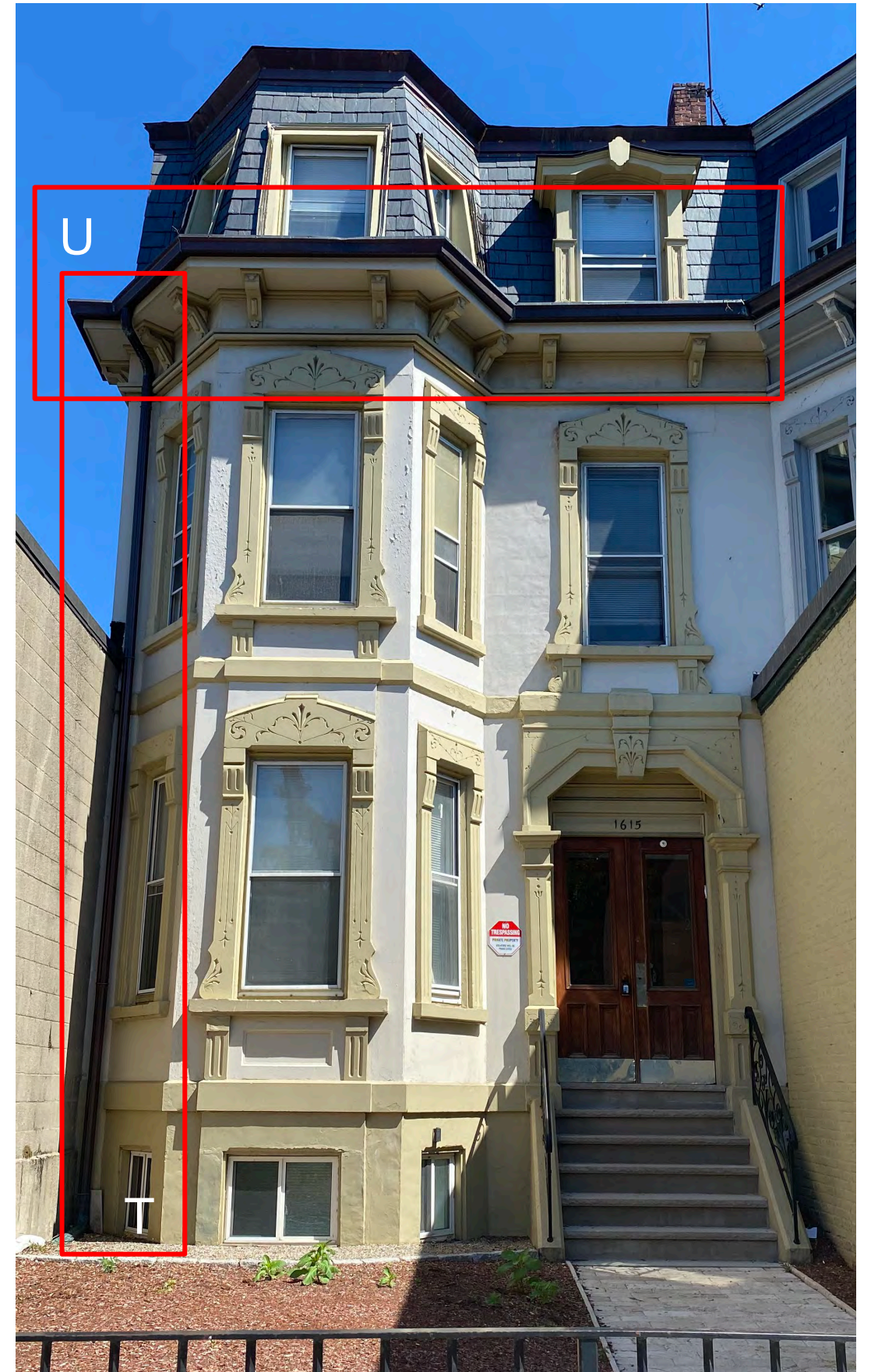
No	Feature	Current Condition	Treatment
1	<b>Mansard Roof</b>		
	Exterior	Slate appears to be in good condition Eave copper in poor condition	To be assumed that some damage will occur during demolition and new construction – reuse salvaged slate shingles or replace slate to match Replace copper trim with wood moldings
	Interior	Boarded and plastered on the inside	
2	<b>Chimney</b>	Poor condition	Rear chimney to be demolished; front chimney to be repaired
3	<b>Gable Roof</b>	To be evaluated	Front roof replacement as required to match existing



# 1615 Tremont Street Repair Work

## Other Façade Elements

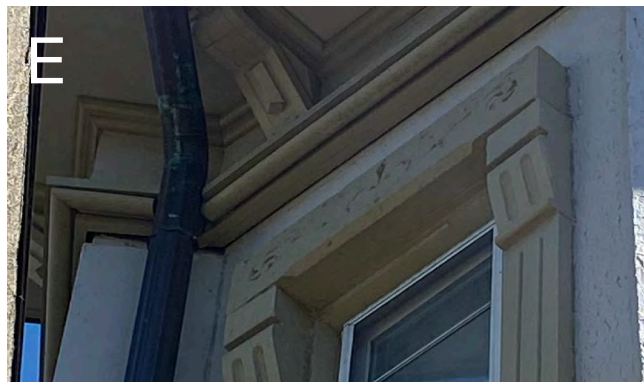
- Cornices
- Gutters and Flashing
- Downspout



# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

No.	Feature	Current Condition	Treatment
U	<b>Cornice</b>	Decent condition Woodwork intact	Remove return at new construction
T	<b>Gutter and Flashing</b>	Poor condition Water problem above parlor and second floor window surrounds to be investigated	Change gutter profile – similar to adjacent rowhouse Existing flashing over window surrounds to be removed and sealed
T	<b>Downspout</b>	Poor condition	Change profile

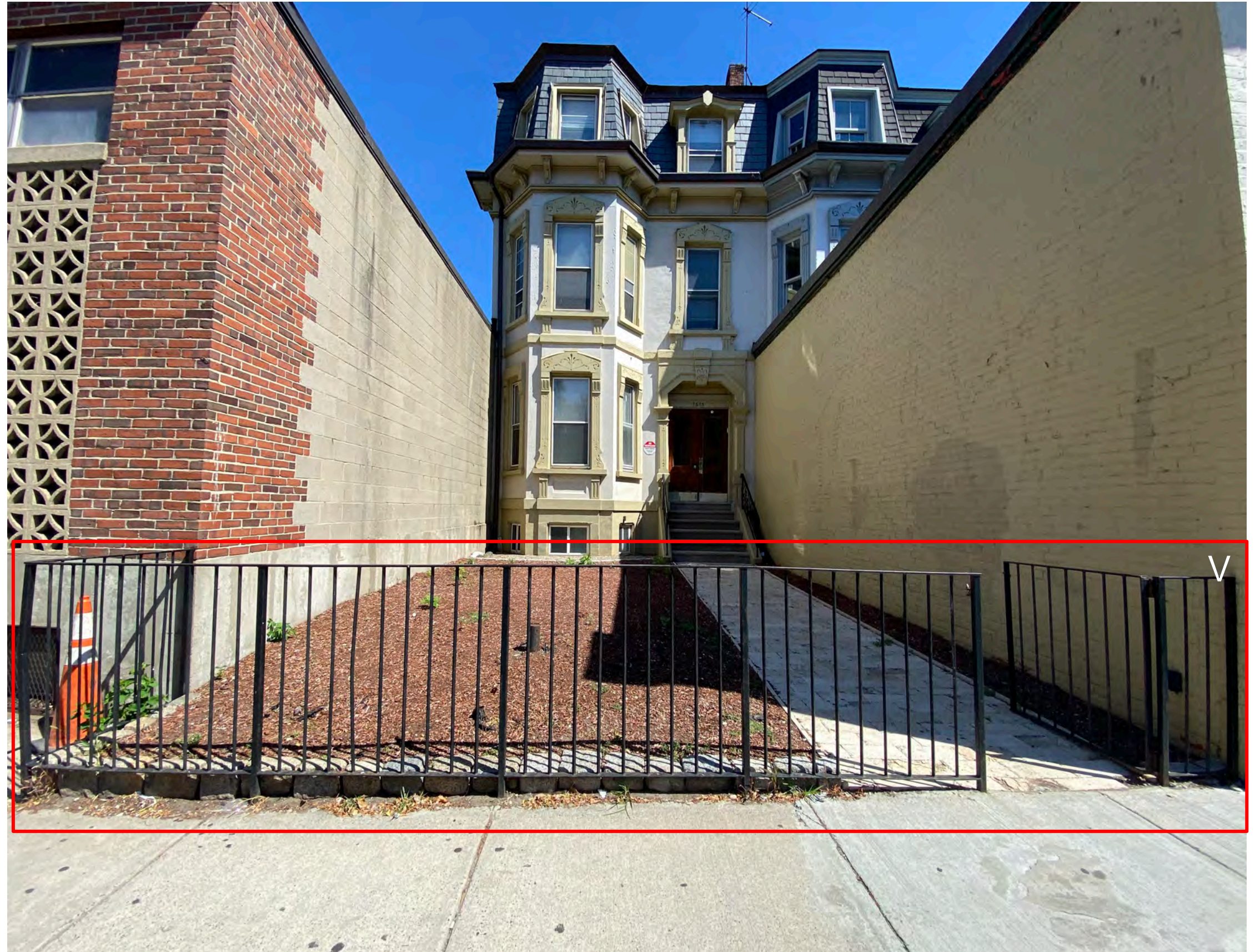


Second Floor

# 1615 Tremont Street Repair Work

## Front Yard and Walkway

1. Front Fence
2. Front Walkway Materials
3. Front Yard

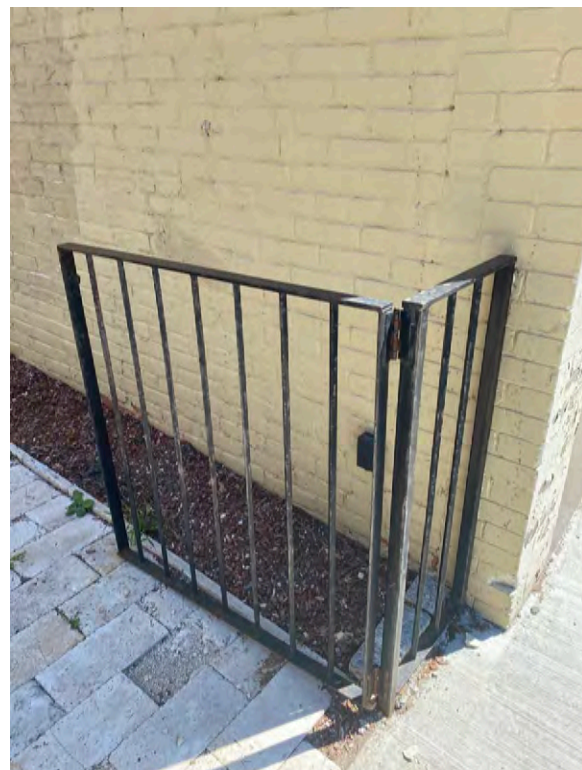




# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

No.	Feature	Current Condition	Treatment
<b>V</b>	<b>Front Fence &amp; Gate</b>		
	1.1	Recent Steel Insecure Out of historic character	Remove fence gate and replace in kind
	1.2	Recent Steel Insecure Out of historic character	Remove fence and replace in kind



1615 Tremont St – Front  
Fence & Gate 1.1



1615 Tremont St – Front Fence 1.2

# 1615 Tremont Street Repair Work

## Photo Documentation and Repair

No.	Feature	Current Condition	Treatment
2	<b>Front Walkway</b>	Stone is poor condition Stone spalling due to freeze and thaw	Install new walkway pavers
3	<b>Front Yard</b>	Recent Addition – mulch and gravel	Install new green landscape planting



