

PROJECT:

34 FARNSWORTH STREET ROOF REPLACEMENT

34 FARNSWORTH ST.
BOSTON, MA 02210



CLIENT:

**CUSHMAN AND
WAKEFIELD**

99 HIGH STREET, SUITE 801
BOSTON, MA 02110

ARCHITECT:



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ISSUED FOR BID 09/27/22

NOT FOR
CONSTRUCTION
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ABBREVIATIONS

&	AND
@	ANGLE
CL	CENTERLINE
°	DEGREES
Ø	DIAMETER OR ROUND
#	POUND OR NUMBER
(E)	EXISTING
±	APPROXIMATELY
ACT	ACOUSTICAL CEILING TILE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
APPROX	APPROXIMATE
BOD	BOTTOM OF ROOF DECK
BOT	BOTTOM
CG	CORNER GUARD
CI	CONTROL JOINT
CLG	CEILING
CLOS	CLOSET
CMU	CONCRETE MASONRY UNITS
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CORR	CORRIDOR
CPT	CARPET
DBL	CERAMIC TILE
DEPT	DEPARTMENT
DF	DRINKING FOUNTAIN
DTL	DETAIL
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DN	DOWN
DWG	DRAWING
DS	DOWN SPOUT
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATION
EMER	EMERGENCY
EQ	EQUAL
EQPT	EQUIPMENT
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FHC	FIRE HOSE CABINET
FF	FINISH FLOOR
FIN	FINISH
FL	FLOOR
FL/FL	FLOOR TO FLOOR
FT	FIRE TREATED
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GFI	GROUND FAULT INTERRUPT
GND	GROUND
GW6	GYPSUM WALL BOARD
HP	HANDICAPPED
HB	HOSE BIB
HC	HOLLOW CORE
HM	HOLLOW METAL
HR	HOUR
HGT	HEIGHT
HWH	HOT WATER HEATER
INSUL	INSULATION
INT	INTERIOR
JAN	JANITOR
JT	JOINT
KIT	KITCHEN
LAB	LABORATORY
LAV	LAVATORY
LCC	LEAD COATED COPPER
MAX	MAXIMUM
MECH	MECHANICAL
MTL	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OH	OVERHEAD
OPP HND	OPPOSITE HAND
PL	PLATE
P LAM	PLASTIC LAMINATE
PLY	PLYWOOD
PR	PAIR
PTD	PAINTED
QT	QUARRY TILE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REIN	REINFORCED
REQD	REQUIRED
RESIL	RESILIENT
REV	REVISION
RM	ROOM
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RTU	ROOF TOP UNIT
SC	SOLID CORE
SCHED	SCHEDULE
SF	SQUARE FEET
SIM	SIMILAR
SPEC	SPECIFICATION
SQ	SQUARE
SS	STAINLESS STEEL
STC	SOUND TRANSMISSION COEFFICIENT
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT	STRUCTURAL
SUSP	SUSPENDED
TEL	TELEPHONE
T&G	TONGUE AND GROOVE
TO	TOP OF
TOS	TOP OF SLAB
TV	TELEVISION
TYP	TYPICAL
UL	UNDERWRITER LAB
VCT	VINYL COMPOSITION TILE
VEST	VESTIBULE
VIF	VERIFY IN FIELD
VVC	VINYL WALL COVERING
W/	WITH
WB	WOOD BASE
WC	WATER CLOSET
WD	WOOD
W/O	WITHOUT
WWF	WELDED WIRE FABRIC

SYMBOLS

	REFERENCE KEYNOTE
	ROOM TAG
	DOOR TAG
	PARTITION TYPE
	DETAIL CALL OUT
	DETAIL CALLOUT
	DETAIL CALLOUT
	SECTION CALLOUT
	ELEVATION CALLOUT
	ELEVATION CALLOUT
	INTERIOR ELEVATION CALLOUT
	REVISION TAG

MATERIAL INDICATIONS

	BATT INSULATION
	BRICK MASONRY UNIT
	BRICK MASONRY UNIT
	CONCRETE
	CONCRETE MASONRY UNIT
	EARTH
	GRAVEL
	METAL PANEL INFILL
	PLYWOOD
	RIGID INSULATION
	STEEL
	WOOD

SUMMARY OF WORK

THE SCOPE OF WORK ON THIS PROJECT AS DEFINED BY THE CONTRACT DOCUMENTS INCLUDES THE FOLLOWING:

- REMOVE AND DISPOSE OF ALL EXISTING EPDM ROOF SYSTEM MATERIALS DOWN TO THE EXISTING WOOD ROOF DECK; INCLUDING ALL ROOF FLASHINGS, EDGE METAL, PARAPET CAPS, AND ALL ASSOCIATED FASTENERS AND ACCESSORIES.
- BASE BID:** INSTALLATION OF A NEW 72 MIL THERMOPLASTIC PVC ROOF ASSEMBLY; INCLUDING 5-1/2" MINIMUM THICK POLYISO INSULATION, VAPOR RETARDER, CRICKETS, ROOF EDGE BLOCKING, FLASHINGS AND ALL ASSOCIATED ACCESSORIES.
- ALTERNATE #1:** INSTALLATION OF A NEW 90 MIL EPDM ROOF ASSEMBLY; INCLUDING 5-1/2" MINIMUM THICK POLYISO INSULATION, VAPOR RETARDER, CRICKETS, ROOF EDGE BLOCKING, FLASHINGS AND ALL ASSOCIATED ACCESSORIES.
- INSTALLATION OF NEW SOLDERED COPPER COPING CAPS AT PARAPET WALLS AND CHIMNEY CAPS.
- OTHER MISCELLANEOUS ROOFTOP WORK AT THE BUILDING AS CALLED FOR IN THE PROJECT DRAWINGS.
- BASE BID INCLUDE ALLOWANCE OF 250' OF WALK WAY ROLL OR ALTERNATE #1 INCLUDE ALLOWANCE OF 100' WALK WAY PADS. LOCATION OF BOTH TO BE DETERMINED IN FIELD WITH BUILDING ENGINEERING.

BUILDING CODE REVIEW

APPLICABLE BUILDING CODES:

- BUILDING CODE: 780 CMR 9TH EDITION (2015 IBC WITH MA AMENDMENTS AND 2018 IECC WITH MA AMENDMENTS)
- EXISTING BUILDING CODE: 780 CMR, CHAPTER 34 (2015 IEBC WITH MA AMENDMENTS)
- ENERGY CODE: 780 CMR CHAPTER 13 ENERGY EFFICIENCY (2018 IECC WITH MA AMENDMENTS)

GENERAL NOTES

- DIMENSIONS, QUANTITIES, AND CONDITIONS SHOWN ON THESE DRAWINGS ARE ASSUMED BY THE ARCHITECT BASED UPON AVAILABLE INFORMATION. THE CONTRACTOR SHALL, PRIOR TO THE START OF CONSTRUCTION, VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND QUANTITIES. PROVIDE A COMPLETE FIELD LAYOUT OF THE PROJECT SITE AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS OR CONFLICTS WITH THESE DRAWINGS.
- THE DRAWINGS ARE NOT TO BE SCALED. THE GENERAL CONTRACTOR IS TO REFER TO THE DIMENSIONS INDICATED OR THE ACTUAL SIZES OF CONSTRUCTION ITEMS. WHERE NO DIMENSION OR METHOD OF DETERMINING A LOCATION IS GIVEN, VERIFY CORRECT LOCATION WITH THE ARCHITECT PRIOR TO INSTALLATION.
- THE DRAWINGS AND REFERENCED DETAILS HAVE BEEN DIMENSIONED IN ORDER TO ESTABLISH THE CONTROL AND GUIDELINES FOR FIELD LAYOUT. WHERE A DISCREPANCY EXISTS BETWEEN THE DRAWING AND THE DETAIL, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION PRIOR TO INSTALLATION. ALL INFORMATION SHALL BE VERIFIED BY THE GENERAL CONTRACTOR INTO THE PROJECT AS-BUILTS DRAWINGS AND SUBMITTALS.
- THE BUILDING SHALL BE MADE WATERTIGHT AT THE END OF EACH WORK PERIOD OR IF INCLEMENT WEATHER THREATENS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL FEDERAL, STATE AND LOCAL BUILDING AND ZONING CODES.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS TO REVIEW ALL DRAWINGS, PROJECT MANUAL, ADDENDA, ETC. IN ORDER TO ASSURE THE COORDINATION OF ALL WORK AFFECTING EACH TRADE. FAILURE TO REVIEW AND COORDINATE ALL CONTRACT DOCUMENTATION BY THE GENERAL CONTRACTOR WITH ALL THE SUBCONTRACTORS FOR APPLICABLE ITEMS OF THE WORK SHALL NOT RELIEVE THE RESPONSIBLE PARTY FROM PERFORMING ALL WORK SO REQUIRED AS PART OF THE CONTRACT.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THE SUBCONTRACTORS TO INFORM THE ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS AND TO OBTAIN CLARIFICATION ON ALL ITEMS AFFECTING CONSTRUCTION COST FOLLOWING THE REVIEW OF THE DRAWINGS, PROJECT MANUAL, ADDENDA, ETC. PRIOR TO THE SUBMISSION OF THE BID.
- THE GENERAL CONTRACTOR IS TO VISIT THE SITE WITH ALL SUBCONTRACTORS PRIOR TO BIDDING IN ORDER TO FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS AND THE IMPACT OF THE PROPOSED NEW WORK INDICATED IN THE DRAWINGS AND SPECIFICATIONS. ANY QUESTIONS REGARDING THE COORDINATION OF NEW WORK OR EXISTING CONDITIONS WILL BE SUBMITTED TO THE ARCHITECT IN WRITING PRIOR TO THE BID SUBMISSION. THE ARCHITECT WILL RESPOND TO ALL QUESTIONS WITH WRITTEN CLARIFICATIONS SUBMITTED TO ALL BIDDERS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SCOPE OF THE WORK AFFECTING BOTH EXISTING CONDITIONS TO REMAIN AND NEW WORK. NO 'CHANGE REQUESTS' WILL BE CONSIDERED FOR ANY WORK WHICH THE GENERAL CONTRACTOR DID NOT BECOME FAMILIAR WITH DURING THE SITE VISIT, FIELD REVIEW OR SURVEY.
- REFER TO THE PROJECT MANUAL FOR SPECIFICATIONS OF ITEMS. REQUIREMENTS OF THE SPECIFICATIONS APPLY TO ALL ASPECTS OF THE WORK AND ARE INDICATED AS ADDITIONAL INFORMATION FOR EACH ITEM SPECIFIED. IF DISCREPANCIES EXIST BETWEEN THE SPECIFICATION AND DRAWINGS, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL. THE GENERAL CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN ORDER TO OBTAIN CLARIFICATION.
- THE CONTRACTOR IS TO PERFORM NEW WORK IN ACCORDANCE WITH ESTABLISHED INDUSTRY PRACTICES PER NRCA AND SMACNA STANDARDS.
- ALL ITEMS NOTED AS EXISTING ARE TO REMAIN UNLESS OTHERWISE NOTED.
- ALL ITEMS SHALL BE CONTINUOUS UNLESS OTHERWISE NOTED.

