

Notice of Intent



July 2022

LONG ISLAND ROAD TENNIS COURTS

PREPARED FOR:
BOSTON PARKS AND RECREATION
DEPARTMENT

SUBMITTED TO:
BOSTON CONSERVATION COMMISSION



July 8, 2022

Boston Conservation Commission
1 City Hall Square, Room 709
Boston, Ma 02201

Re: *NOI Filing*
Long Island Road Tennis Courts

Dear Members of the Commission:

On behalf of the Boston Parks and Recreation Department, Weston & Sampson Engineers, Inc. is hereby enclosing two (2) copies (including original) of the Notice of Intent submittal (including plans) to fulfill the requirements of the Massachusetts Wetlands Protection Act, M.G.L. Chapter 131, Section 40 submittal requirements and the City of Boston submittal requirements. This submittal is a formal Notice of Intent for the repairs to the tennis courts at Long Island Road.

As part of the filing, we have attached the following:

Appendix A: Project Description
Appendix B: Stormwater Report
Appendix C: Project Maps
Appendix D: Applicable Technical Specifications
Appendix E: Abutters Information
Appendix F: Photographs

If you have any questions regarding this submittal, please contact me at (978) 532-1900.

Very truly yours,

WESTON & SAMPSON



Alexandra Gaspar
Environmental Scientist



Enter your transmittal number

X289079

Transmittal Number

Your unique Transmittal Number can be accessed online:

<http://www.mass.gov/eea/agencies/massdep/service/approvals/transmittal-form-for-payment.html>

Massachusetts Department of Environmental Protection

Transmittal Form for Permit Application and Payment

1. Please type or print. A separate Transmittal Form must be completed for each permit application.

2. Make your check payable to the Commonwealth of Massachusetts and mail it with a copy of this form to: MassDEP, P.O. Box 4062, Boston, MA 02211.

3. Three copies of this form will be needed.

Copy 1 - the original must accompany your permit application. Copy 2 must accompany your fee payment. Copy 3 should be retained for your records

4. Both fee-paying and exempt applicants must mail a copy of this transmittal form to:

MassDEP
P.O. Box 4062
Boston, MA
02211

* Note:
For BWSC Permits,
enter the LSP.

A. Permit Information

WPA Form 3

wetlands

1. Permit Code: 4 to 7 character code from permit instructions

2. Name of Permit Category

recreation - court repair

3. Type of Project or Activity

B. Applicant Information – Firm or Individual

Boston Parks and Recreation Department

1. Name of Firm - Or, if party needing this approval is an individual enter name below:

2. Last Name of Individual

3. First Name of Individual

4. MI

1010 Massachusetts Avenue, 3rd Floor

5. Street Address

Boston

MA

02118

617-635-4505

6. City/Town

7. State

8. Zip Code

9. Telephone #

10. Ext. #

Ryan Woods, Commissioner

ryan.woods@boston.gov

11. Contact Person

12. e-mail address

C. Facility, Site or Individual Requiring Approval

1. Name of Facility, Site Or Individual

2. Street Address

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

8. DEP Facility Number (if Known)

9. Federal I.D. Number (if Known)

10. BWSC Tracking # (if Known)

D. Application Prepared by (if different from Section B)*

Weston & Sampson Engineers

1. Name of Firm Or Individual

55 Walkers Brook Dr Suite 100

2. Address

Reading

MA

01867

978-532-1900

3. City/Town

4. State

5. Zip Code

6. Telephone #

7. Ext. #

Alexandra Gaspar

8. Contact Person

9. LSP Number (BWSC Permits only)

E. Permit - Project Coordination

1. Is this project subject to MEPA review? yes no
If yes, enter the project's EOEA file number - assigned when an Environmental Notification Form is submitted to the MEPA unit:

EOEA File Number

F. Amount Due

Special Provisions:

- 1. Fee Exempt (city, town or municipal housing authority)(state agency if fee is \$100 or less).
There are no fee exemptions for BWSC permits, regardless of applicant status.
- 2. Hardship Request - payment extensions according to 310 CMR 4.04(3)(c).
- 3. Alternative Schedule Project (according to 310 CMR 4.05 and 4.10).
- 4. Homeowner (according to 310 CMR 4.02).

DEP Use Only

Permit No:

Rec'd Date:

Reviewer:

Check Number

Dollar Amount

Date



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

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Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>1 Long Island Rd</u>	<u>Boston</u>	<u>02171</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>42.328848</u>	<u>-70.959022</u>	
d. Latitude	e. Longitude	
<u>0107067000</u>	<u></u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Ryan</u>	<u>Woods</u>	
a. First Name	b. Last Name	
<u>Boston Parks and Recreation Department</u>		
c. Organization		
<u>1010 Massachusetts Ave, 3rd Floor</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02118</u>
e. City/Town	f. State	g. Zip Code
<u>617-635-4505</u>	<u>N/A</u>	<u>ryan.woods@boston.gov</u>
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Alexandra</u>	<u>Gaspar</u>	
a. First Name	b. Last Name	
<u>Weston & Sampson</u>		
c. Company		
<u>55 Walkers Brook Drive, Suite 100</u>		
d. Street Address		
<u>Reading</u>	<u>MA</u>	<u>01867</u>
e. City/Town	f. State	g. Zip Code
<u>978-532-1900</u>	<u>N/A</u>	<u>gaspara@wseinc.com</u>
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>Exempt</u>	<u></u>	<u></u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

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A. General Information (continued)

6. General Project Description:

Work to repair basketball/tennis court by replacing the surfacing and updating the sports equipment on site.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

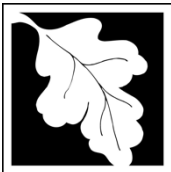
8. Property recorded at the Registry of Deeds for:

<u>Suffolk</u>	_____	<u>_____</u>
a. County		b. Certificate # (if registered land)
<u>unlisted</u>	_____	<u>unlisted</u>
c. Book		d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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Bureau of Resource Protection - Wetlands

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

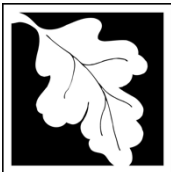
a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input checked="" type="checkbox"/> Coastal Banks	310	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	40,800	
	1. square feet	

4. Restoration/Enhancement
 If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- 2022
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

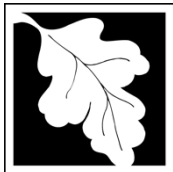
1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and
the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

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C. Other Applicable Standards and Requirements (cont'd)

Online Users:

Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Improvements to Various Courts, City Wide

a. Plan Title

Weston & Sampson

b. Prepared By

July 2022

d. Final Revision Date

c. Signed and Stamped by

As noted

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

Exempt

2. Municipal Check Number

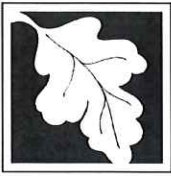
3. Check date

4. State Check Number

5. Check date

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

6/1/2022

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

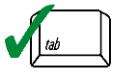
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

1 Long Island Road Boston
 a. Street Address b. City/Town
 Exempt
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Ryan Woods
 a. First Name b. Last Name
 Boston Parks and Recreation Department
 c. Organization
 1010 Massachusetts Avenue 3rd Floor
 d. Mailing Address
 Boston MA 02118
 e. City/Town f. State g. Zip Code
 617-635-4505 N/A ryan.woods@boston.gov
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

a. First Name b. Last Name
 c. Organization
 d. Mailing Address
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Exempt			

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee: _____
 a. Total Fee from Step 5

State share of filing Fee: _____
 b. 1/2 Total Fee **less** \$12.50

City/Town share of filing Fee: _____
 c. 1/2 Total Fee **plus** \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)



INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581-3336
508.792.7270



A. GENERAL INFORMATION

1. Project Location

1 Long Island Road Boston 02171
a. Street Address b. City/Town c. Zip Code
0107067000 _____
f. Assessors Map/Plat Number g. Parcel /Lot Number

2. Applicant

Ryan Woods Commissioner, Boston Parks and Recreation Dept
a. First Name b. Last Name c. Company
1010 Massachusetts Ave, 3rd Floor
d. Mailing Address
Boston MA 02118
e. City/Town f. State g. Zip Code
617-635-4505 _____ ryan.woods@boston.gov
h. Phone Number i. Fax Number j. Email address

3. Property Owner

a. First Name b. Last Name c. Company

d. Mailing Address

e. City/Town f. State g. Zip Code

h. Phone Number i. Fax Number j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

Alexandra Gaspar Weston & Sampson Engineers
a. First Name b. Last Name c. Company
55 Walkers Brook Dr Suite 100
d. Mailing Address
Reading MA 01867
e. City/Town f. State g. Zip Code
978-532-1900 _____ gaspara@wseinc.com
h. Phone Number i. Fax Number j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

Work to repair basketball/tennis court by replacing the surfacing and updating the sports equipment on site.

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture – cranberries, forestry
- i. Transportation
- j. Other

8. Property recorded at the Registry of Deeds

Suffolk

a. County

unlisted

b. Page Number

unlisted

c. Book

d. Certificate # (if registered land)

9. Total Fee Paid

exempt

a. Total Fee Paid

b. State Fee Paid

c. City Fee Paid

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	<u>161,000</u> Square feet	<u>6880</u> Square feet	<u>6880</u> Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Isolated Wetlands	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____ Square feet	_____ Square feet	_____ Square feet
<input type="checkbox"/> Riverfront Area	_____ Square feet	_____ Square feet	_____ Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

None .



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.

- Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

Percentage/acreage of property to be altered:

(1) within wetland Resource Area _____ percentage/acreage

(2) outside Resource Area _____ percentage/acreage

Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

- Yes No

If yes, provide the name of the ACEC: _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.

- Applying for a Low Impact Development (LID) site design credits
- A portion of the site constitutes redevelopment
- Proprietary BMPs are included in the Stormwater Management System

No. Check below & include a narrative as to why the project is exempt

- Single-family house
- Emergency road repair
- Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

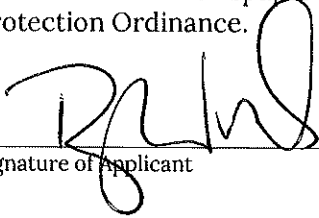
5. Is the proposed project subject to Boston Water and Sewer Commission Review?

- Yes No




D. SIGNATURES AND SUBMITTAL REQUIREMENTS

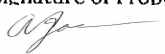
I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.



Signature of Applicant



Date

Signature of Property Owner (if different)


Date

Signature of Representative (if any)

6/1/2022

Date

Appendix A

PROJECT DESCRIPTION

Background

Due to a desire to improve the quality of the recreational courts at Long Island Road, the project proponent (Boston Parks and Recreation Department), proposes to repair both the basketball and tennis courts by replacing the surface and making other general improvements to the recreational area.

Site Description

The site is located at 1 Long Island Road on Long Island in Boston, MA. The parcel is a mixture of recreational area, roadways, and forested area.

Scope of Work

The existing basketball and tennis court bituminous concrete surfacing is in disrepair and presents some safety concerns. Boston Parks and Recreation Department wants to repair the court by replacing the existing asphalt playing surface with post-tension concrete, replace the perimeter fencing, and replace the sports equipment on site. An ADA accessible concrete pavement pathway and stair will be added from Long Island Road to the courts. Overall, the proposed work will result in slight reductions in the site's square footage of impervious surfacing.

The proposed design includes 750 square feet of stone revetment (approximately 110'-0" long by 7'-0" wide) along the southwest edge of the courts. The revetment will have a depth of approximately 2'-0" and includes the installation of a geotextile filter fabric. The diameter size of stone will be no smaller than 12" and no larger than 24". This material is intended to help prevent the recurrence of erosion to the City's court improvements.

Photos of existing conditions of the site are provided below along with a plan showing the location where each photo was taken for context.

Environmental Considerations

This proposed project will include impact Land Subject to Coastal Storm Flowage, Coastal Bank and the 100' Buffer, both areas regulated under the Massachusetts Wetlands Protection Act (WPA). In addition, this project will impact the 25' Waterfront Area, an area protected by the City of Boston Conservation Commission. The City of Boston has performance standards for LSCSF, these are addressed below.

City of Boston Performance Standards - LSCSF

1. When the Commission determines that LSCSF overlays or overlaps with other resource areas protected under the Ordinance, the applicable performance standards for each resource area shall be independently as well as collectively applied, and the project shall be conditioned to protect the Resource Area Values of all resource areas affected by the project and the ability of such other resource areas to protect the Resource Area Values described in Section XVII(A).

In addition to LSCSF, work will occur within waterfront area and the 100' buffer. These areas do not have performance standards. The resource area value will be maintained as this work will not result in an increase in impervious area.

2. If LSCSF affected by proposed activity or work is significant to the Resource Area Values described in Section XVII(A), such activity shall not have an adverse impact on the subject site, adjacent properties, properties located in the adjacent Coastal Flood Resilience Zone, or any public or private way by increasing the elevation or velocity of flood or storm waters or by increasing flows due to a change in drainage or flowage characteristics.

As there will be no increase in impervious area, there will be no impact on the elevation or velocity of flood or storm waters and will not increase flows. Thus, no adverse impacts to subject site, adjacent properties, properties located in the adjacent Coastal Flood Resilience Zone, or any public or private way are anticipated.

3. If LSCSF is significant to flood control or storm damage prevention, the proposed activity or work shall not result in flood damage due to filling, which causes lateral displacement of flood waters that, in the judgment of the Commission, would otherwise be confined within said area. The Commission, in its sole discretion, may permit such activity so long as the activity will not have an adverse impact on said 45 area's ability to provide storm damage prevention and flood control; provided, further, that the activity or work incorporate best management practices to reduce or eliminate damage resulting from SLR and coastal storms.

This project proposes a new impervious ADA walkway. However, the area of the impervious court will be decreased, resulting in a net 0 increase in impervious area. Due to this, there will be no impact on the areas ability to provide storm damage prevention or flood control. In addition to no new impervious area, no new volume will be added to the flood zone. Pre and post construction conditions will essentially be the same.

4. If LSCSF receives and holds coastal flood waters, the proposed activity or work shall not impact the ability of the area to receive, hold, and laterally spread flood waters if it causes unnatural redirection, refraction, diffraction, or reflection of coastal flood waters and waves.

This work will not result in an overall increase of impervious area and will not impact the ability of the area to receive, hold, and laterally spread flood waters. In addition to no new impervious area, no new volume will be added to the flood zone. Pre and post construction conditions will essentially be the same.

5. If LSCSF receives coastal flood waters that naturally flow across the landform surface without redirecting or channeling the flow, the proposed activity or work shall not cause flood water to become redirected or channeled or increase in

velocity, so as to cause erosion, scour, and increased storm damage to the project's locus and adjacent areas.

This work will not result in an increase of impervious area and thus will not cause floodwater to become redirected or channeled or increase in velocity. In addition to no new impervious area, no new volume will be added to the flood zone. Pre and post construction conditions will essentially be the same.

6. If LSCSF is significant to wildlife and their habitat, proposed activity or work shall not impair the capacity of those portions of LSCSF to provide important wildlife habitat functions.

The current land use is recreational courts, which are providing minimal if any wildlife habitat functions.

7. If LSCSF is significant to the prevention of pollution, proposed activity or work shall not have an adverse impact on the characteristic of the LSCSF to remove suspended solids and other contaminants from runoff before entering into other wetland resource areas or a body of water.

This work will result in no increase in impervious area and is occurring mostly within the existing footprint of the courts and thus will not impact the ability of LSCSF to remove suspended solids and other contaminants from runoff.

8. Proposed work or activity in LSCSF which results in alteration to vegetative cover, interruptions in the beneficial supply of sediment to other wetland resource areas, or changes to the form or volume of a dune or beach, and such result will have an adverse impact on said dune or beach's ability to provide storm damage prevention and flood control, is prohibited.

The ADA path will result in some impact to vegetation. However, as the court footprint is being decreased, this will allow for an increase in vegetation. The revetment will also not result in impact to significant vegetation. As depicted in Figures 3 and 4, the area consists of stone and minimal grass.