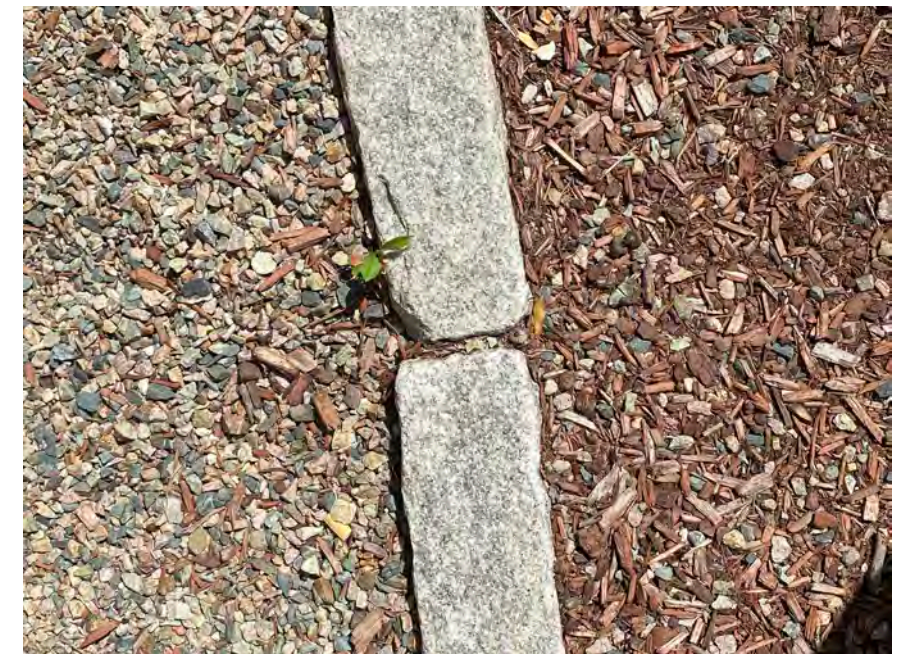
1615 Tremont St – Front Walkway



1615 Tremont St – Front Yard



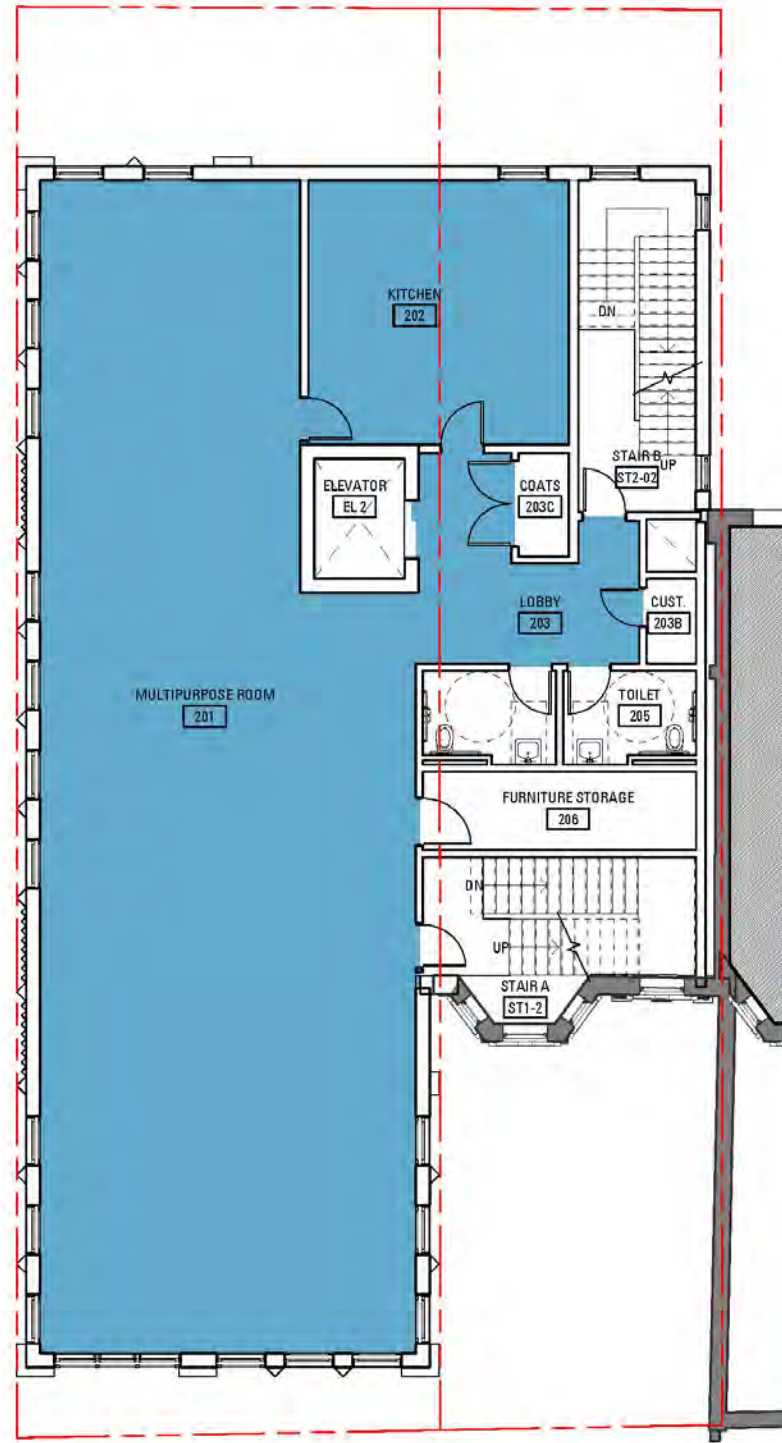
1615 Tremont St – Yard Materials