DRAWING LIST

SHEET NUMBER	DRAWING TITLE	ISSUED FOR BID - 09/27/22	DRAWING & SKETCHES ISSUED DURING CONSTRUCTION
G-000	COVER SHEET	●	
G-001	GENERAL REFERENCE SHEET	●	

GENERAL

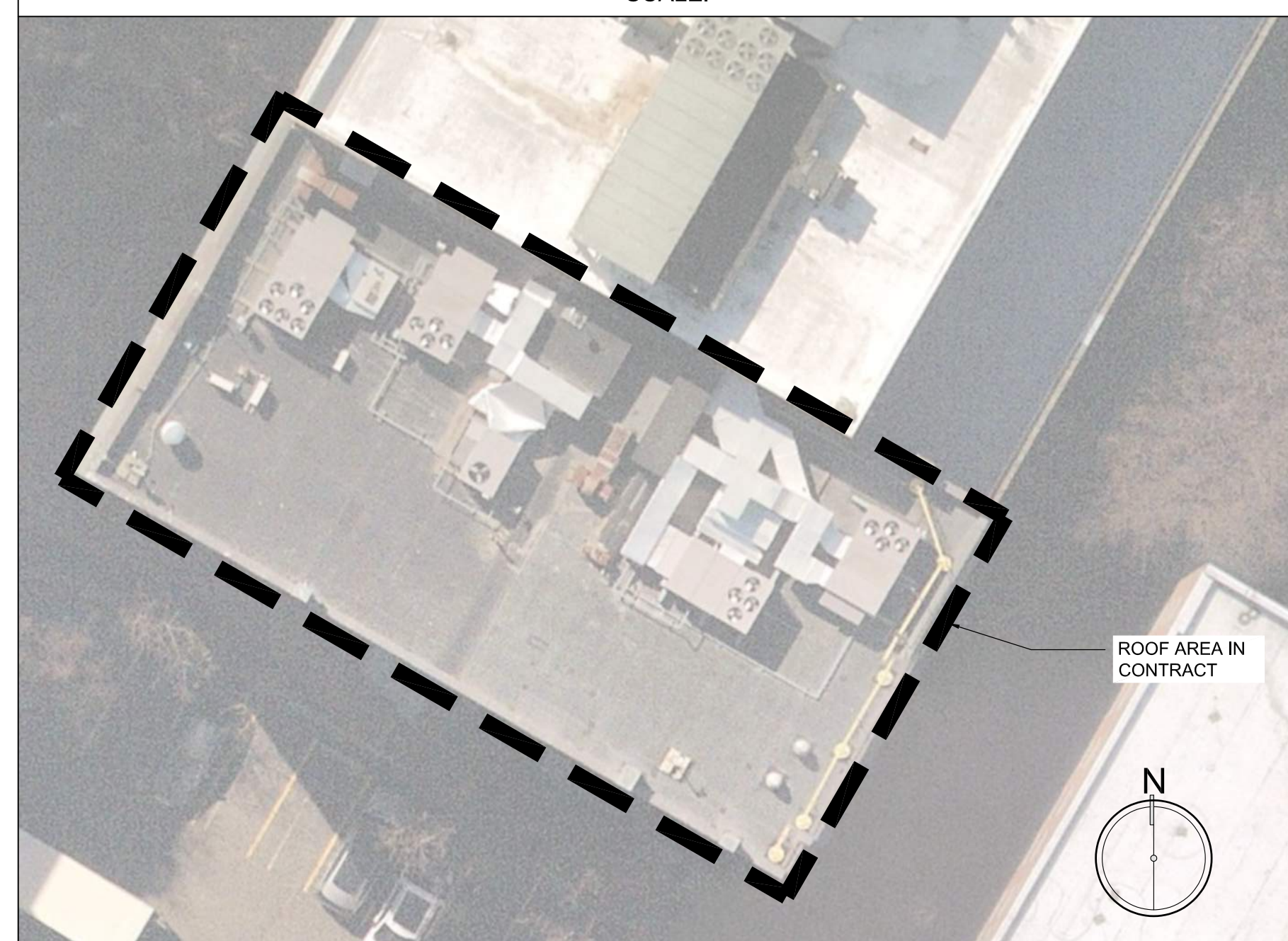
G-000	COVER SHEET	●							
G-001	GENERAL REFERENCE SHEET	●							