9. Notwithstanding Sections XVII(E)(1) through (8), the Commission may, in its sole discretion, permit the following activities provided that the applicant demonstrates to the satisfaction of the Commission that best available measures, as defined by the Ordinance, are utilized to minimize or eliminate adverse impacts on the critical characteristics of and Resource Area Values protected by LSCSF described in Section XVII(A) herein, and provided further that all other performance standards for overlapping or overlaying wetland resource areas are met:
 - a. Limited projects as specified in the Act at 310 Code Mass. Regs.10.24(7);46

- b. Beach and bank nourishment and restoration projects, including fencing, native plantings, and other projects designed to increase resource area stabilization and decrease erosion;
- c. Pedestrian walkways for public shoreline access and nonmotorized use;
- d. Improvements necessary to maintain or improve the structural integrity or stability of an existing coastal engineering structure, as that term is defined by the Ordinance;
- e. Projects which will protect, restore, rehabilitate, or create a wetland resource area;
- f. Projects that are approved, in writing, or conducted by the Commonwealth of Massachusetts Division of Marine Fisheries that are specifically intended to increase the productivity of land containing shellfish, including aquaculture, or to maintain or enhance marine fisheries;
- g. Projects that are approved, in writing, or conducted by the Commonwealth of Massachusetts Division of Fisheries and Wildlife that are specifically intended to enhance or increase wildlife habitat;
- h. Projects that are designed and intended to reduce the risk of coastal flooding, inland flooding, extreme weather events, SLR, and other adverse impacts of climate change, including, but not limited to, strategies and plans described in Climate Ready Boston or any successor initiative of the City,
- i. Flood mitigation projects designed and intended to have no significant adverse effect on the ability of LSCSF to protect from storm damage and flood control, and
- j. Projects involving the installation of scientific testing and monitoring equipment provided that it is temporary in nature and will not alter LSCSF.

This work does not fall under any of these activities.

- 10. In the interest of storm damage prevention, flood control, and prevention of pollution, should the Commission permit activity or work in LSCSF that is part of new construction or constitutes substantial improvement to an existing structure, the Commission may condition the permitted activity or work so that any critical building systems, infrastructure, or equipment is located two (2) feet above the anticipated BFE expected to occur within the next 50 years based on the best available data and projections of SLR. 47
 - a. In the event that the proposed work or activity is temporary, then any critical building systems, infrastructure, or equipment shall be located

two (2) feet above the anticipated BFE at the conclusion of the project's determined duration of the temporary work.

- b. At a minimum, the anticipated BFE shall be based on the best available and most recent data and projections for SLR made available by the City or any of its agencies, boards, commissions, or quasi-City agencies, including, but not limited to, data and information made available through the Climate Ready Boston initiative or any successor initiative.
- c. In the event that elevating or relocating critical building systems, infrastructure, or equipment is not practicable, as determined by the Commission, the Commission may require the Applicant to employ other floodproofing strategies such as floodwalls or shields, and the Applicant shall, at a minimum, secure such equipment with anchors or tie-downs to prevent flotation.

Not applicable. There is no new construction or substantial improvement to structures being proposed.

- 11. When any proposed work or activity in LSCSF is located within an ACEC, the proposed work or activity shall have no adverse impact upon the Resource Area Values described in Section XVII(A) and shall fully mitigate any impacts resulting from the proposed work or activity.

This work is not within an ACEC.

- 12. Section XVII(E)(11) shall supersede the provisions of Section XVII(E)(9)(i) through (viii), but it shall not apply if the presumption set forth in Section XVII(D) is overcome.

Noted.

- 13. Notwithstanding the provisions of Section XVII(E)(2) through (X), no project may be permitted which will have any adverse impact on specified habitat sites of rare vertebrate or invertebrate species indicated on the most recent Estimated Habitat Map of State-listed Rare Wetlands Wildlife (if any) published by the Massachusetts NHESP.

There is no NHESP habitat within the project area.

General Performance Standards – Coastal Bank

“When a coastal bank is determined to be significant to storm damage prevention or flood control because it is a vertical buffer to storm waters, 310 CMR 10.30(6) through (8) shall apply.”

- 6. Any project on such a coastal bank or within 100 feet landward of the top of such coastal bank shall have no adverse effects on the stability of the coastal bank.

Work will occur within coastal bank as part of this project. However, the work will consist of replacing existing tennis court with new tennis court with no increase in the amount of impervious area on site. For this reason, there will be no adverse effect on the stability of coastal bank.

7. Bulkheads, revetments, seawalls, groins or other coastal engineering structures may be permitted on such a coastal bank except when such bank is significant to storm damage prevention or flood control because it supplies sediment to coastal beaches, coastal dunes, and barrier beaches.

This project proposes a stone revetment along the southwest edge of the court. The revetment will help prevent the recurrence of erosion to the City's court improvements. In addition, this coastal bank does not supply sediment to the coastal beach due to the existing retaining wall.

8. Notwithstanding the provisions of 310 CMR 10.30(3) through (7), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.

There is no specified habitat or NHESP habitat within the project area.

Climate Change Discussion

As this work is occurring within Land Subject to Coastal Storm Flowage, climate change is being greatly considered as part of this project. This project will not result in an increase in impervious area, will not result in a decrease in vegetation, and will not result in an increase in volume in LSCSF. The existing impervious courts are being decreased in size, which will reduce the amount of impervious area caused by the courts. However, a goal of this project is to consider ADA accessibility. It is for this reason that we will be adding a small amount of impervious area back to create a paved ADA accessible ramp from Long Island Road to the courts. It is believed that what we are proposing accomplishes the goal of upgrading the courts and making them ADA accessible, while considering climate change as a factor of this project.

Existing Site Photos



Locations of Figures



Figure 1



Figure 2



Figure 3



Figure 4

Appendix B



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

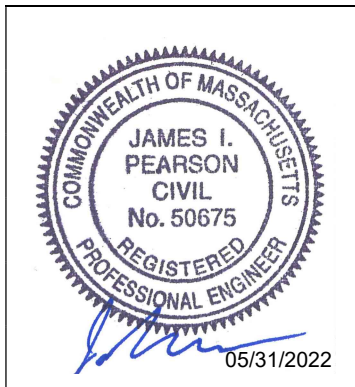
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature




Signature and Date

5/31/2022

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of “country drainage” versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): _____

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
 - Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
- Redevelopment Project
- Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

Stormwater Report

To Be Submitted with the Notice of Intent

Applicant/Project Name: City of Boston Parks and Recreation Department

Project Address: 1 Long Island Road, Boston, MA

Application Prepared by:

Firm: Weston & Sampson, Inc.

Registered PE James Pearson, P.E.

Below is an explanation concerning Standards 1-10 as they apply to the City of Boston Long Island Road court improvements project:

General:

The existing basketball and tennis court bituminous concrete surfacing is in disrepair and presents some safety concerns. Boston Parks and Recreation Department wants to repair the court by replacing the playing surface with post-tension concrete, replace the perimeter fencing, and replace the sports equipment on site. The site's overall impervious extents will remain the same. The existing court area will be reduced slightly and an ADA accessible concrete pavement pathway and stair will be added from Long Island Road to the courts.

Standard 1: No New Untreated Discharges

The proposed project will create no new untreated discharges. No additional impervious area will be created during this project.

Standard 2: Peak Rate Attenuation

Since there will be no increase in impervious area, post-development (post-improvement) peak discharge rates will not exceed pre-development (pre-improvement) peak discharge rates. Additionally, stormwater discharges directly to a tidal water body, therefore peak rate attenuation is not required.

To ensure that the work incorporates the performance standards recommended in the DEP's Stormwater Management Policy, necessary erosion and sedimentation control measures will be utilized during construction. These measures will include straw wattles.

Standard 3: Recharge

As noted in the **Standard 2** explanation, the impervious area in the work area will not be increased at the completion of the project. Therefore, recharge rates will not change in the work area at the end of the project.

Standard 4: Water Quality

The proposed work will not change water quality at the site since there will be no increase in impervious area. There will be no increase in stormwater flow, and the design will not increase soil erosion. During the project, appropriate BMPs will be used to minimize sedimentation and soil erosion.

Standard 5: Land Uses with Higher Potential Pollutant Loads (LUHPPLs)

Not Applicable. There are no LUHPPLs in the work area.

Standard 6: Critical Areas

There will be no new discharge to critical areas.

Standard 7: Redevelopments and Other Projects Subject to the Standards Only to the Maximum Extent Practicable

This is a re-development project which will minimize disturbance to existing trees and shrubs.

Standard 8: Construction Period Pollution Prevention and Erosion and Sediment Control

A detailed Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan is included. To ensure that the work incorporates the performance standards recommended in the DEP's Stormwater Management Policy, necessary erosion and sedimentation control measures will be utilized during construction. These measures will include straw wattles

Standard 9: Operation and Maintenance Plan

Stormwater infrastructure on the site consists of pipes, manholes and catch basins that discharge to the harbor. Structures will be maintained in accordance with existing maintenance plans.

Standard 10: Prohibition of Illicit Discharges

By the nature of the proposed work, there will be no illicit discharges. There will be no opportunity for illicit discharges into the system.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including any relevant soil evaluations, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan, the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature




Signature and Date

5/31/2022

Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan

SECTION 1: Introduction

The existing basketball and tennis court bituminous concrete surfacing is in disrepair and presents some safety concerns. Boston Parks and Recreation Department wants to repair the court by replacing the playing surface with post-tension concrete, replace the perimeter fencing, and replace the sports equipment on site. The site's overall impervious extents will remain the same. The existing court area will be reduced slightly, and an ADA accessible concrete pavement pathway and stair will be added from Long Island Road to the courts.

As part of this project, this "Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan" has been created to ensure that no further disturbance to the wetland resource is created during the project.

SECTION 2: Construction Period Pollution Prevention Measures

Best Management Practices (BMPs) will be utilized as Construction Period Pollution Prevention Measures to reduce potential pollutants and prevent any off-site discharge. The objectives of the BMPs for construction activity are to minimize the disturbed areas, stabilize any disturbed areas, control the site perimeter and retain sediment. Both erosion and sedimentation controls and non-stormwater best management measures will be used to minimize site disturbance and ensure compliance with the performance standards of the WPA and Stormwater Standards. Measures will be taken to minimize the area disturbed by construction activities to reduce the potential for soil erosion and stormwater pollution problems. In addition, good housekeeping measures will be followed for the day-to-day operation of the construction site under the control of the contractor to minimize the impact of construction. This section describes the control practices that will be in place during construction activities. Recommended control practices will comply with the standards set in the MA DEP Stormwater Policy Handbook.

2.1 Minimize Disturbed Area and Protect Natural Features and Soil

In order to minimize disturbed areas, work will be completed within well-defined work limits. These work limits are shown on the construction plans. The Contractor shall not disturb native vegetation in the undisturbed wetland area without prior approval from the Engineer. The Contractor will be responsible to make sure that all of their workers and any subcontractors know the proper work limits and do not extend their work into the undisturbed areas. The protective measures are described in more detail in the following sections.

2.2 Control Stormwater Flowing onto and through the project

Construction areas adjacent to wetland resources will be lined with appropriate sediment and erosion control measures.

2.3 Stabilize Soils

The Contractor shall limit the area of land which is exposed and free from vegetation during construction. In areas where the period of exposure will be greater than two (2) months, mulching, the use of erosion control mats, or other protective measures shall be provided as specified.

The Contractor shall take account of the conditions of the soil where erosion control seeding will take place to ensure that materials used for re-vegetation are adaptive to the sediment control.

2.4 Proper Storage and Cover of Any Stockpiles

The location of the Contractor's storage areas for equipment and/or materials shall require written approval of the Engineer.

Adequate measures for erosion and sediment control such as the placement of straw wattles around the downstream perimeter of stockpiles shall be employed to protect any downstream areas from siltation.

There shall be no storage of equipment or materials in areas designated as wetlands.

The Engineer may designate a particular area or areas where the Contractor may store materials used in his operations.

2.5 Perimeter Controls and Sediment Barriers

Erosion control lines as described in Section 5 will be utilized to ensure that sedimentation does not occur outside the perimeter of the work area.

2.6 Storm Drain Inlet Protection

All storm drains within the work area will be equipped with inlet protection.

2.7 Retain Sediment On-Site

The Contractor will be responsible to monitor erosion control measures. Daily monitoring should be conducted using the attached Monitoring Form. The following good housekeeping practices will be followed on-site during the construction project:

2.8 Material Handling and Waste Management

Materials stored on-site will be stored in a neat, orderly manner in appropriate containers. Materials will be kept in their original containers with the original manufacturer's label. Substances will not be mixed with one another unless recommended by the manufacturer.

Waste materials will be collected and stored in a securely lidded metal container from a licensed management company. The waste and any construction debris from the site will be hauled off-site daily and disposed of properly. The contractor will be responsible for waste removal. Manufacturer's recommendations for proper use and disposal will be followed for materials. Sanitary waste will be collected from the portable units a minimum of once a week, by a licensed sanitary waste management contractor.

2.9 Designated Washout Areas

The Contractor shall use washout facilities at their own facilities, unless otherwise directed by the Engineer.

2.10 Proper Equipment/Vehicle Fueling and Maintenance Practices

On-site vehicles will be monitored for leaks and receive regular preventative maintenance to reduce the risk of leakage. To ensure that leaks on stored equipment do not contaminate the site, oil-absorbing mats will be placed under oil-containing equipment during storage. Regular fueling and service of the equipment may be performed using approved methods and with care taken to minimize chance of spills. Repair of equipment or machinery within the 100' water resources area shall not be allowed without the prior approval of the Engineer. Any petroleum products will be stored in tightly sealed containers that are clearly labeled with spill control pads/socks placed under/around their perimeters.

2.11 Equipment/Vehicle Washing

The Contractor will be responsible to ensure that no equipment is washed on-site.

SECTION 3: Spill Prevention and Control Plan

The Contractor will be responsible for preventing spills in accordance with the project specifications and applicable federal, state and local regulations. The Contractor will identify a properly trained site employee, involved with the day-to-day site operations to be the spill prevention and cleanup coordinator. The name(s) of the responsible spill personnel will be posted on-site. Each employee will be instructed that all spills are to be reported to the spill prevention and cleanup coordinator.

3.1 Spill Control Equipment

Spill control/containment equipment will be kept in the Work Area. Materials and equipment necessary for spill cleanup will be kept either in the Work Area or in an otherwise accessible on-site location. Equipment and materials will include, but not be limited to, absorbent booms/mats, brooms, dust pans, mops, rags, gloves, goggles, sand, plastic and metal containers specifically for this purpose. It is the responsibility of the Contractor to ensure the inventory will be readily accessible and maintained.

3.2 Notification

Workers will be directed to inform the on-site supervisor of a spill event. The supervisor will assess the incident and initiate proper containment and response procedures immediately upon notification. Workers should avoid direct contact with spilled materials during the containment procedures. Primary notification of a spill should be made to the local Fire Department and Police Departments. Secondary Notification will be to the certified cleanup contractor if deemed necessary by Fire and/or Police personnel. The third level of notification (within 1 hour) is to the DEP or municipality's Licensed Site Professional (LSP). The specific cleanup contractor to be used will be identified by the Contractor prior to commencement of construction activities.

3.3 Spill Containment and Clean-Up Measures

Spills will be contained with granular sorbent material, sand, sorbent pads, booms or all of the above to prevent spreading. Certified cleanup contractors should complete spill cleanup. The material manufacturer's recommended methods for spill cleanup will be clearly posted and on-site personnel will be made aware of the procedures and the location of the information and cleanup supplies.

3.4 Hazardous Materials Spill Report

The Contractor will report and record any spill. The spill report will present a description of the release, including the quantity and type of material, date of the spill, circumstances leading to the release, location of spill, response actions and personnel, documentation of notifications and corrective measures implemented to prevent reoccurrence.