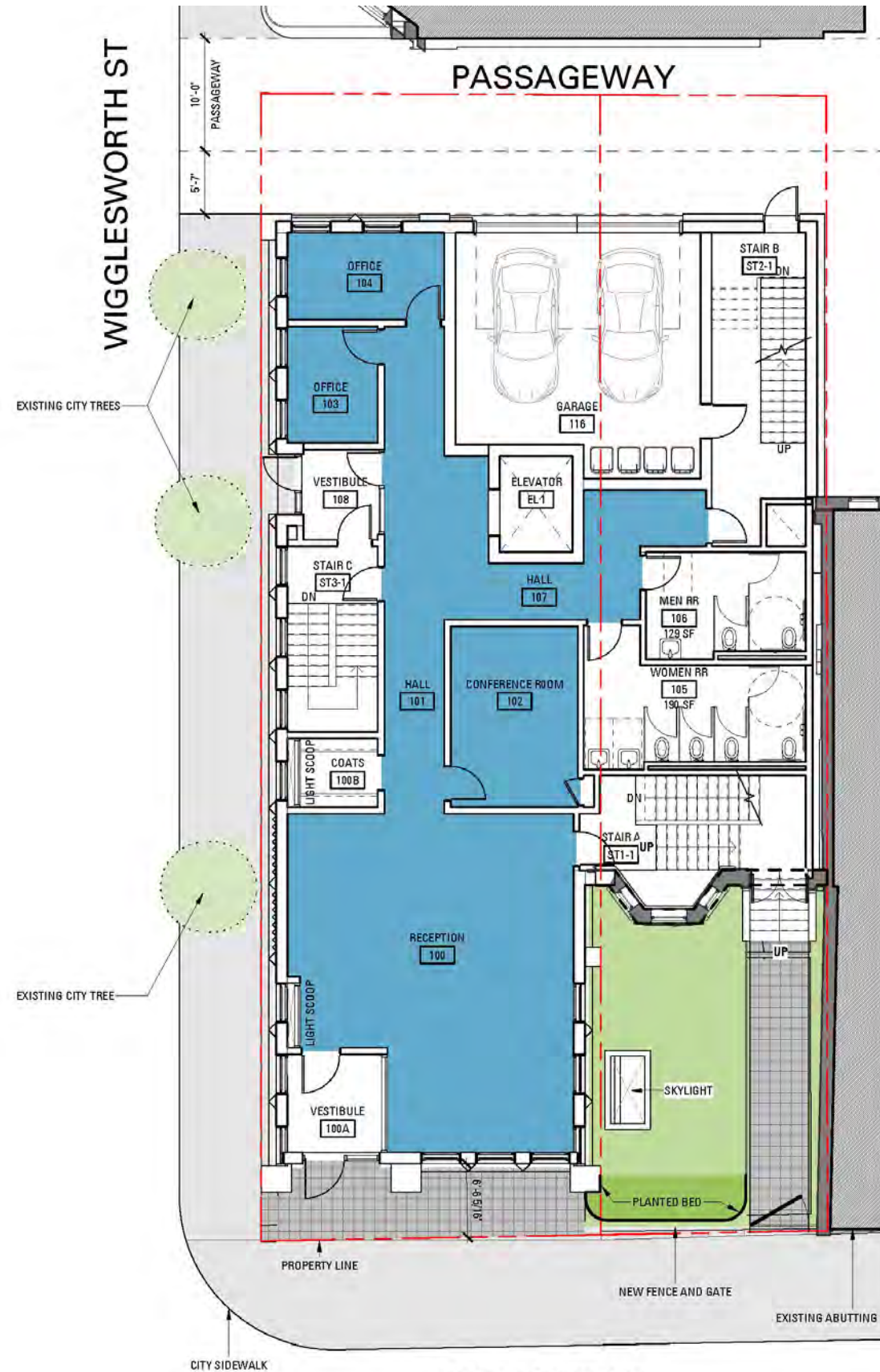
1615 Tremont St – Yard Materials

# Chabad Center new construction Plans

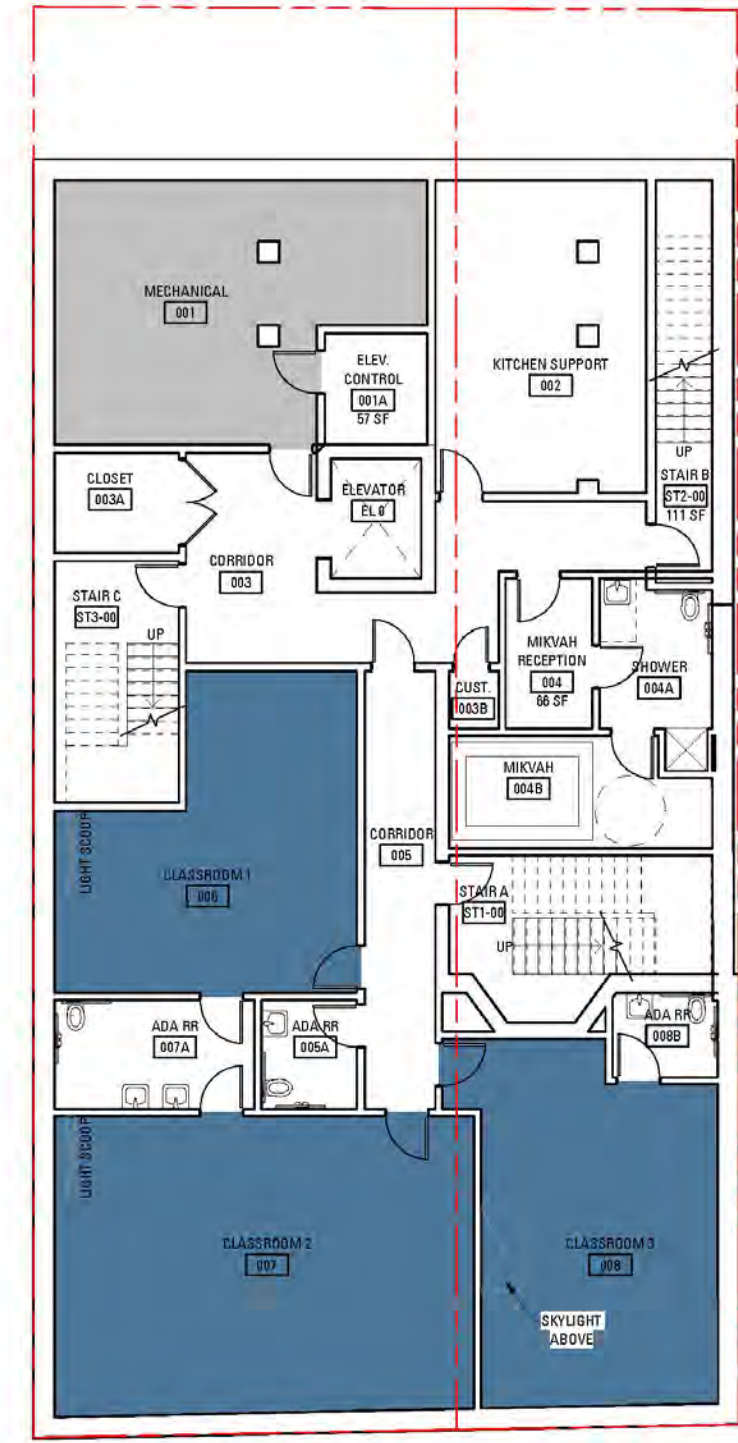