ARCHITECTURAL

A-101	ROOF PLAN	●							
A-501	ROOF DETAILS	●							
A-502	ROOF DETAILS	●							

LOCUS PLAN

SCALE:



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PREPARED BY A LICENSED ARCHITECT

Any changes to this item can be a violation of the law unless altered by a licensed architect. Any alteration made to this item must be accompanied by a specific description of change or changes made; date change was made, as well as the seal of the licensed architect who made or oversaw the changes.

MARK	DATE	DESCRIPTION
	09-27-22	ISSUED FOR BID

PROJECT NO.: 22092
DRAWN BY: TL
CHECKED BY: MSW
DRAWING SCALE: AS NOTED

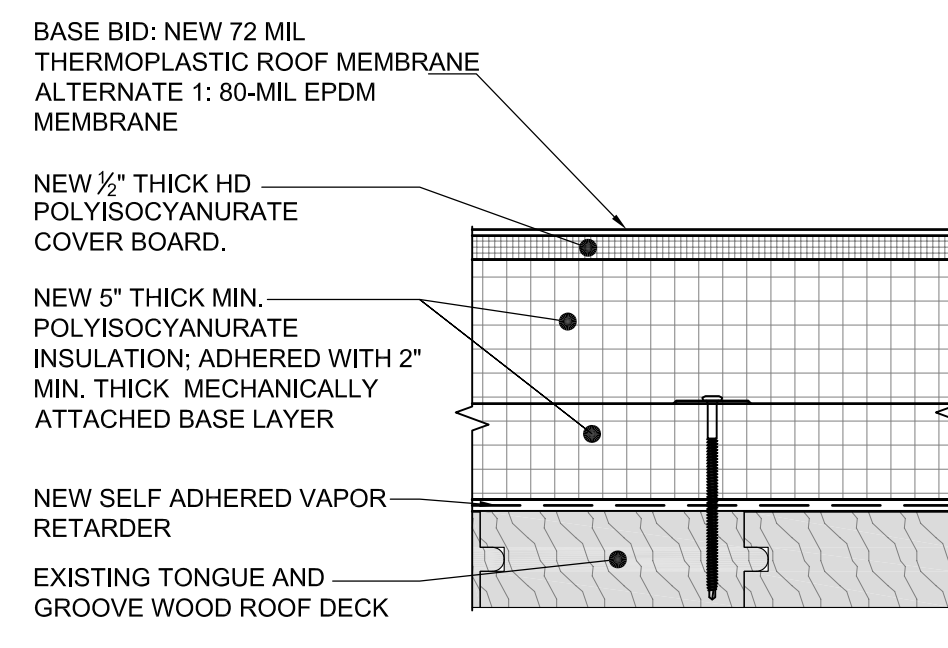
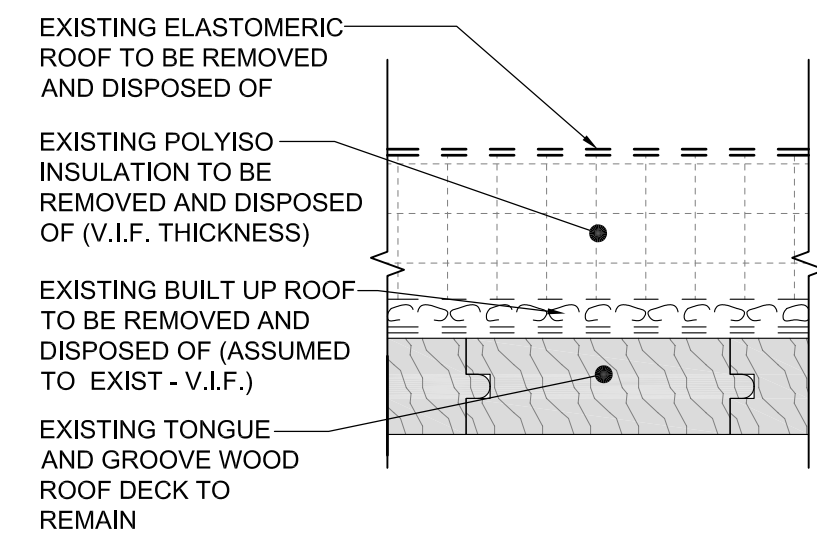
SHEET TITLE:

GENERAL REFERENCE SHEET

SHEET:

G-001

DO NOT SCALE DRAWING



NOTE: ROOF ASSEMBLY AND ROOF EDGE SECUREMENT TO MEET UPLIFT REQUIREMENTS EQUIVALENT TO FM 1-90 IN THE FIELD OF THE ROOF, FM 1-135 IN THE ROOF PERIMETER AND FM-1-180 IN THE ROOF CORNERS.

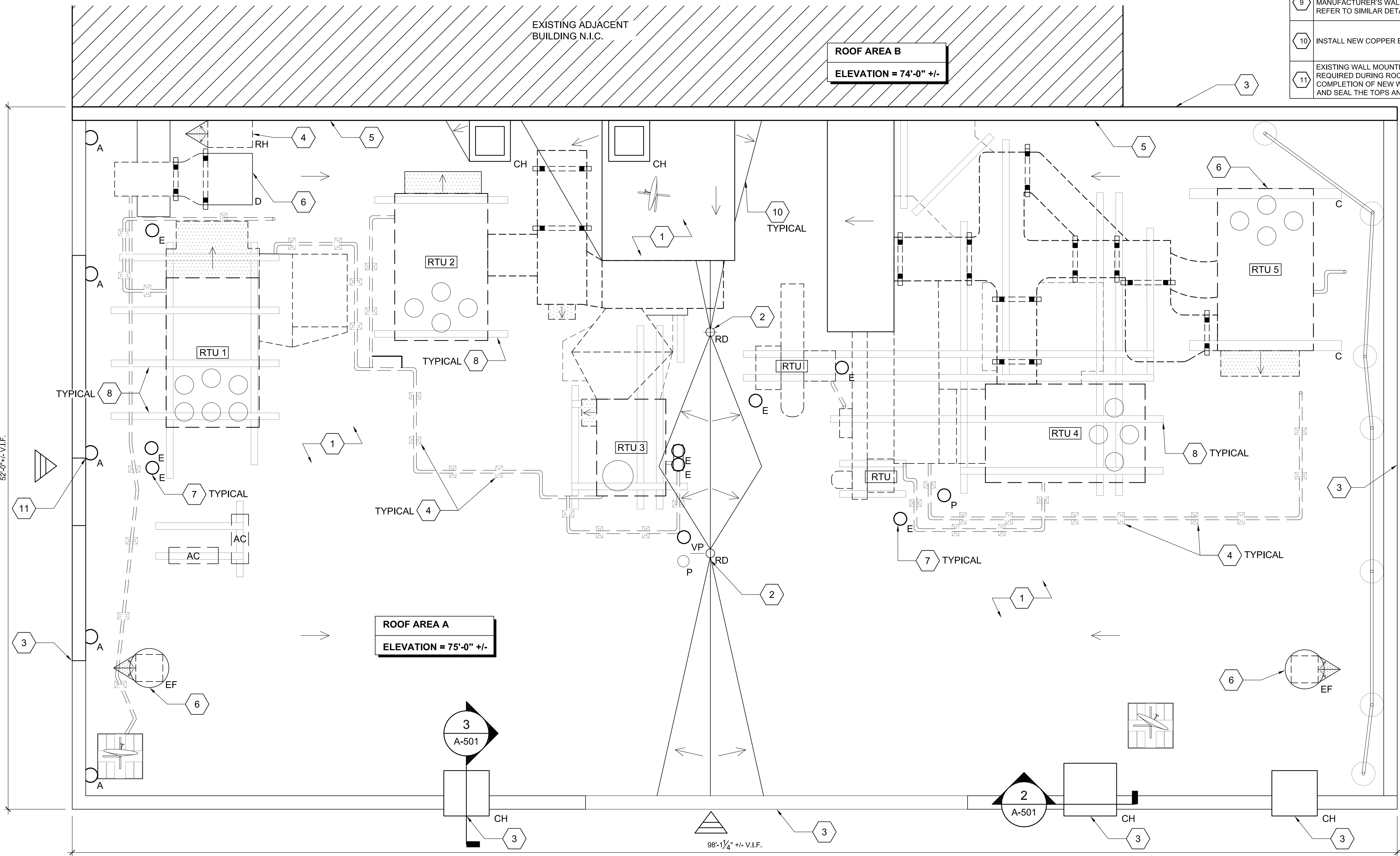
2 EXISTING ROOF SYSTEM CROSS SECTION
3/8"=1'-0"