This document does not relieve the Contractor of the Federal reporting requirements of 40 CFR Part 110, 40 CFR Part 117, 40 CFR Part 302 and the State requirements specified under the Massachusetts Contingency Plan (M.C.P) relating to spills or other releases of oils or hazardous substances. Where a release containing a hazardous substance or oil in an amount equal to or in excess of a reportable quantity established under either 40 CFR Part 110, 40 CFR Part 117 or 40 CFR Part 302, occurs during a twenty-four (24) hour period, the Contractor is required to comply with the response requirements of the above mentioned regulations. Spills of oil or hazardous material in excess of the reportable quantity will be reported to the National Response Center (NRC).

SECTION 4: Contact Information/Responsible Parties

Owner/Operator:

Ryan Woods
Boston Parks and Recreation Department
1010 Massachusetts Ave, 3rd floor
Boston MA 02118
617-635-4505
Ryan.woods@boston.gov

Engineer:

James Pearson, PE
Weston & Sampson Engineers, Inc.
55 Walkers Brook Dr, Suite 100
Reading, MA 01867
978-532-1900 ex. 2346

Site Inspector:

TBD

Contractor:

TBD

SECTION 5: Erosion and Sedimentation Control

Erosion and Sedimentation Control Drawings can be found in the attached project plans. In addition a technical specification (***Section 01570 Environmental Protection***) has been included as part of Appendix D, which details all Erosion and Sedimentation controls.

SECTION 6: Site Development Plan

The Site Development Plan is included in the attached plans.

SECTION 7: Operation and Maintenance of Erosion Control

The erosion control measures will be installed as detailed in the technical specification ***01570 Environmental Protection***. If there is a failure to the controls the Contractor, under the supervision of the Engineer, will be required to stop work until the failure is repaired.

Periodically throughout the work, whenever the Engineer deems it necessary, the sediment that has been deposited against the controls will be removed to ensure that the controls are working properly.

SECTION 8: Inspection Schedule

During construction, the erosion and sedimentation controls will be inspected daily. Once the Contractor is selected, an onsite inspector will be selected to work closely with the Engineer to ensure that erosion and sedimentation controls are in place and working properly. An Inspection Form is included.

Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan

Long Island Road

Inspection Form

Inspected By: _____ Date: _____ Time: _____

YES	NO	DOES NOT APPLY	ITEM
			Do any erosion/siltation control measures require repair or clean out to maintain adequate function?
			Is there any evidence that sediment is leaving the site and entering the wetlands?
			Are any temporary soil stockpiles or construction materials located in non-approved areas?
			Are on-site construction traffic routes, parking, and storage of equipment and supplies located in areas not specifically designed for them?

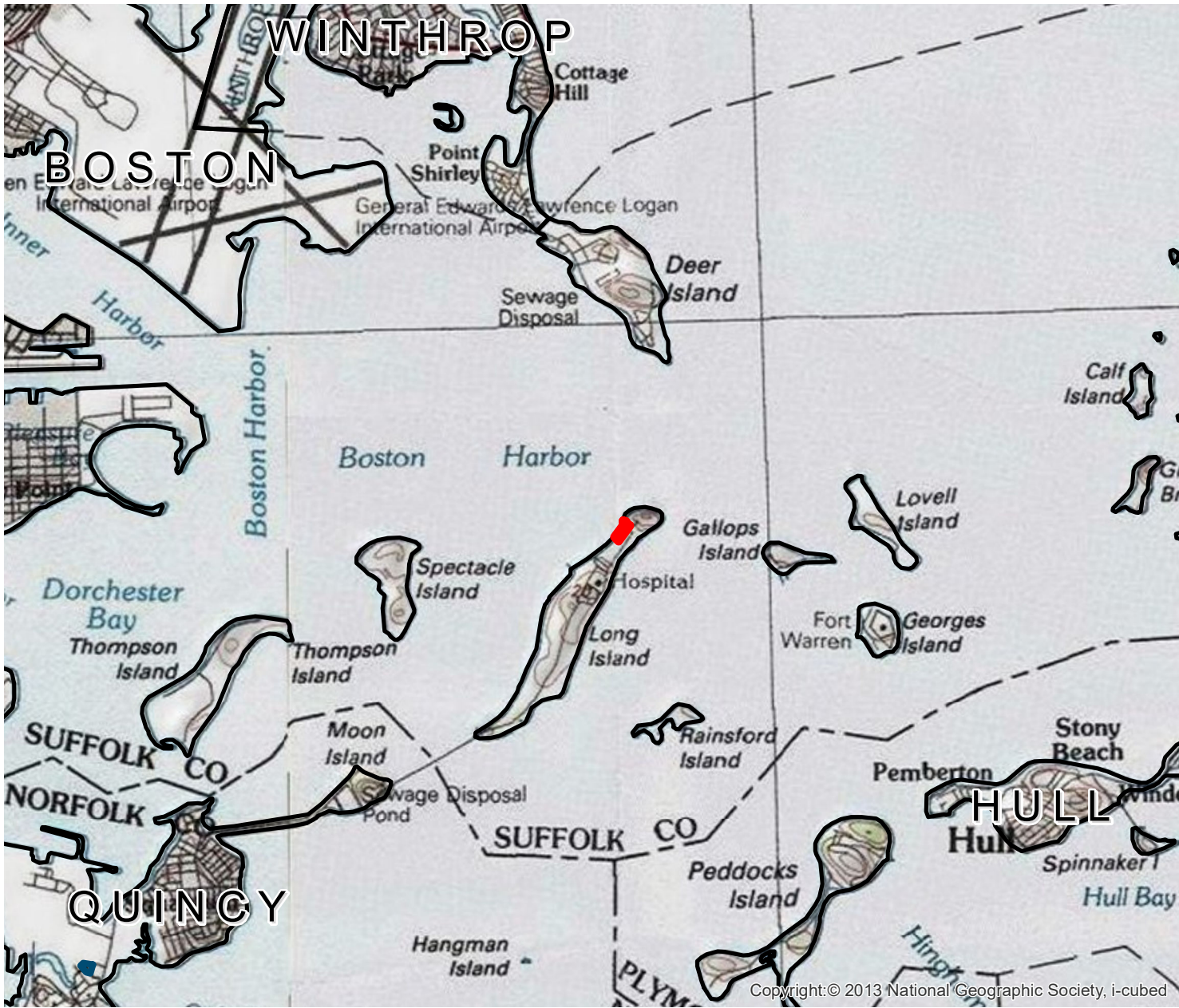
Specific location, current weather conditions, and action to be taken:

Other Comments:

Pending the actions noted above I certify that the site is in compliance with the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan.

Signature: _____ Date: _____

Appendix C



Legend

 Work Area

FIGURE 1

Long Island Road Courts
Boston, MA

Locus Map

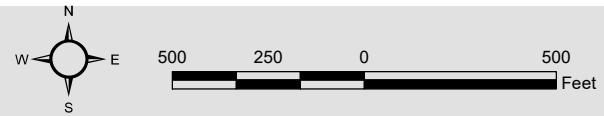


Legend

- Work Area
 - Perennial Stream
 - Intermittent Stream
 - Marsh/Bog
 - Wooded marsh
 - Cranberry Bog
 - Salt Marsh
 - Open Water
 - Reservoir (with PWSID)
 - Tidal Flats
 - Beach/Dune
- Ch 91 Jurisdiction**
- Public Way
 - Marsh Boundary - landward
 - Landlocked Tidelands
 - Jurisdiction
 - Historic High Water
 - Marsh Boundary - seaward
 - Contemporary High Water
 - Inferred Contemporary High Water
 - Inferred Historic High Water
- ACECs**
- ACECs
- NHESP Habitats**
- NHESP Estimated Habitats of Rare Wildlife
 - NHESP Priority Habitats of Rare Species
 - * NHESP Certified Vernal Pools
 - * NHESP Potential Vernal Pools
- Outstanding Resource Waters**
- Public Water Supply Contributor
 - ORW for ACEC
 - ORW for both Water Supply and Other

FIGURE 2
Long Island Road Courts
Boston, MA

Environmental
Resource Map



Data Source: Office of Geographic and Environmental Information (MassGIS),
Commonwealth of Massachusetts Executive Office of Environmental Affairs

National Flood Hazard Layer FIRMette



70°57'51"W 42°19'56"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000
 Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone X, V, AE9</i>
		With BFE or Depth <i>Zone AE, AG, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard. Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes, <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped
		The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 5/26/2022 at 1:30 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

FIGURE 3
 Long Island Road Courts
 Boston, MA
 FEMA Map

Appendix D

SECTION 01562

DUST CONTROL

PART 1 - GENERAL

1.01 DESCRIPTION:

This section of the specification covers the control of dust via water, complete.

PART 2 - PRODUCTS

2.01 WATER:

- A. Water shall not be brackish and shall be free from oil, acid, and injurious alkali or vegetable matter.

PART 3 - EXECUTION

3.01 APPLICATION:

- A. Water may be sprinkler applied with equipment including a tank with gauge-equipped pressure pump and a nozzle-equipped spray bar.
- B. Water shall be dispersed through the nozzle under a minimum pressure of 20 pounds per square inch, gauge pressure.

END OF SECTION

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Specs\SECTION 01562-Dust Control.docx

SECTION 01570

ENVIRONMENTAL PROTECTION

PART 1 – GENERAL

1.01 DESCRIPTION:

- A. The work covered by this section of the specifications consists of furnishing all labor, materials, tools and equipment and performing all work required for the prevention of environmental pollution during and as a result of construction operations under this contract.
- B. The requirements set forth in this section of the specifications apply to construction in and adjacent to wetlands, unless otherwise specifically stated.
- C. All work under this Contract shall be in accordance with the Conservation Commissions' Orders of Conditions as well as any conditional requirements applied, all of which are attached to Section 00890, PERMITS.
- D. Prior to commencement of work, the Contractor shall meet with representatives of the Engineer to develop mutual understandings relative to compliance of the environmental protection program.

1.02 SUBMITTALS:

- A. The Contractor shall submit for approval six sets of details and literature fully describing environmental protection methods to be employed in carrying out construction activities within 100 feet of wetlands or across areas designated as wetlands.

PART 2 - PRODUCTS

2.01 STRAW WATTLES:

- A. Straw Wattles shall consist of a 100% biodegradable exterior jute or coir netting with 100% wheat straw interior filling as manufactured by Granite Environmental, Inc., Sebastian, Florida (Phone: 888-703-9889; website: www.GraniteEnvironmental.com), or approved equal.

2.02 CATCH BASIN PROTECTION:

- A. To trap sediment and to prevent sediment from clogging drainage systems, catch basin protection in the form of a siltation sack (Silt sack as manufactured by ACF Environmental, Inc. or approved equal) shall be provided as approved by the Engineer.

PART 3- EXECUTION

3.01 NOTIFICATION AND STOPPAGE OF WORK:

- A. The Engineer will notify the Contractor in writing of any non-compliance with the provisions of the Order of Conditions. The Contractor shall, after receipt of such notice, immediately take corrective action. Such notice, when delivered to the Contractor or his authorized representative at the site of the work, shall be deemed sufficient for the purpose. If the Contractor fails to act promptly, the Owner may order stoppage of all or part of the work through the Engineer until satisfactory corrective action has been taken. No claim for an extension of time or for excess costs or damage incurred by the Contractor as a result of time lost due to any stop work orders shall be made unless it was later determined that the Contractor was in compliance.

3.02 AREA OF CONSTRUCTION ACTIVITY:

- A. Insofar as possible, the Contractor shall confine his construction activities to those areas defined by the plans and specifications. All land resources within the project boundaries and outside the limits of permanent work performed under this contract shall be preserved in their present condition or be restored to a condition after completion of construction at least equal to that which existed prior to work under this contract.

3.03 PROTECTION OF WATER RESOURCES:

- A. The Contractor shall not pollute streams, lakes or reservoirs with fuels, oils, bitumens, calcium chloride, acids or other harmful materials. It is the Contractor's responsibility to comply with all applicable Federal, State, County and Municipal laws regarding pollution of rivers and streams.
- B. Special measures should be taken to insure against spillage of any pollutants into public waters.

3.04 CONSTRUCTION IN AREAS DESIGNATED AS WETLANDS ON THE DRAWINGS:

- A. Insofar as possible, the Contractor shall make every effort to minimize disturbance within areas designated as wetlands or within 100-feet of wetland resource areas.
- B. The Contractor shall perform his work in such a way that these areas are left in the condition existing prior to construction.
- C. The elevations of areas designated as wetlands shall not be unduly disturbed by the Contractor's operations.

3.05 PROTECTING AND MINIMIZING EXPOSED AREAS:

- A. The Contractor shall limit the area of land which is exposed and free from vegetation during construction. In areas where the period of exposure will be greater than two (2) months, temporary vegetation, mulching or other protective measures shall be provided

as specified.

- B. The Contractor shall take account of the conditions of the soil where temporary cover crop will be used to insure that materials used for temporary vegetation are adaptive to the sediment control. Materials to be used for temporary vegetation shall be approved by the Engineer.

3.06 LOCATION OF STORAGE AREAS:

- A. The location of the Contractor's storage areas for equipment and/or materials shall be upon cleared portions of the job site or areas to be cleared as a part of this project, and shall require written approval of the Engineer. Plans showing storage facilities for equipment and materials shall be submitted for approval of the Engineer.
- B. No excavated materials or materials used in backfill operations shall be deposited within a minimum distance of one hundred (100) feet of any watercourse or any drainage facility. Adequate measures for erosion and sediment control such as the placement of baled straw or line of straw wattles or compost filter tubes around the downstream perimeter of stockpiles shall be employed to protect any downstream areas from siltation.
- C. There shall be no storage of equipment or materials in areas designated as wetlands.
- D. The Engineer may designate a particular area or areas where the Contractor may store materials used in his operations.

3.07 PROTECTION OF LANDSCAPE:

- A. The Contractor shall not deface, injure, or destroy trees or shrubs nor remove or cut them without written authority from the Owner. No ropes, cables, or guys shall be fastened to or attached to any existing nearby trees for anchorages unless specifically authorized by the Engineer. Excavating machinery and cranes shall be of suitable type and be operated with care to prevent injury to trees which are not to be removed, particularly overhanging branches and limbs. The Contractor shall, in any event, be responsible for any damage resulting from such use.
- B. Branches, limbs, and roots shall not be cut except by permission of the Engineer. All cutting shall be smoothly and neatly done without splitting or crushing. When there is unavoidable injury to branches, limbs and trunks of trees, the injured portions shall be neatly trimmed and covered with an application of grafting wax or tree healing paint as directed.
- C. Where, in the opinion of the Engineer, trees may possibly be defaced, bruised, injured, or otherwise damaged by the Contractor's equipment or by his blasting or other operations, the Engineer may require the Contractor to adequately protect such trees by placing boards, planks, poles or fencing around them. Any trees or landscape feature scarred or damaged by the Contractor's equipment or operations shall be restored as nearly as possible to its original condition at the expense of the Contractor. The Engineer will decide what method of restoration shall be used, and whether damaged trees shall

be treated and healed or removed and disposed of under the provisions of Section 02230, CLEARING AND GRUBBING.

- D. Cultivated hedges, shrubs, and plants which could be injured by the Contractor's operations shall be protected by suitable means or shall be dug up, balled and temporarily replanted and maintained. After construction operations have been substantially completed, they shall be replanted in their original positions and cared for until growth is re-established. If cultivated hedges, shrubs, and plants are injured to such a degree as to affect their growth or diminish their beauty or usefulness, they shall be replaced by items of a kind and quality at least equal to that existing at the start of the work.

3.08 CLEARING AND GRUBBING:

- A. The Contractor shall clear and grub only on the Owner's land or the Owner's easements, and only the area required for construction operations, as approved by the Engineer. Removal of mature trees (4 inches or greater DBH) will not be allowed on temporary easements.
- B. The Contractor shall not remove trees in the Owner's temporary easements without permission of the Engineer.