Educational/ Daycare  
 Community



Second floor plan



Ground floor plan



Basement plan

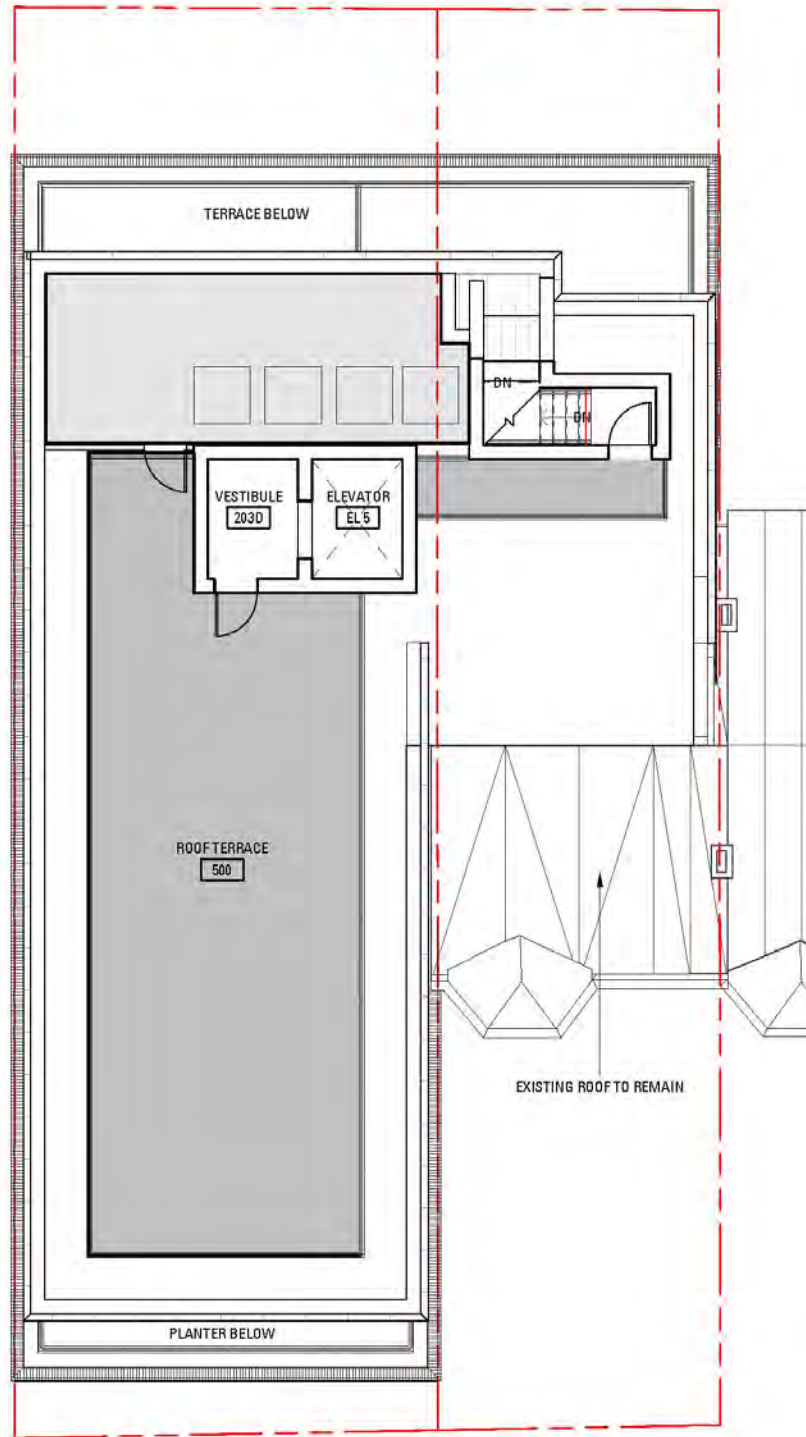
scale NTS

# Chabad Center new construction

## Plans