3 NEW ROOF SYSTEM CROSS SECTION
3/8"=1'-0"

ROOF PLAN LEGEND	
RD	ROOF DRAIN.
VP	EXISTING VENT PIPE PENETRATION.
P	EXISTING PIPE PENETRATION.
CE	EXISTING ELECTRICAL CONDUIT PENETRATION.
EF	EXISTING EXHAUST FAN.
E	EXISTING WALL-MOUNTED ELECTRICAL PANEL.
RTU	EXISTING SATELLITE DISH MOUNTED ON SLEEPERS.
AC	EXISTING ROOFTOP OR AC UNIT MOUNTED ON WOOD SLEEPERS.
CH	EXISTING PARAPET WALL.
CH	CHIMNEY.
---	SURFACE RUN ELECTRICAL CONDUIT MOUNTED ON PIPE SUPPORTS.

ROOF PLAN LEGEND	
[Symbol]	EXISTING ROOFTOP ELEVATED MECHANICAL DUCTWORK ATOP SLEEPER SUPPORTS
[Symbol]	NEW INSULATION CRICKET. (1/2" FT MIN.)
[Symbol]	ROOF SLOPE INDICATOR (DOWN) (1/8" FT V.I.F)
[Symbol]	MAIN BUILDING ENTRANCE FOR ROOF CONTRACTORS
[Symbol]	EXISTING ROOF HATCH
[Symbol]	EXISTING CURB
[Symbol]	NEW WOOD SLEEPER
[Symbol]	EXISTING NON PENETRATING GUARDS TO REMAIN

ROOF PLAN KEYED NOTES	
1	REMOVE EXISTING EPDM ROOF SYSTEM DOWN TO THE WOOD ROOF DECK. BASE BID: INSTALL A NEW 72-MIL THICK THERMOPLASTIC PVC ROOF SYSTEM. REFER TO EXISTING AND NEW ROOF ASSEMBLY DETAILS ON THIS SHEET FOR MORE INFORMATION. ALTERNATE #1: INSTALL A NEW 90-MIL THICK ETHYLENE PROPYLENE DIENE MONOMER ROOF SYSTEM IN LIEU OF A PVC SYSTEM.
2	REMOVE ALL EXISTING DRAINS AND INSTALL ALL NEW DRAIN ASSEMBLIES, INCLUDING BOWLS, STRAINERS, CLAMPING RINGS, ETC. REFER TO DETAIL 3/A-502.
3	INSTALL NEW FULLY SOLDERED COPPER CAPS. REFER TO DETAIL 1/A-501 FOR PARAPET COPING CAPS AND DETAILS 2&3/A-501 FOR CHIMNEY CAPS.
4	EXISTING ROOF HATCH TO REMAIN. INSTALL NEW NON-PENETRATING SAFETY RAIL SYSTEM ATTACHED TO ROOF HATCH CURB. REFER TO DETAIL 2/A-502.
5	INSTALL NEW ZINC COATED COPPER COUNTERFLASHING AT EXISTING THROUGH-WALL FLASHING. REFER TO DETAIL 6/A-501.
6	INSTALL NEW ROOF FLASHING AND METAL COUNTERFLASHING AT EXISTING EQUIPMENT CURB. REFER TO DETAIL 8/A-501.
7	INSTALL NEW ROOF FLASHING, STAINLESS STEEL CLAMPING RING, AND SEALANT AT EXISTING ROOF PENETRATION. REFER TO DETAIL 9/A-501.
8	REMOVE AND REPLACE ALL WOOD SLEEPERS, TYPICAL. REFER TO DETAIL 4/A-501.
9	EXISTING PIPE / CONDUIT SUPPORTS TO REMAIN. INSTALL NEW ADHERED ROOF MANUFACTURER'S WALKWAY PAD UNDERNEATH EACH PIPE SUPPORT, TYPICAL. REFER TO SIMILAR DETAIL 4/A-501.
10	INSTALL NEW COPPER EDGE METAL. REFER TO DETAIL 7/A-501.
11	EXISTING WALL MOUNTED ANTENNAE. REMOVE AND SUPPORT ANTENNAE AS REQUIRED DURING ROOF REPLACEMENT WORK. RE-INSTALL FOLLOWING COMPLETION OF NEW WORK. SET MOUNTING BRACKETS IN A BED OF SEALANT AND SEAL THE TOPS AND SIDES OF THE BRACKETS.