3.09 DISCHARGE OF DEWATERING OPERATIONS:

- A. Under no circumstances shall the Contractor discharge water to the areas designated as wetlands. When constructing in a wetlands area, the Contractor shall discharge water from dewatering operations directly to the nearest drainage system, stream, or waterway after filtering by an approved method.
- B. The pumped water shall be filtered through filter fabric and baled straw, a vegetative filter strip or a vegetated channel to trap sediment occurring as a result of the construction operations. The vegetated channel shall be constructed such that the discharge flow rate shall not exceed a velocity of more than 1 foot per second. Accumulated sediment shall be cleared from the channel periodically.

3.10 DUST CONTROL:

- A. During the progress of the work, the Contractor shall conduct his operations and maintain the area of his activities, including sweeping and sprinkling of streets as necessary, to minimize creation and dispersion of dust. If the Engineer decides it is necessary to use calcium chloride for more effective dust control, the Contractor shall furnish and spread the material, as directed. Calcium chloride shall be as specified under Section 01562, DUST CONTROL.
- B. Calcium Chloride shall not be used for dust control within a drainage basin or in the vicinity of any source of potable water.

3.11 CATCH BASIN PROTECTION:

- A. Catch basin protection shall be used for every catch basin, shown on the plans or as required by the Engineer, to trap sediment and prevent it from clogging drainage systems and entering wetlands. Siltation sacks shall be securely installed under the catch basin grate. Care shall be taken to keep the siltation sacks from breaking apart or clogging. All deposited sediment shall be removed periodically and at times prior to predicted precipitation to allow free drainage flow. Prior to working in areas where catch basins are to be protected, each catch basin sump shall be cleaned of all debris and protected. The Contractor shall properly dispose of all debris at no additional cost to the Owner.

3.12 STRAW WATTLES:

- A. The wattles will be placed in a shallow trench (2-3 inches deep) and staked in the ground using wooden stakes driven at 4-foot intervals. The wooden stakes will be placed at a minimum depth of 24-inches into the ground.

END OF SECTION

\\Wse03.local\WSE\Projects\MA\Boston MA\Various Courts 2022\Permitting\NOI\Appendix D Specs\SECTION 01570 - Environmental Protection HIGGINS UPDATES.docx

SECTION 01740

CLEANING UP

PART 1 - GENERAL

1.01 DESCRIPTION:

The Contractor must employ at all times during the progress of its work adequate cleanup measures and safety precautions to prevent injuries to persons or damage to property. The Contractor shall immediately, upon request by the Engineer provide adequate material, equipment and labor to cleanup and make safe any and all areas deemed necessary by the Engineer.

1.02 RELATED WORK:

- A. Section 01570 ENVIRONMENTAL PROTECTION

PART 2 - PRODUCTS

Not applicable

PART 3 - EXECUTION

3.01 DAILY CLEANUP:

- A. The Contractor shall clean up, at least daily, all refuse, rubbish, scrap and surplus material, debris and unneeded construction equipment resulting from the construction operations and sweep the area. The site of the work and the adjacent areas affected thereby shall at all times present a neat, orderly and workmanlike appearance.
- B. Upon written notification by the Engineer, the Contractor shall within 24 hours clean up those areas, which in the Engineer's opinion are in violation of this section and the above referenced sections of the specifications.
- C. If in the opinion of the Engineer, the referenced areas are not satisfactorily cleaned up, all other work on the project shall stop until the cleanup is satisfactory.

3.02 MATERIAL OR DEBRIS IN DRAINAGE FACILITIES:

- A. Where material or debris has washed or flowed into or has been placed in existing watercourses, ditches, gutters, drains, pipes, structures, such material or debris shall be entirely removed and satisfactorily disposed of during progress of the work, and the ditches,

channels, drains, pipes, structures, and work shall, upon completion of the work, be left in a clean and neat condition.

3.03 REMOVAL OF TEMPORARY BUILDINGS, STRUCTURES AND EQUIPMENT:

- A. On or before completion of the work, the Contractor shall, unless otherwise specifically required or permitted in writing, tear down and remove all temporary buildings and structures it built; shall remove all temporary works, tools and machinery or other construction equipment it furnished; shall remove all rubbish from any grounds which it has occupied; shall remove silt fences and hay bales used for trapping sediment; and shall leave the roads and all parts of the property and adjacent property affected by its operations in a neat and satisfactory condition.

3.04 RESTORATION OF DAMAGED PROPERTY:

- A. The Contractor shall restore or replace, when and as required, any property damaged by its work, equipment or employees, to a condition at least equal to that existing immediately prior to the beginning of operations. To this end the Contractor shall do as required all necessary highway or driveway, walk and landscaping work. Materials, equipment, and methods for such restoration shall be as approved by the Engineer.

3.05 FINAL CLEANUP:

- A. Before acceptance by the Owner, the Contractor shall perform a final cleanup to bring the construction site to its original or specified condition. This cleanup shall include removing all trash and debris off of the premises. Before acceptance, the Engineer shall approve the condition of the site.

END OF SECTION

\\Wse03.local\WSE\Projects\MA\Boston MA\Various Courts 2022\Permitting\NOI\Appendix D Specs\SECTION 01740-Cleaning Up.docx

Appendix E



BABEL NOTICE

English:

IMPORTANT! This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at cc@boston.gov or 617-635-3850.

Spanish:

¡IMPORTANTE! Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico cc@boston.gov o llamando al 617-635-3850.

Haitian Creole:

AVI ENPÒTAN! Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan cc@boston.gov oswa 617-635-3850.

Traditional Chinese:

非常重要！這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 cc@boston.gov 電話# 617-635-3850..

Vietnamese:

QUAN TRỌNG! Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ cc@boston.gov hoặc số điện thoại 617-635-3850.

Simplified Chinese:

非常重要！这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联系我们的邮箱 cc@boston.gov 电话# 617-635-3850.

Cape Verdean Creole:

INPURTANTI! Es dukumentu ó aplikason ten **informason inpur tanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na cc@boston.gov ó 617-635-3850.

Arabic:

مهم! يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدك. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على cc@boston.gov أو 617-635-3850.

Russian:

ВАЖНО! В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты cc@boston.gov, либо по телефону 617-635-3850.

Portuguese:

IMPORTANTE! Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: cc@boston.gov ou 617-635-3850.

French:

IMPORTANT ! Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à cc@boston.gov ou au 617-635-3850.





**AFFIDAVIT OF SERVICE
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act
and Boston Wetlands Ordinance**

I, _____, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A _____ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by _____ for _____ located at _____.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Name

Date



**NOTIFICATION TO ABUTTERS
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. _____ has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is _____.

C. The project involves _____.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at CC@boston.gov.

E. Copies of the Notice of Intent may be obtained from _____ by contacting them at _____ between the hours of _____, _____.

F. In accordance with the Chapter 20 of the Acts of 2021, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing CC@boston.gov or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on www.boston.gov/public-notices and in Boston City Hall not less than forty-eight (48) hours in advance. If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTE: If you plan to attend the public hearing and are in need of interpretation, please notify staff at CC@boston.gov by 12 PM the day before the hearing.



NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES COMISIÓN DE CONSERVACIÓN DE BOSTON

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. **El departamento de Parques y Recreación de Boston** ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es **1 Long Island Road**.

C. El proyecto consiste en **rehabilitación de la pista de tenis**.

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en CC@boston.gov.

E. Las copias de la notificación de intención pueden obtenerse de **Alexandra Gaspar, Ingenieros de Weston & Sampson, entre las 8 AM y las 4 PM, de lunes a viernes**.

F. De acuerdo con el Decreto Ejecutivo de la Mancomunidad de Massachusetts que suspende ciertas disposiciones de la Ley de reuniones abiertas, la audiencia pública se llevará a cabo virtualmente en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205- 6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Comisión de Conservación de Boston** por correo electrónico a CC@boston.gov o llamando al **(617) 635-4416** entre las **9 AM y las 5 PM, de lunes a viernes**.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en www.boston.gov/public-notices y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de antelación. Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.

NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en CC@boston.gov antes de las 12 PM del día anterior a la audiencia.

TRANSLATION CERTIFICATION OF ACCURACY

I, Nina Cespedes, on behalf of MAPA Translations & Language Solutions, Inc., a professional translation, and interpretation agency, hereby certify that the document(s) mentioned below has (have) been translated by experienced and qualified professional translators and that, in our best judgement, the translated text truly reflects the content, meaning, and style of the original text and constitutes in every respect a correct and true translation of the original document. This document is to certify the correctness of the translation only. We do not guarantee that the original is a genuine document, or that the statements contained in the original document are true. Further, MAPA Translations & Language Solutions, Inc., assumes no liability for the way in which the translation is used by the customer or any third party, including end users of the translation.

1) *English to Spanish Translation*

2) *Document Name: Spanish Abutter Notification Form 2020*

Nina 6-3-22

MAPA Signature & Date

I, the undersigned Notary Public, do hereby certify that NINA CESPEDES appeared before me on 6-3-22 and acknowledged that they are the original document owner of the above mentioned document(s), requested a professional translation of the above referenced document(s) and that the above referenced document(s) was/were translated by a professional translator competent in the above referenced language pair.

[Handwritten Signature]



DRITA L. PROTOPAPA
Notary Public
Commonwealth of Massachusetts
My Commission Expires
March 14, 2025

6-3-2022

Official Notary Signature, Date, & Seal of Notary Republic

Abutters List

Per an email discussion on 6/3/2022 with Nicholas Moreno of the Boston Conservation Commission, the only abutter that must receive notification is the National Parks Service at the following address:

Michael Creasey
Superintendent, National Parks of Boston
21 2nd Ave., Charlestown Navy Yard
Boston, MA 02129

Appendix F



Photo 1: Existing Courts



Photo 2: Existing Courts



Photo 3: Existing Pavilion

CITY OF BOSTON

THE HONORABLE MICHELLE WU, MAYOR

PREPARED BY:



85 DEVONSHIRE STREET, 3RD FLOOR
 BOSTON, MA 02109
 (617) 412-4480



IN ASSOCIATION WITH:

BRENNAN CONSULTING
 24 RAY AVENUE, SUITE 203
 BURLINGTON, MA 01803
 (781) 273-3434

PARKS & RECREATION DEPARTMENT
RYAN WOODS, COMMISSIONER

IMPROVEMENTS TO VARIOUS COURTS, CITY WIDE

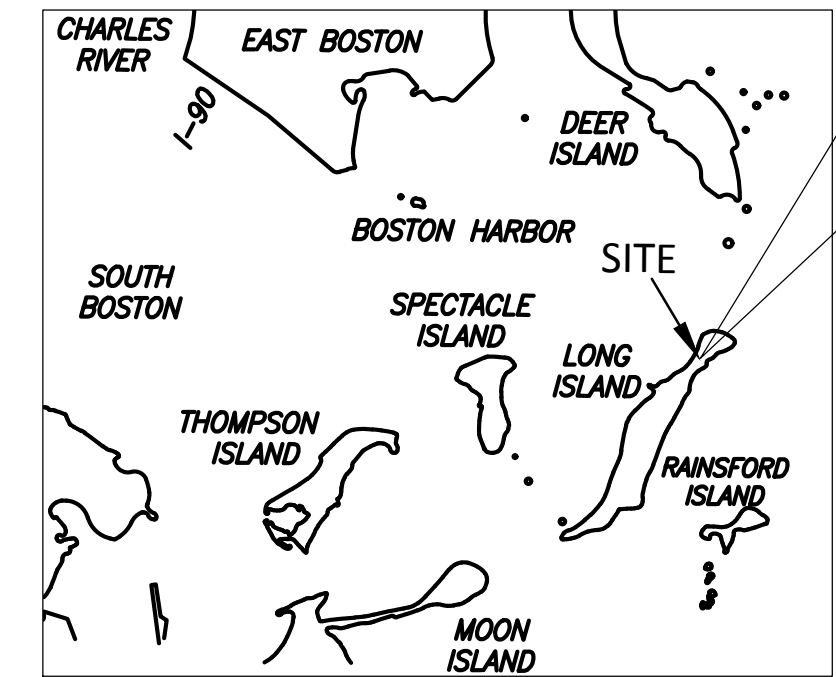
BOSTON, MASSACHUSETTS

JULY, 2022

FUNDED BY THE CITY OF BOSTON CAPITAL
 IMPROVEMENT PROGRAM

DRAWING INDEX

L001	COVER SHEET
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L130	LONG ISLAND - GRADING AND UTILITIES PLAN
L140	LONG ISLAND - SLAB PLAN
L500 - L503	CONSTRUCTION DETAILS



SITE



LOCATION MAP
 1 LONG ISLAND RD,
 BOSTON, MA 02171

L001
Cover Sheet
IMPROVEMENTS TO VARIOUS COURTS, CITY WIDE



GENERAL NOTES

- LOCATIONS OF ANY UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT (888) 344-7233 NO LESS THAN 72 HOURS, (EXCLUSIVE OF WEEKENDS AND HOLIDAYS), PRIOR TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO EXCAVATION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY OF VERIFYING ALL EXISTING CONDITIONS AND MATERIALS SHOWN WITHIN THE PROJECT CONTRACT LIMITS.
- ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, AND PERMANENT CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- ANY ALTERATIONS TO THESE DRAWINGS MUST BE APPROVED PRIOR TO CONSTRUCTION. ANY CHANGES IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "AS-BUILT" DRAWINGS.
- ALL AREAS OUTSIDE THE PROJECT LIMITS SHALL BE PROTECTED WITHOUT DAMAGE. ANY AREA(S) THAT MAY BE DAMAGED OR DISTURBED AS RESULT OF CONSTRUCTION SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS, FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS, INCLUDING BUT NOT LIMITED TO, TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERINGS, AND FENCES AS NEEDED.
- THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA "COMPETENT PERSON" PRIOR TO CONSTRUCTION.
- FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
- NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
- ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES PRIOR TO SUBMITTING BID.
- ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
- THE CONTRACTOR'S STAGING AREA MUST BE WITHIN THE CONTRACT LIMIT LINE. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY OF BOSTON'S PARKS AND RECREATION DEPARTMENT.

SURVEY NOTES

- THE TOPOGRAPHY, SITE DETAIL, AND SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN ON-THE-GROUND INSTRUMENT SURVEY CONDUCTED BY BRENNAN CONSULTING, INC. ON JANUARY 26, 2022.
- THE LOCUS PROPERTY IS DEPICTED AS PARCEL 0107067000 PER THE CITY OF BOSTON ASSESSOR'S RECORDS.
- UTILITY INFORMATION SHOWN IS BASED ON BOTH A FIELD SURVEY AND PLANS OF RECORD PROVIDED BY BOSTON WATER AND SEWER COMMISSION, NITSCH ENGINEERING RECORD PLAN DRAFTED BY WESTON & SAMPSON, VINE ASSOCIATES, INC. LANDSIDE UTILITIES PLAN, DRAFTED BY WESTON & SAMPSON. THE LOCATIONS OF UNDERGROUND PIPES AND CONDUITS HAVE BEEN DETERMINED FROM THE AFOREMENTIONED RECORD PLANS AND ARE APPROXIMATE ONLY. WE CANNOT ASSUME RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES THAT ARE OMITTED OR INACCURATELY SHOWN ON SAID RECORD PLANS, SINCE SUBSURFACE UTILITIES CANNOT BE VISIBLY VERIFIED. BEFORE PLANNING FUTURE CONNECTIONS, THE PROPER UTILITY ENGINEERING DEPARTMENT SHOULD BE CONSULTED AND THE ACTUAL LOCATION OF SUBSURFACE STRUCTURES SHOULD BE DETERMINED IN THE FIELD. CALL, TOLL FREE, THE DIG SAFE CALL CENTER AT 1-888-344-7233 SEVENTY-TWO HOURS PRIOR TO EXCAVATION.
- AT THE TIME OF FIELD SURVEY, ALL MANHOLE COVERS AND CATCH BASIN GRATES WERE FROZEN SHUT DUE TO EXTREMELY COLD TEMPERATURES AND AN EXCESSIVE AMOUNT OF SEA SPRAY. INVERT ELEVATIONS WERE NOT OBTAINED.
- MANHOLE INFORMATION COLLECTED ON A SITE VISIT ON APRIL 05, 2022, SHOULD BE VERIFIED IN FIELD.
- THE HORIZONTAL DATUM IS BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD 83), MAINLAND ZONE AS DERIVED FROM GPS OBSERVATIONS.
- THE VERTICAL DATUM IS BASED ON BOSTON CITY BASE (BCB) DATUM.
- CONTOUR INTERVAL EQUALS ONE (1) FOOT.
- BENCH MARK INFORMATION:

TEMPORARY BENCH MARKS (TBM) SET:

TBM-BREN-1: SQUARE CUT SET IN TOP OF CONCRETE RETAINING WALL AT THE EAST END AS SHOWN HEREON.
ELEVATION = 23.79

TBM-BREN-2: SQUARE CUT SET IN TOP OF CONCRETE RETAINING WALL AT THE SOUTH END AS SHOWN HEREON.
ELEVATION = 15.24

EROSION AND SEDIMENT CONTROL NOTES

- ALL INLET SEDIMENT CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL THE STATE OF MASSACHUSETTS D.E.P. AND CITY OF BOSTON'S WETLAND ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
- EXCAVATED MATERIAL STOCKPILED ON SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- ALL CATCH BASINS AND DRAIN GRATES WITHIN THE CONTRACT LIMITS SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC/PRIVATE ROADS.