- 2 bed, 2 bath with living room
- 2 bed, 2 bath

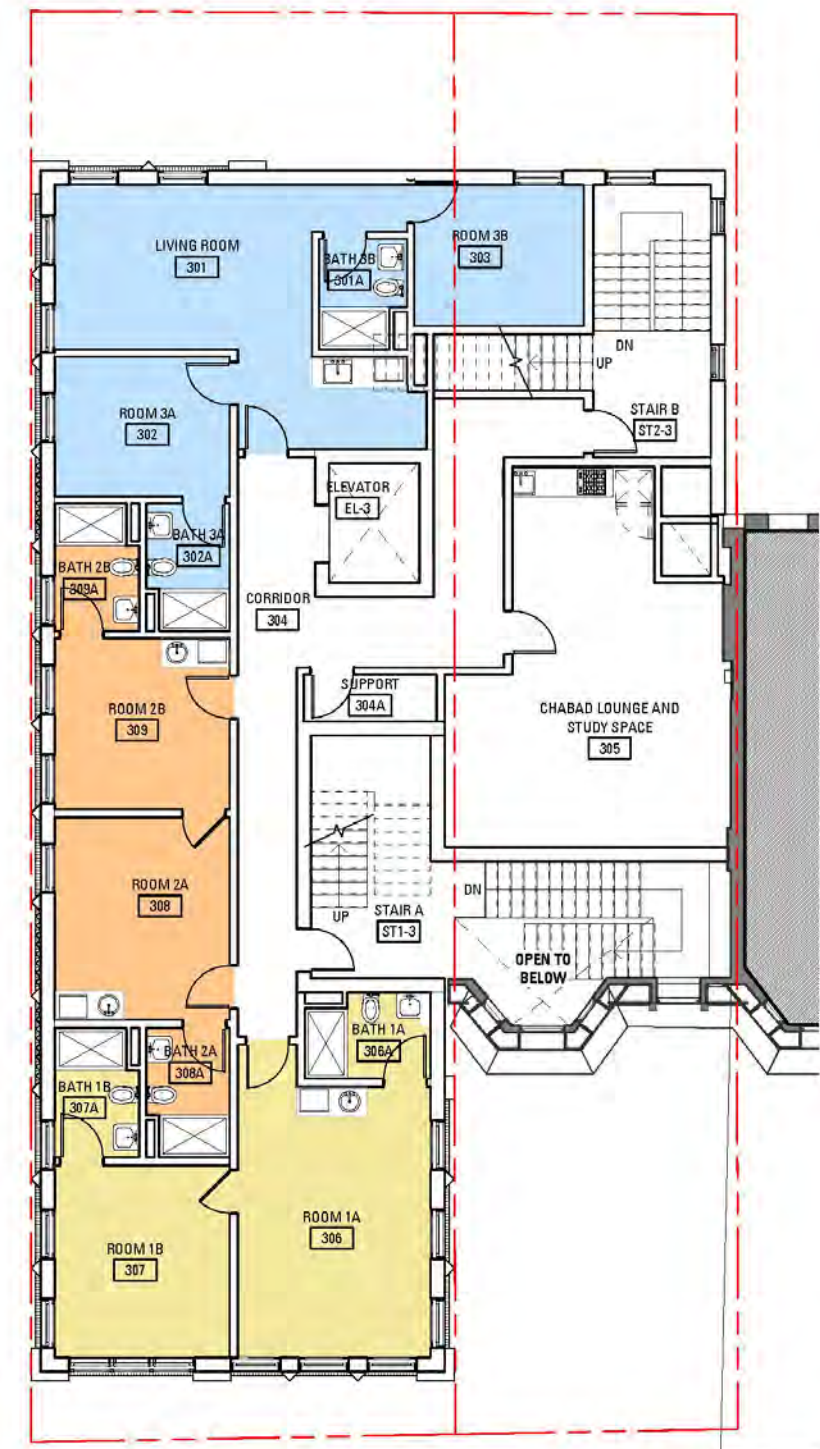
- 1 bed, 1 bath with connecting door
- 1 bed, 1 bath
- Chabad Parsonage Suite