1 ROOF PLAN
3/16"=1'-0"

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PROJECT NO.: 22092
DRAWN BY: TL
CHECKED BY: MSW
DRAWING SCALE: AS NOTED

SHEET TITLE:
ROOF PLAN

SHEET:
A-101
DO NOT SCALE DRAWING

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CONSULTANTS:

PROJECT:

34 FARNSWORTH STREET ROOF REPLACEMENT

34 FARNSWORTH STREET
BOSTON, MA 02210

CLIENT:

CUSHMAN AND WAKEFIELD

99 HIGH STREET, SUITE 801
BOSTON, MA 02110

NOT FOR CONSTRUCTION

PROFESSIONAL

PREPARED BY A LICENSED ARCHITECT

Any changes to this item can be a violation of the law unless altered by a licensed architect. Any alteration made to this item must be accompanied by a specific description of change or changes made; date change was made, as well as the seal of the licensed architect who made or oversaw the changes.

MARK	DATE	DESCRIPTION
	09-27-22	ISSUED FOR BID
ISSUE:		

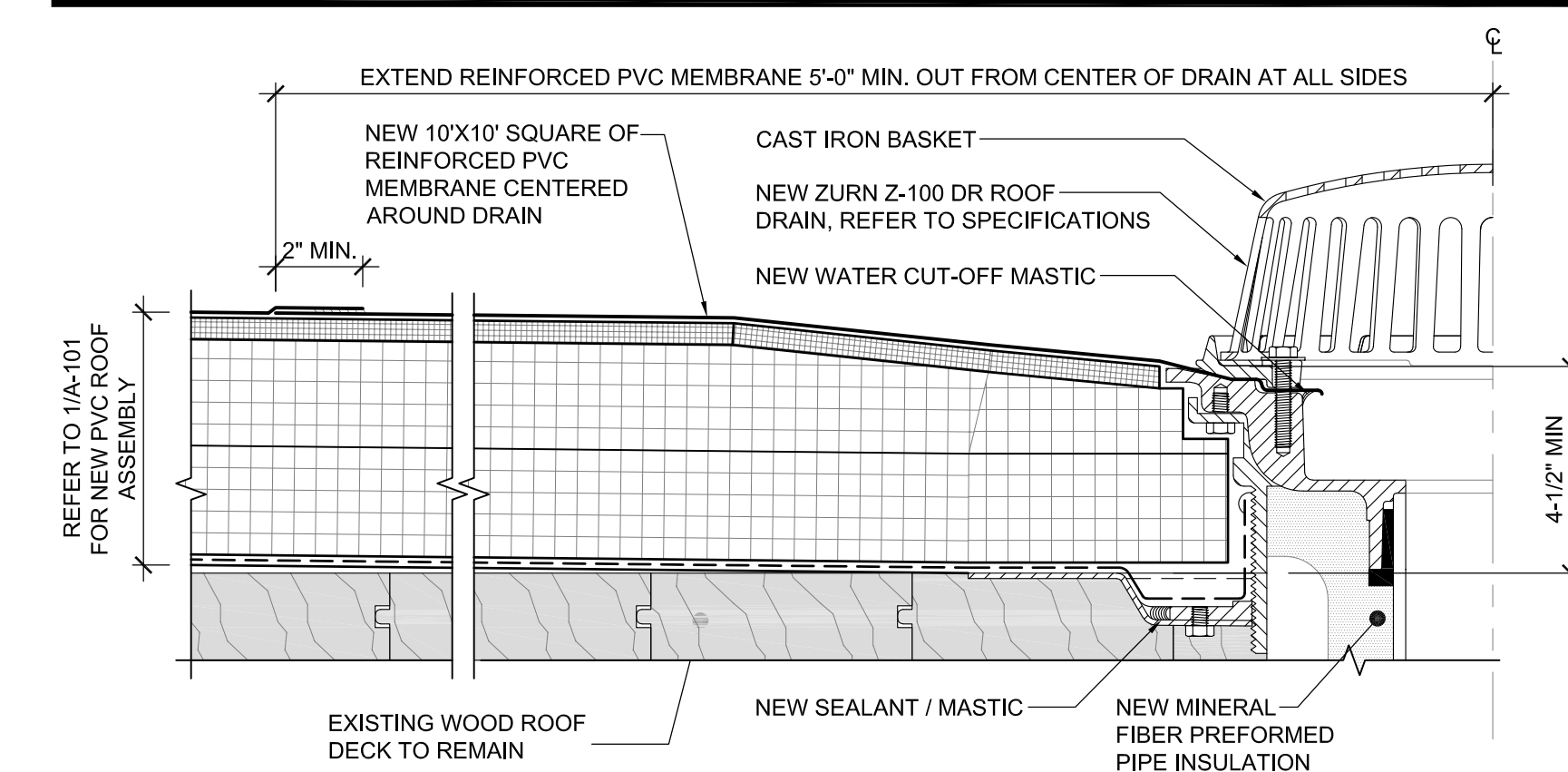
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DRAWN BY:	TL
CHECKED BY:	MSW
DRAWING SCALE:	AS NOTED