DEMOLITION AND SITE PREPARATION NOTES

- THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE DISTURBED YET SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE PROPOSED SITE IMPROVEMENTS AND TO DETERMINE THE LOCATION OF PROPOSED SITE IMPROVEMENTS.
- THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER DECIDES TO RETAIN ANY MATERIAL, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS DELIVERED TO THE FRANKLIN PARK MAINTENANCE YARD AT NO ADDITIONAL EXPENSE TO THE OWNER.
- UNLESS SPECIFICALLY NOTED TO BE SAVED OR REUSED, ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE TRANSPORTED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.
- ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- DURING EARTHWORK OPERATIONS, THE CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
- ALL ITEMS CALLED FOR REMOVAL (COMPLETE) SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL SUBBASE MATERIAL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.
- THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE.

LAYOUT AND MATERIALS NOTES

- COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING, AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL LINES AND GRADING WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A MASSACHUSETTS REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR ENGAGED BY THE CONTRACTOR.
- ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSETS.
- ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER AND OWNER'S REPRESENTATIVE PRIOR TO COMMENCING OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.
- ALL PROPOSED BITUMINOUS CONCRETE PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT BITUMINOUS CONCRETE PAVEMENT SURFACES AND SHALL BE TREATED WITH AN RS-1 TACK COAT AT POINT OF CONNECTION. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT, MATERIALS, AND GRADING PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER AND OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES.
- THE DEPTH OF LOAM TOPSOIL FOR ALL RESTORED LAWN AREAS SHALL BE A MINIMUM OF 6 INCHES. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED (L&S) UNLESS OTHERWISE NOTED.
- ALL REFERENCES TO LOAM AND SEED REFER TO HYDROMULCH SEEDED LAWN ATOP 6 INCHES MINIMUM OF TOPSOIL PER THE PLANS AND SPECIFICATIONS.

GRADING AND DRAINAGE NOTES

- ALL WORK RELATING TO THE INSTALLATION, RENOVATION OR MODIFICATION OF DRAINAGE SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF BOSTON AND THE BOSTON WATER AND SEWER COMMISSION.
- THE CONTRACTOR SHALL VERIFY GRADES AND INVERT ELEVATIONS ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER AND OWNER'S REPRESENTATIVE.
- ALL NEW WALKWAYS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) AND MAAB (MASSACHUSETTS ARCHITECTURAL ACCESS BOARD) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NO MORE THAN ONE AND A HALF PERCENT (1.5%) AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) OF FOUR AND A HALF PERCENT (4.5%) UNLESS OTHERWISE SHOWN ON PLANS.
- SLOPE ON ALL COURTS WILL BE 1:100 OR ONE PERCENT (1%) OR AS SHOWN ON PLANS. TO PROVIDE POSITIVE DRAINAGE OR MATCH EXISTING FINISHED GRADE ELEVATIONS. ANY DISCREPANCIES THAT DO NOT ALLOW THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
- ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
- THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF CONSTRUCTION.
- WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, THE CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING AND PROVIDE VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
- WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN FIVE FEET (5') OF PROPOSED CONTOURS.
- RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.
- WHERE NEW IMPROVEMENTS MEET EXISTING CONDITIONS, MEET LINE AND GRADE OF EXISTING ADJACENT PAVEMENTS.

SPECIAL NOTE | REUSE OF GRAVEL BASE MATERIALS

FOR BIDDING PURPOSES, CONTRACTOR SHALL ASSUME NEW GRAVEL BASE MATERIAL, COMPLETE, IN ACCORDANCE WITH THE DETAILS AND SPECIFICATIONS.

UPON THE REMOVAL OF ASPHALT PAVEMENT, AS DESIGNATED ON THE PLANS, THE OWNER RESERVES THE RIGHT TO HAVE EXISTING GRAVEL BASE MATERIALS TESTED BY A THIRD PARTY AT NO COST TO THE OWNER FOR COMPLIANCE WITH THE PROJECT SPECIFICATIONS. IF THE GRAVEL BASE IS DEEMED TO BE COMPLIANT AND THEREFORE SUITABLE FOR REUSE, IT SHALL BE RETAINED AND THEN SUPPLEMENTED WITH NEW, ADDITIONAL GRAVEL (IF NEEDED), FINE GRADED AND COMPACTED FOR THE INSTALLATION OF NEW ASPHALT PAVEMENT COURSES. UNDER THIS SCENARIO, A SUITABLE CREDIT FOR THE REUSE OF THE GRAVEL WILL BE NEGOTIATED AND AGREED UPON.



Prepared By:



Consultant Project No. ENG22-0042

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Date:

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LONG ISLAND GENERAL NOTES

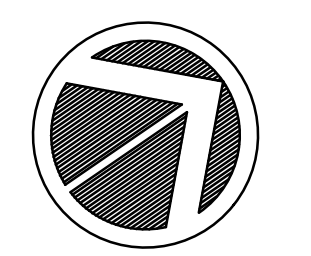
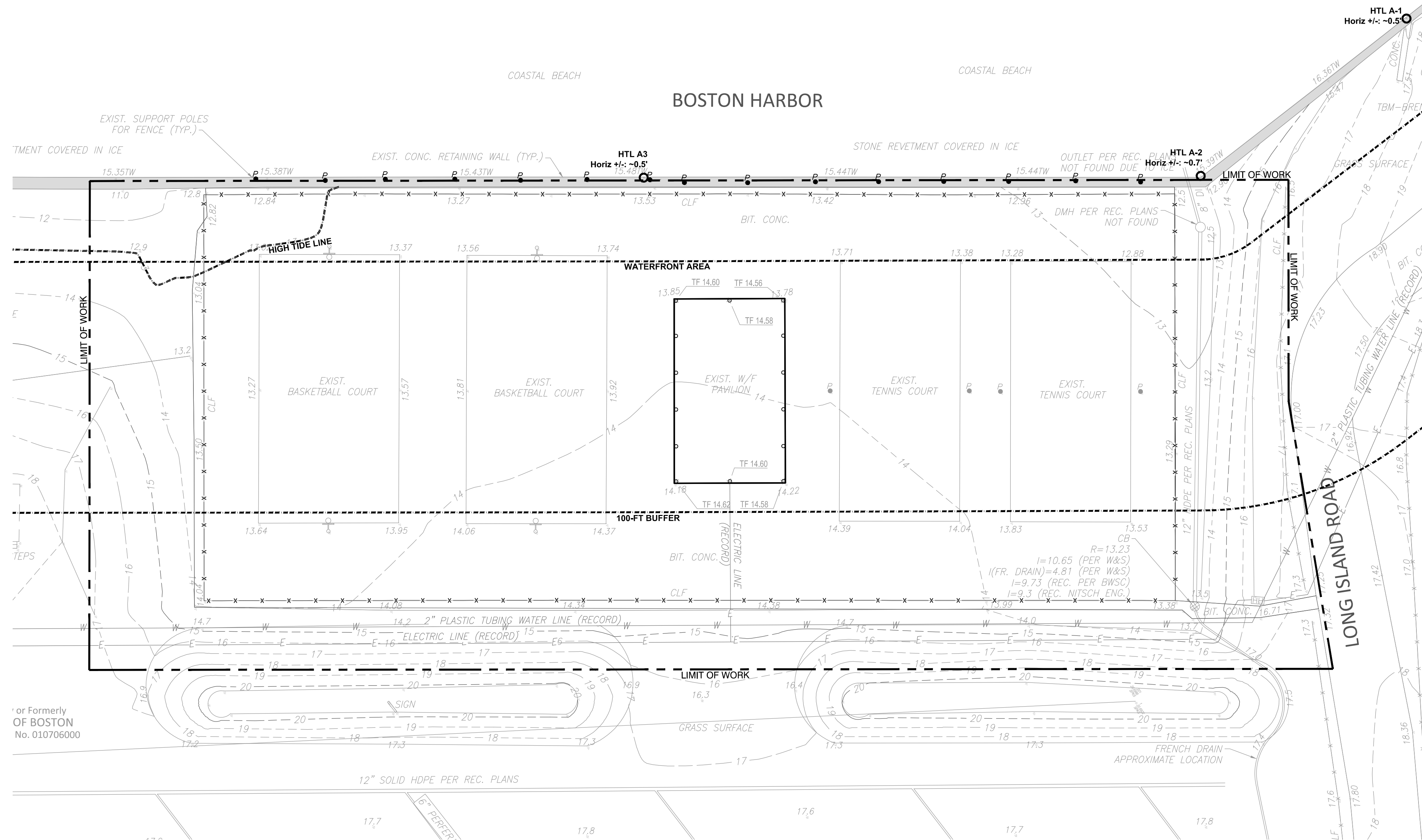
Section:

L002

LEGEND

- LIMIT OF WORK
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊕ WATER SHUTOFF/
- ⊕ WATER GATE
- ⊕ ROUND CATCH BASIN
- ⊕ ELECTRIC HANDHOLE
- POST
- ⊕ BASKETBALL GOAL
- BIT BITUMINOUS
- CLF CHAIN LINK FENCE
- CONC CONCRETE
- ∞ INVERT ELEVATION
- ∞ INACC. INACCESSIBLE
- R= RIM ELEVATION
- TM TEMPORARY BENCH MARK
- METAL FENCE
- EXISTING CONCRETE WALL SHALL REMAIN AND BE PROTECTED

- NOTE:**
1. LAND SUBJECT TO COASTAL STORM FLOWAGE IS AT AN ELEVATION OF 22.46-T BCB PER FEMA FLOOD MAP 250286.
 2. HIGH TIDE LINE IS AT AN ELEVATION OF 12.97-FT BCB PER TIDAL STATION 3046.
 3. LINEAR IMPACTS ON COASTAL BANK IS 310 FEET.



0 10 20 40 60
Feet
Graphic Scale: 1 inch = 20 feet



Prepared By:
Weston & Sampson
Consultant Project No. ENG22-0042

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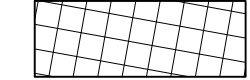
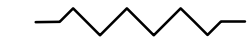
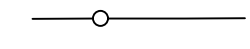

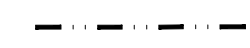




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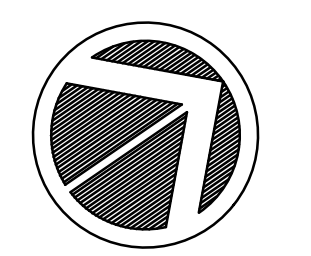
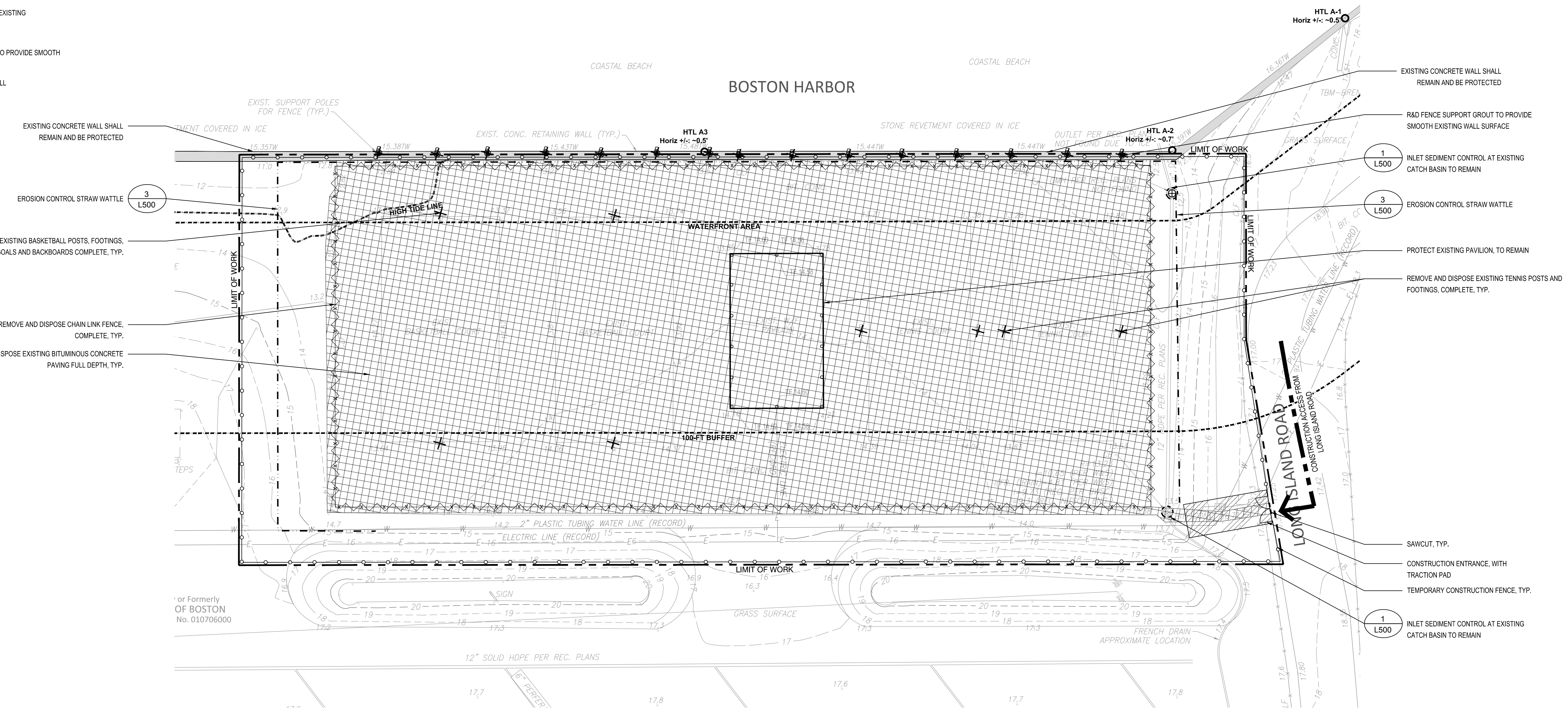
Sheet Name.:
LONG ISLAND EXISTING CONDITIONS PLAN

Section:
L100

LEGEND

-  LIMIT OF WORK
-  REMOVE AND DISPOSE EXISTING BITUMINOUS CONCRETE PAVING FULL DEPTH, TYP.
-  REMOVE AND DISPOSE CHAIN LINK FENCE, COMPLETE, TYP.
-  TEMPORARY CONSTRUCTION FENCE, TYP.
-  SAWCUT, TYP.
-  EROSION CONTROL
-  REMOVE AND DISPOSE EXISTING BASKETBALL POSTS, GOALS AND BACKBOARDS/TENNIS POSTS, TYP.
-  INLET SEDIMENT CONTROL AT EXISTING CATCH BASIN TO REMAIN
-  R&D FENCE SUPPORT GROUT TO PROVIDE SMOOTH EXISTING WALL SURFACE
-  EXISTING CONCRETE WALL SHALL REMAIN AND BE PROTECTED

NOTE:
 1. LAND SUBJECT TO COASTAL STORM FLOWAGE IS AT AN ELEVATION OF 22.46-T BCB PER FEMA FLOOD MAP 250286.
 2. HIGH TIDE LINE IS AT AN ELEVATION OF 12.97-FT BCB PER TIDAL STATION 3046.
 3. LINEAR IMPACTS ON COASTAL BANK IS 310 FEET.