Roof plan



Fourth floor plan

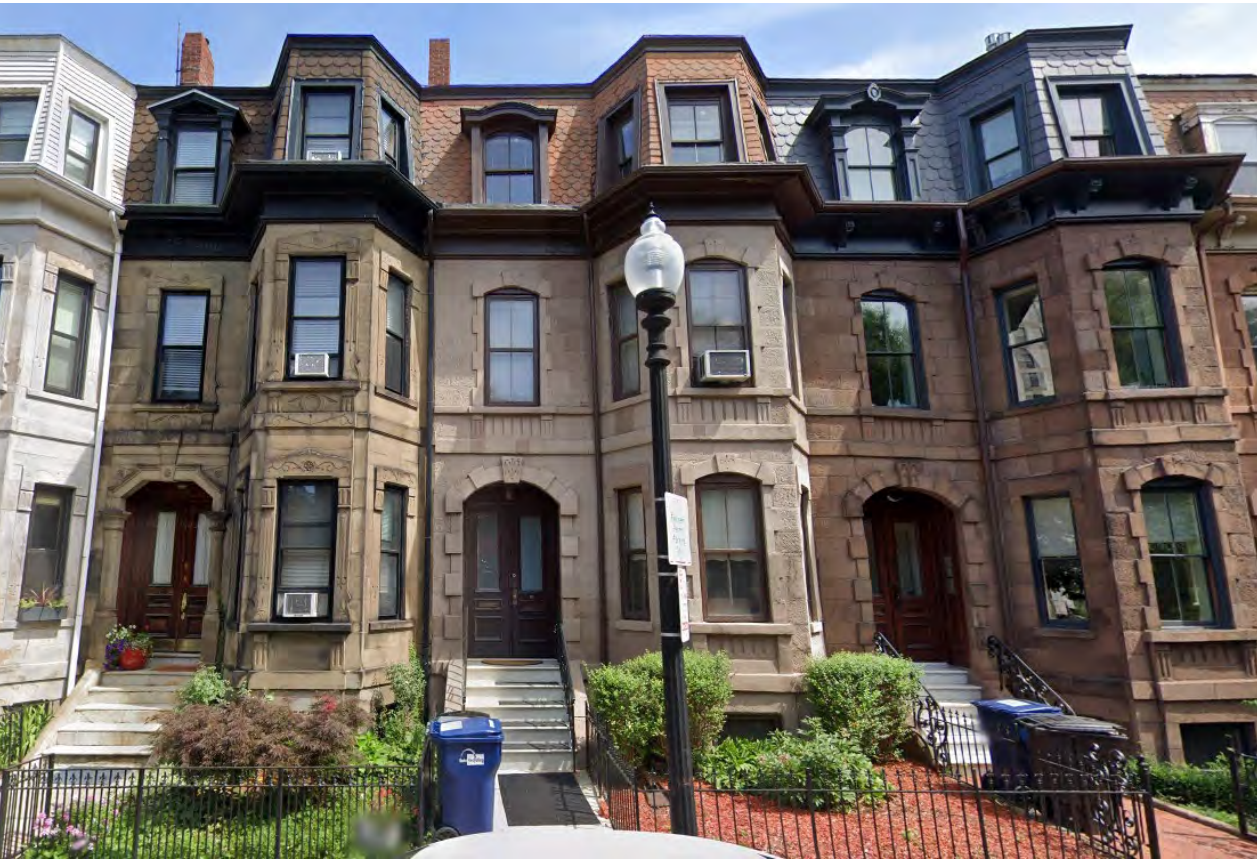


Third floor plan



# Chabad Center – Neighborhood Context

Wigglesworth Street, Worthington Street, Huntington Avenue



# Chabad Center – Neighborhood Context

Tremont Street



Tremont Street Materials Precedent



Stone Detail Precedent 1607 Tremont Street