SHEET TITLE:
ROOF DETAILS

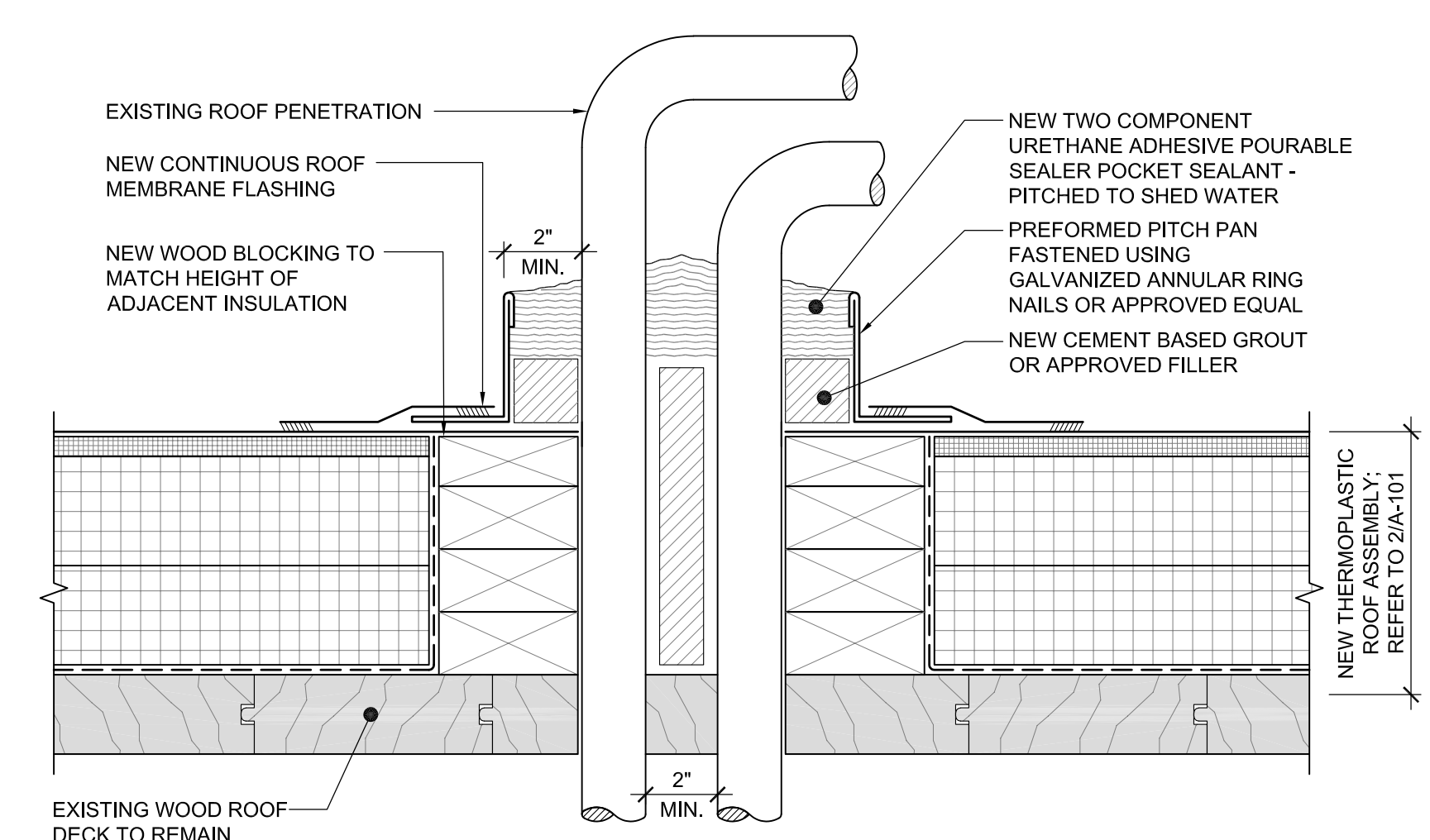
SHEET:
A-502

DO NOT SCALE DRAWING

- NOTES:**
1. ALL BOLTS OR CLAMPS SHALL BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC
 2. CUT THE MEMBRANE SO IT EXTENDS A MINIMUM OF 1/2 INCH BEYOND THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING
 3. HOLE IN MEMBRANE SHALL EXCEED SIZE OF DRAIN PIPE
 4. INSULATION TAPER SHALL NOT BE LESS THAN 1/2" PER FOOT
 5. THE THICKNESS OF THE INSULATION AT THE DRAIN CANNOT BE MORE THAN 1" LESS THAN THE REQUIRED THICKNESS BY CODE.
 6. ALL NEW ROOF DRAIN PARTS INCLUDING STRAINER, CLAMPING RING, AND ADJUSTABLE EXTENSION, AND PAINTED WITH RD ELASTOMETAL PRIOR TO INTALLATION.



2 ROOF DRAIN DETAIL
3"=1'-0"



1 NEW POURABLE SEALER POCKET
3"=1'-0"