0 10 20 40 60
 Feet
 Graphic Scale: 1 inch = 20 feet



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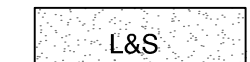
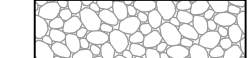

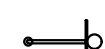
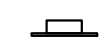
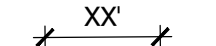




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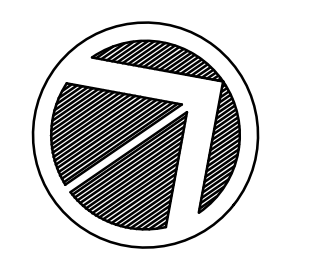
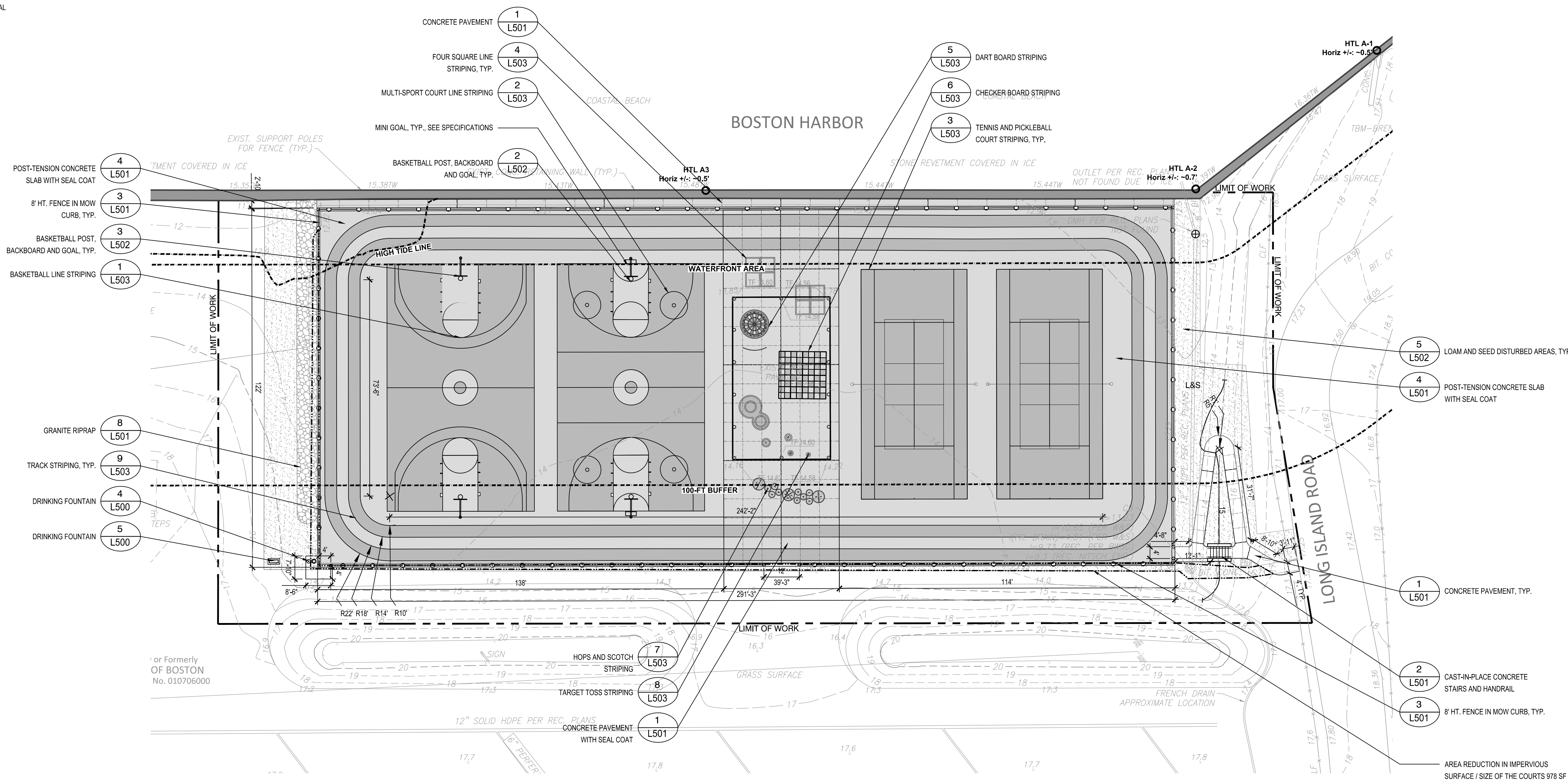
Sheet Name.:
LONG ISLAND SITE DEMOLITION PLAN

Section:
L110

LEGEND

-  LIMIT OF WORK
-  CONCRETE PAVEMENT
-  SEAL COAT COLOR
-  LOAM AND SEED
-  GRANITE RIPRAP
-  8' HT. FENCE IN MOW CURB
-  BASKETBALL POST, BACKBOARD AND GOAL
-  MINI GOAL
-  TYP. DIMENSION
-  TYP. ARC DIMENSION
-  TYP. ANGLE DIMENSION
-  EXISTING CONCRETE WALL SHALL REMAIN AND BE PROTECTED
-  AREA REDUCTION IN IMPERVIOUS SURFACE / SIZE OF THE COURTS 978 SF

NOTE:
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 2. HIGH TIDE LINE IS AT AN ELEVATION OF 12.97-FT BCB PER TIDAL STATION 3046.
 3. LINEAR IMPACTS ON COASTAL BANK IS 310 FEET.



0 20 40 60
 Feet
 Graphic Scale: 1 inch = 20 feet



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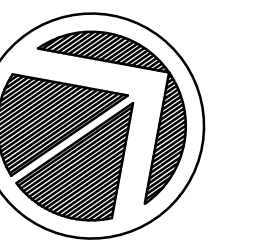
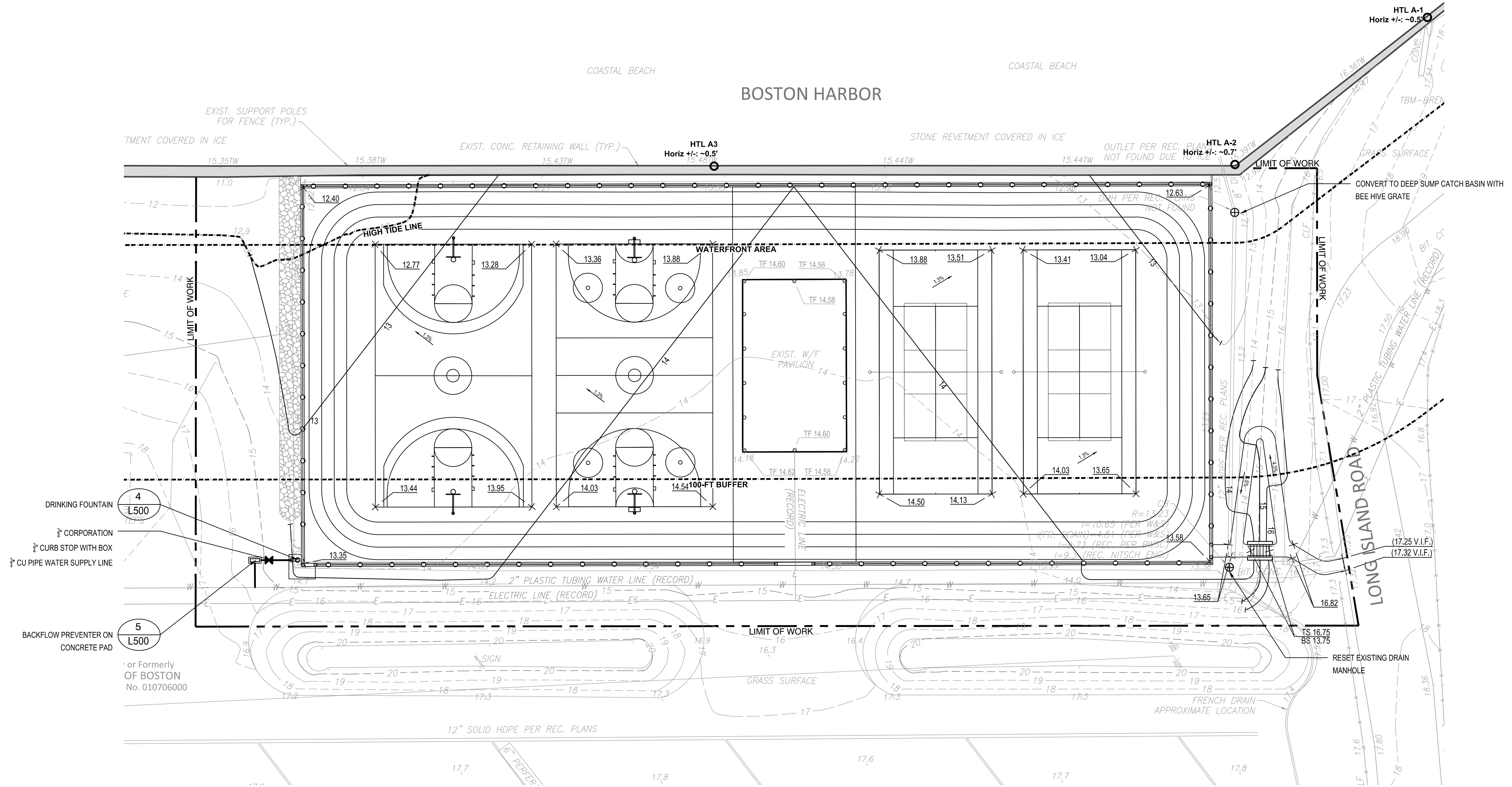
Sheet Name.:
LONG ISLAND - LAYOUT AND MATERIALS PLAN

Section:
L120

LEGEND

- LIMIT OF WORK
- ⊕ EXISTING DRAINAGE STRUCTURE. SEE UTILITIES PLAN
- 12 --- EXISTING CONTOURS
- 95.10 --- EXISTING SPOT ELEVATION
- 14 --- PROPOSED CONTOURS
- 15 --- PROPOSED SLOPE
- 1.5% --- PROPOSED SLOPE
- 8.25 --- PROPOSED SPOT ELEVATION
- ⊕ CATCH BASIN
- ⊙ DRAINAGE MAN HOLE
- GRADE BREAK
- HP HIGH POINT
- LP LOW POINT
- TS TOP OF STEP
- BS BOTTOM OF STEP
- EXISTING CONCRETE WALL SHALL REMAIN AND BE PROTECTED

- NOTE:**
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Sheet Name.:

LONG ISLAND - GRADING AND UTILITIES PLAN

Section:

L130

SLAB NOTES

1.0 - GENERAL

- 1.01 THE CONTRACTOR IS RESPONSIBLE FOR CHECKING, COORDINATING, AND VERIFYING ALL DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES TO THE ARCHITECT AND ENGINEER.
- 1.02 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING IN THE FIELD THE EXISTENCE AND LOCATION OF OVERHEAD, BURIED AND/OR EMBEDDED UTILITIES, AND DETERMINING LOCATIONS OF ALL EMBEDDED MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS AFFECTED BY THE WORK OF THIS CONTRACT.
- 1.03 ALL WORK IS TO CONFORM WITH THE FOLLOWING CODES AND STANDARDS:
 - (A) "780 CMR MASSACHUSETTS AMENDMENTS" - 8TH EDITION (MSBG)
 - (B) INTERNATIONAL BUILDING CODE, (IBC 2009)
 - (C) "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" - AMERICAN CONCRETE INSTITUTE (ACI 318-02)
 FOR ADDITIONAL CODES AND STANDARDS REFER TO SPECIFICATIONS.
- 1.04 TESTING AND INSPECTION OF STRUCTURAL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COSTS FOR TESTING AND INSPECTION WILL BE PAID BY THE OWNER. FOR ADDITIONAL INFORMATION CONCERNING TESTING AND INSPECTION, REFER TO SECTION 01450 OF THE TECHNICAL SPECIFICATIONS.
- 1.05 SUBMIT SHOP DRAWINGS, WITH AMPLE TIME FOR ENGINEER'S REVIEW AND APPROVAL, FOR ALL STRUCTURAL ELEMENTS.

2.0 - CAST IN PLACE CONCRETE

- 2.01 CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318-02).
- 2.02 CONCRETE SHALL BE CONTROLLED CONCRETE, PROPORTIONED, MIXED AND PLACED IN THE PRESENCE OF A REPRESENTATIVE OF AN APPROVED TESTING AGENCY.
- 2.03 UNLESS NOTED OTHERWISE, CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- 2.04 ALL PERMANENTLY EXPOSED VERTICAL AND HORIZONTAL CONCRETE SURFACES SHALL BE TREATED OR SEALED IN ACCORDANCE WITH PROJECT SPECIFICATIONS
- 2.05 CONCRETE EXPOSED TO WEATHER IN THE FINISHED PROJECT SHALL BE AIR ENTRAINED WITH AIR CONTENT OF 6%.
- 2.06 A MINIMUM OF 72 HOURS SHALL ELAPSE BETWEEN ADJACENT CONCRETE PLACEMENTS.
- 2.07 CONCRETE SLABS SHALL BE PLACED SO THAT THE SLAB THICKNESS IS AT NO POINT LESS THAN THAT INDICATED ON THE DRAWINGS.
- 2.08 CONCRETE SLAB/COURT SURFACES SHALL BE FINISHED WITH A STEEL TROWEL FINISH UNLESS NOTED OTHERWISE.