# Chabad Center new construction

## Tremont Elevation



# Chabad Center new construction

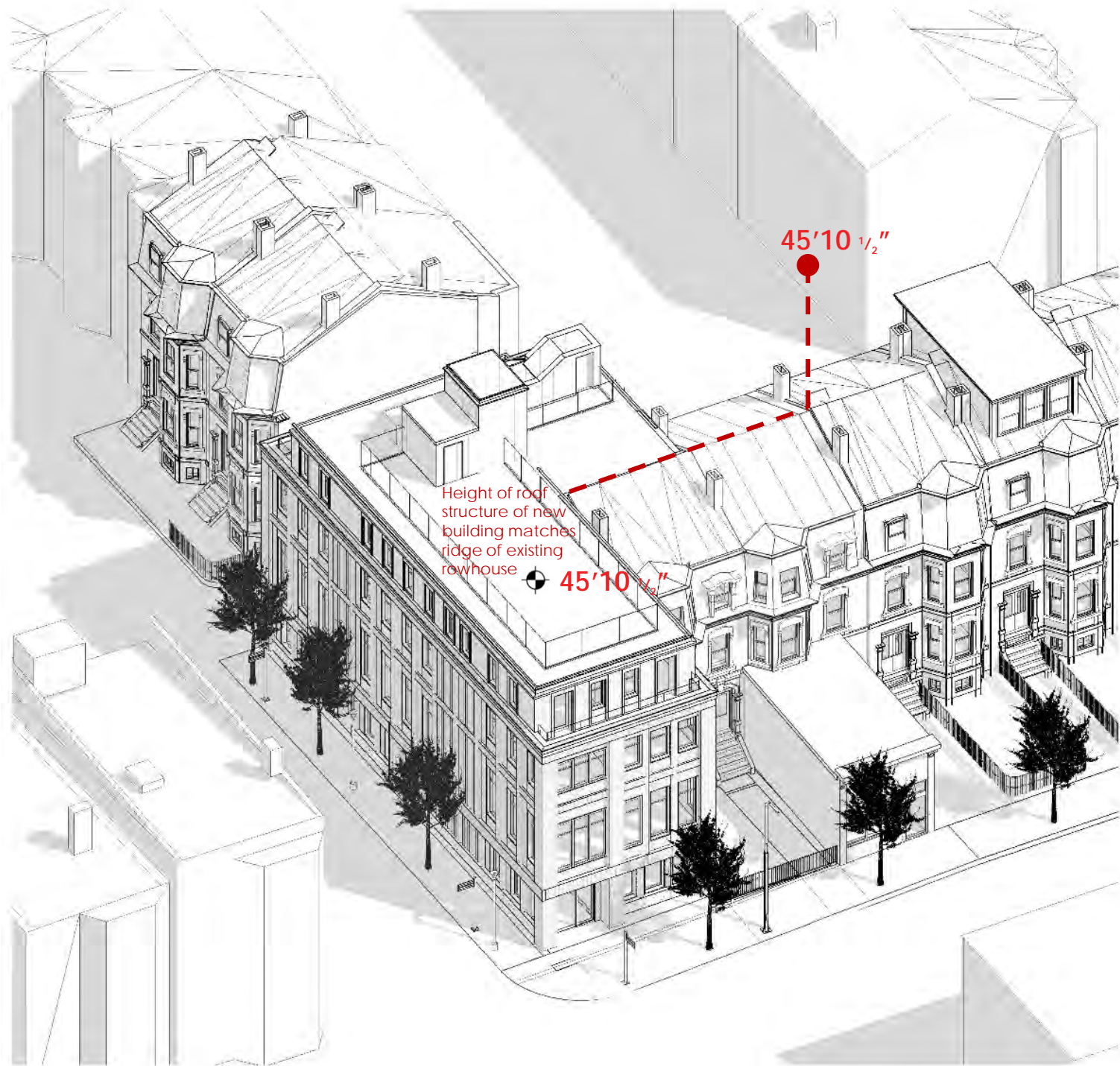
## Wigglesworth Elevation





# Chabad Center new construction

SW Axon



PROPOSED



Street View - Wigglesworth



Street View - Tremont

# Chabad Center new construction

SE Axon



PROPOSED



Street View - Wigglesworth



Street View - Tremont