3.0 - CONCRETE REINFORCEMENT

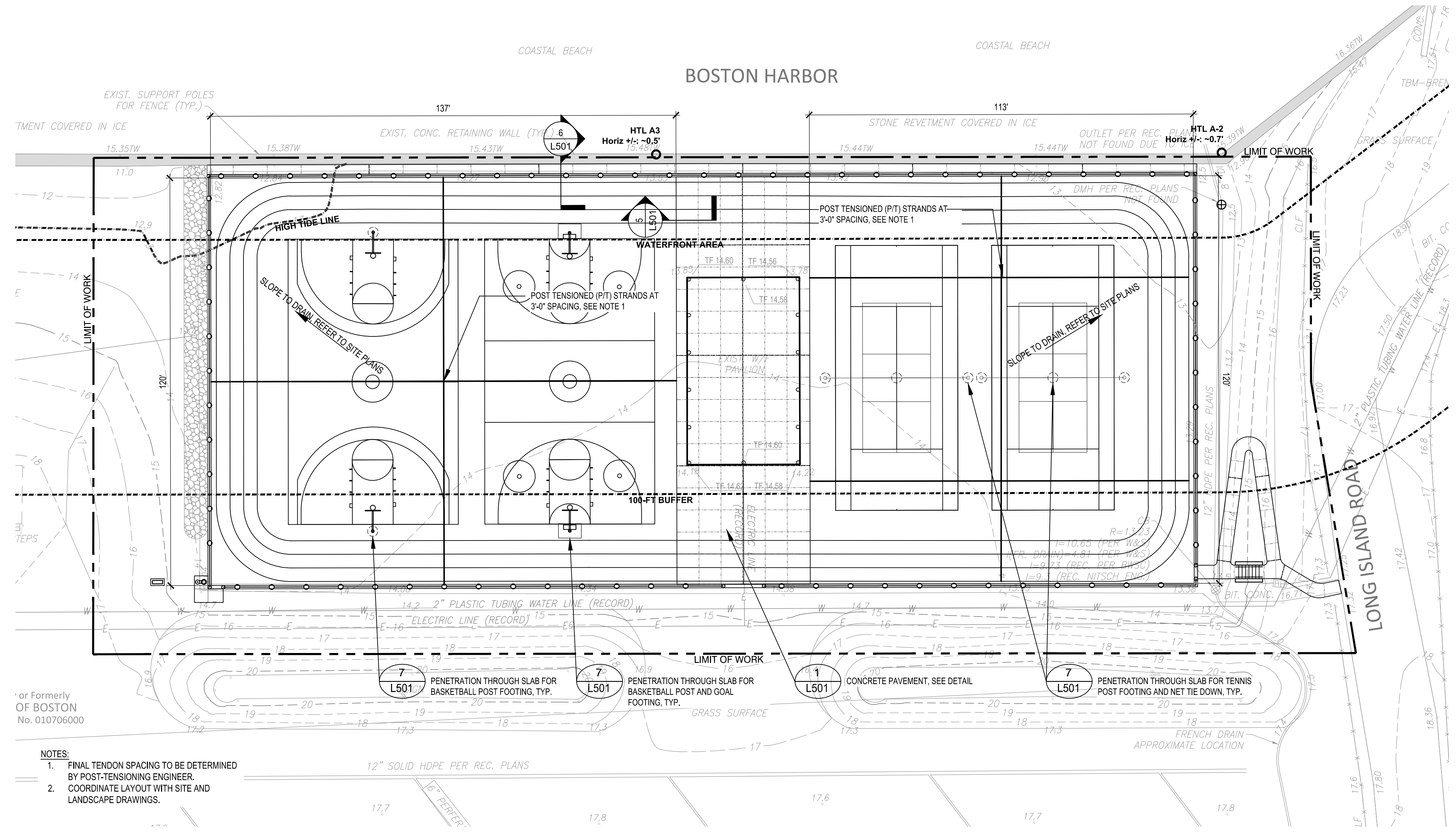
- 3.01 REINFORCEMENT DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO "ACI DETAILING MANUAL" - SP-66, "CRSI MANUAL OF STANDARD PRACTICE".
- 3.02 STEEL REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL CONFORM TO ASTM A615 GRADE 60 STEEL FOR ALL BARS AND TIES.
- 3.03 REINFORCING STEEL SHALL BE UNCOATED AND DEFORMED.
- 3.04 MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS REQUIRED FOR FIRE PROTECTION OR NOTED OTHERWISE, SHALL BE AS FOLLOWS:
 - (A) CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3"
 - (B) CONCRETE EXPOSED TO EARTH OR WEATHER:
 - (1) NO. 6 THRU NO. 18 BARS: 2"
 - (2) NO. 5 BAR, W31 OR D31 WIRE AND SMALLER: 1 1/2"
- 3.05 REINFORCING STEEL SHALL BE CONTINUOUS THROUGH ALL CONSTRUCTION JOINTS, CORNERS, AND INTERSECTIONS UNLESS OTHERWISE NOTED. REINFORCING SHALL BE LAPPED AT NECESSARY SPLICES OR HOOKED AT DISCONTINUOUS ENDS, UNLESS OTHERWISE NOTED.
- 3.06 FOR REINFORCING STEEL SPLICE LAP LENGTHS REFER TO THE TABLE PROVIDED UNLESS OTHERWISE INDICATED.
- 3.07 REINFORCEMENT SHALL NOT BE TACK WELDED.
- 3.08 NOTIFY THE TESTING LAB AND ENGINEER A MINIMUM OF 48 HOURS PRIOR TO SCHEDULED CONCRETE PLACEMENT IN ORDER TO ACCOMMODATE INSPECTION OF REINFORCEMENT AND CONCRETE TESTING. NO CONCRETE SHALL BE PLACED WITHIN 48 HOURS OF SUCH NOTIFICATION.
- 3.09 WHERE REINFORCEMENT IS REQUIRED IN SECTION, REINFORCEMENT IS CONSIDERED TYPICAL WHEREVER THE SECTIONS APPLIES.

4.0 - POST TENSIONED CONCRETE

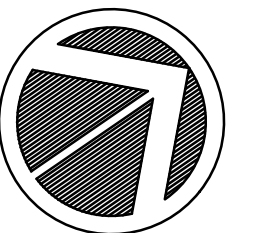
- 4.01 POST-TENSIONING SHOP DRAWINGS, INCLUDING PLANS AND DETAILS, SHALL BE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO FABRICATION AND CONSTRUCTION. THE POST-TENSIONING SHOP DRAWINGS SHALL BE PREPARED AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN MASSACHUSETTS AND INCLUDE THE FOLLOWING: DETAILED DESIGN OF TENDON ANCHORAGES, AND THE CALCULATION OF STRESS LOSSES DUE TO CREEP, SHRINKAGE, TENDON RELAXATION, AND ANCHORAGE SLIP.

- 4.02 DESIGN SHALL BE IN CONFORMANCE WITH THE DESIGN OF POST-TENSIONED CONCRETE SLABS-ON-GROUND AND THE DESIGN AND CONSTRUCTION OF POST-TENSIONED SPORT COURTS, BOTH REFERENCES PUBLISHED BY THE POST-TENSIONING INSTITUTE (PTI), AND RELEVANT STANDARDS FROM THE AMERICAN CONCRETE INSTITUTE (ACI).
- 4.03 POST-TENSIONING REINFORCEMENT SHALL BE 1/4-INCH DIAMETER, UNBONDED, LOW RELAXATION, 270 KSI WIRE STRAND CONFORMING TO ASTM A416.
- 4.04 POST-TENSIONING SHALL BE ENCAPSULATED PER PTI SPECIFICATIONS FOR UNBONDED SINGLE STRAND TENDONS (PTI M102-00).
- 4.05 CONCRETE SHALL NOT BE PLACED UNTIL THE POST-TENSIONING TENDON LAYOUT IS INSPECTED AND APPROVED BY THE ENGINEER AND INDEPENDENT TESTING AGENCY. CONTINUOUS INSPECTION AND DOCUMENTATION BY A CERTIFIED POST-TENSIONING INSPECTOR IS REQUIRED DURING STRESSING OPERATIONS. TENDON ENDS SHALL NOT BE CUT UNTIL THE ENTIRE SLAB HAS BEEN SATISFACTORILY STRESSED AND REVIEWED BY THE ENGINEER.
- 4.06 STRESSING OPERATIONS SHALL NOT BEGIN UNTIL CONCRETE HAS ATTAINED SUFFICIENT STRENGTH.
- 4.07 TENDON FINISHING SHALL BE IN ACCORDANCE WITH PTI REQUIREMENTS. SUBMIT DETAILS FOR END CAPS FOR APPROVAL.
- 4.08 POST-INSTALLED ANCHORS SHALL BE A MINIMUM OF 6 INCHES FROM TENDONS. THE CONTRACTOR SHALL LOCATE THE TENDONS PRIOR TO DRILLING THE SLAB.

- NOTE:**
- 1. LAND SUBJECT TO COASTAL STORM FLOWAGE IS AT AN ELEVATION OF 22.46-T BCB PER FEMA FLOOD MAP 250286.
 - 2. HIGH TIDE LINE IS AT AN ELEVATION OF 12.97-FT BCB PER TIDAL STATION 3046.
 - 3. LINEAR IMPACTS ON COASTAL BANK IS 310 FEET.

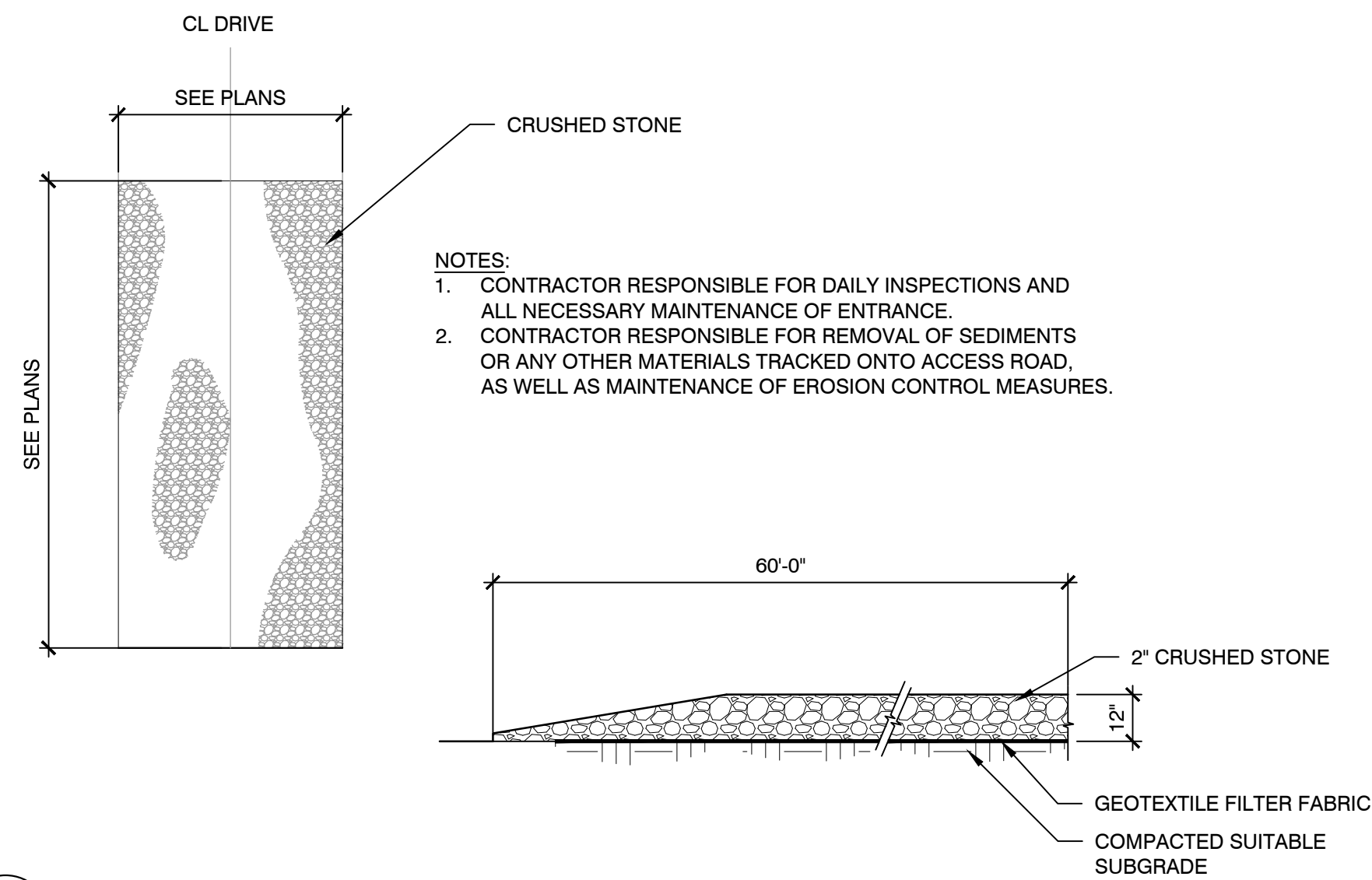


- NOTES:**
- 1. FINAL TENDON SPACING TO BE DETERMINED BY POST-TENSIONING ENGINEER.
 - 2. COORDINATE LAYOUT WITH SITE AND LANDSCAPE DRAWINGS.

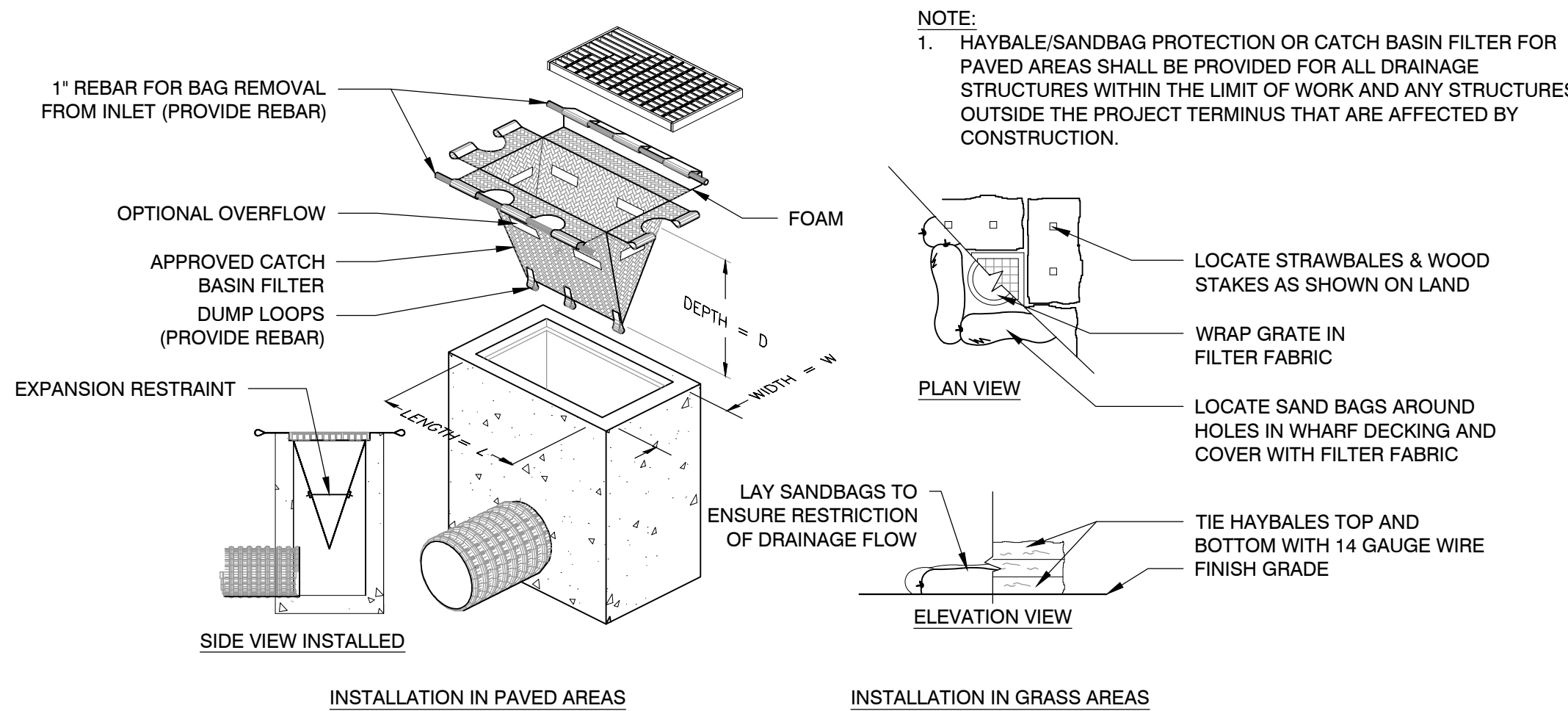


Graphic Scale: 1 inch = 20 feet

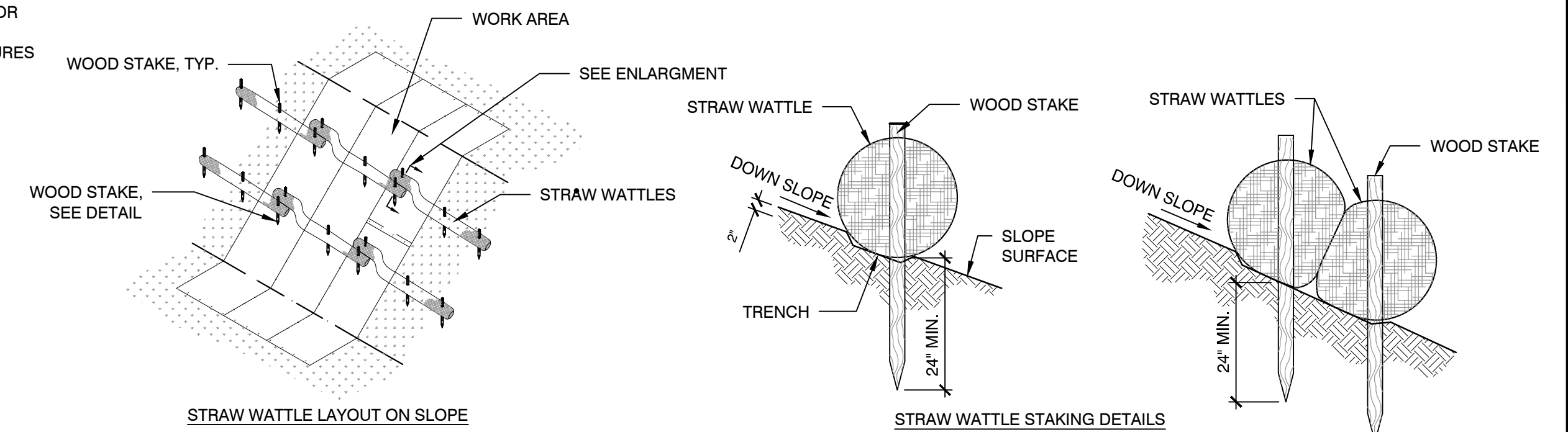
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	Approved By: _____ Date: _____	Improvements to Various Courts, City Wide	Consultant Project No. ENG22-0042	Sheet Name.: LONG ISLAND - SLAB PLAN	Section: L140																	



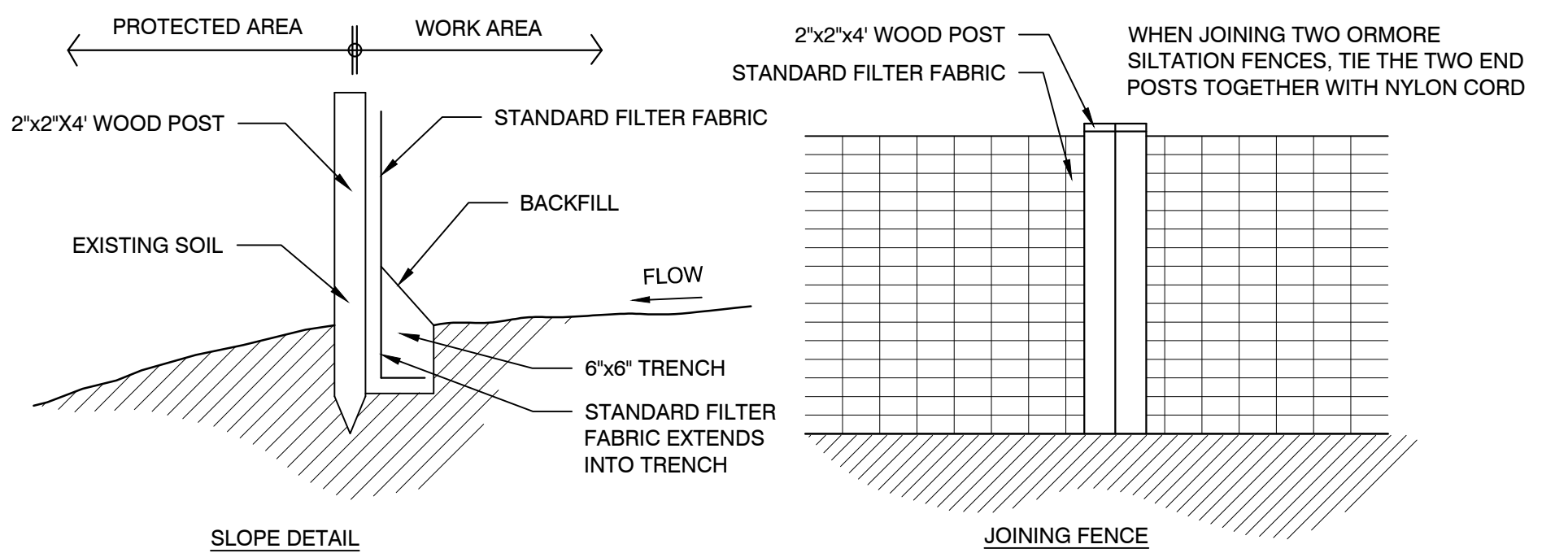
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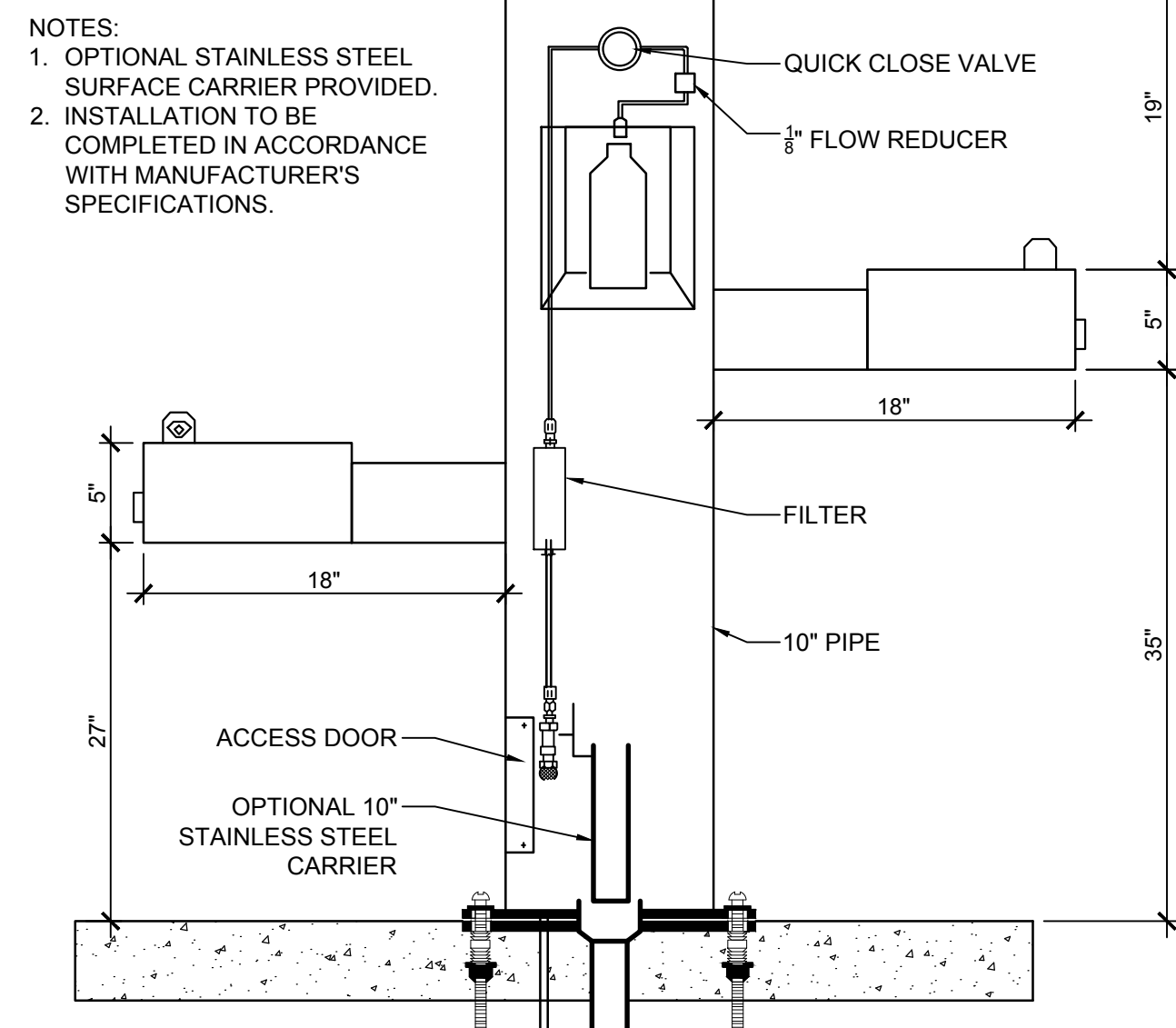
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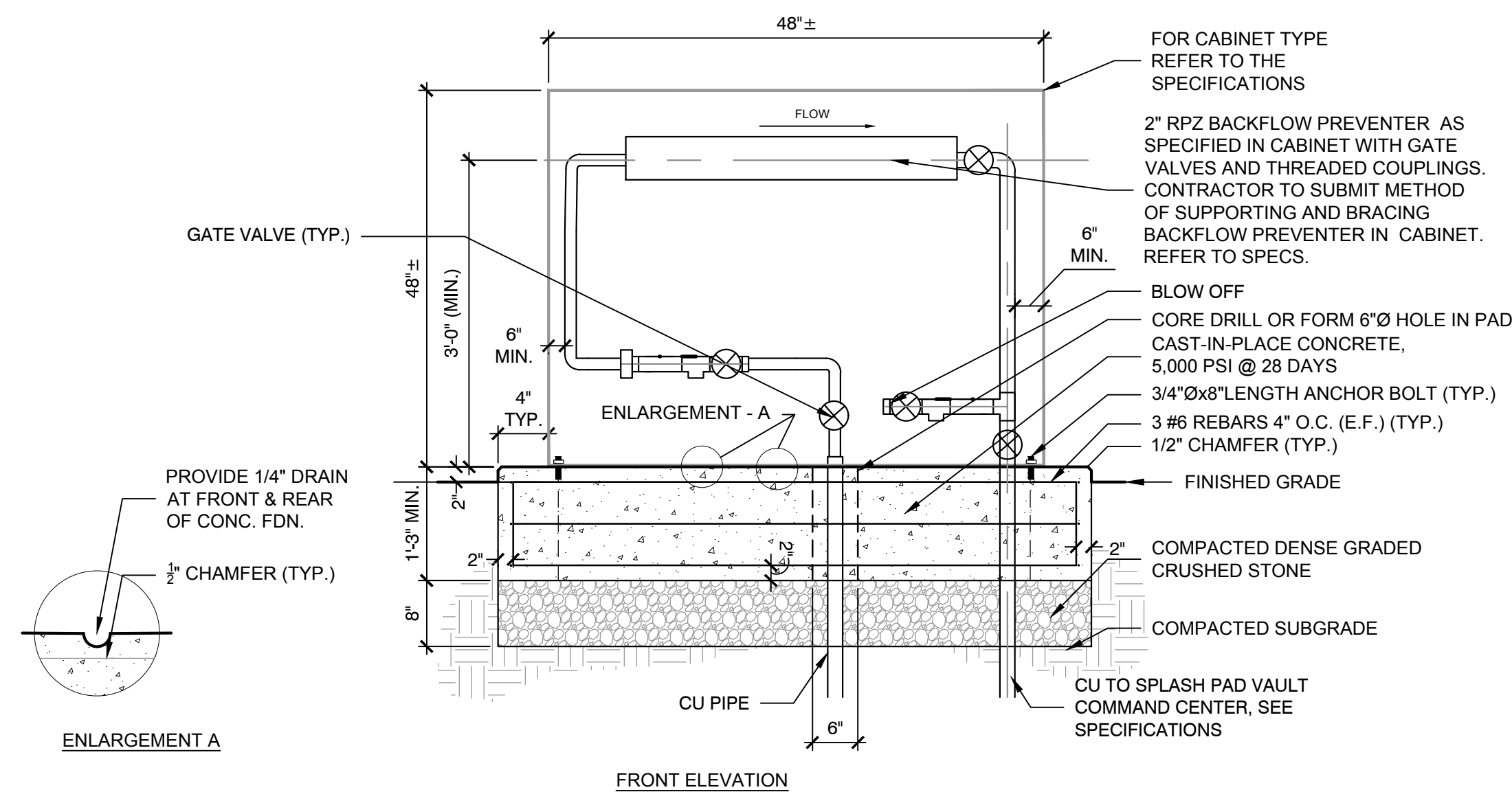
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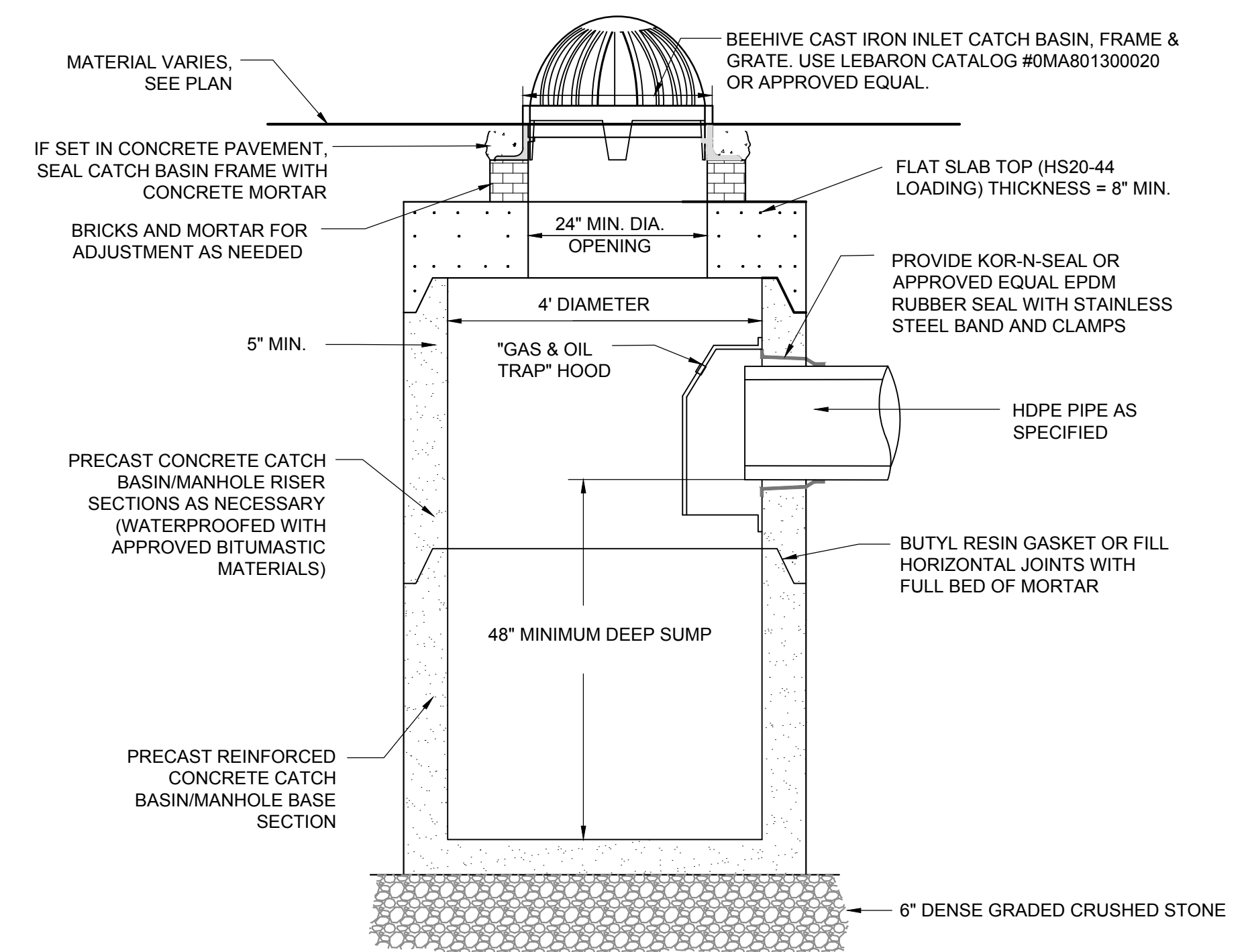
3 EROSION CONTROL
SCALE: N.T.S.



4 WATER FOUNTAIN
SCALE: N.T.S.



5 BACKFLOW PREVENTER IN CABINET
SCALE: N.T.S.



6 CATCH BASIN
SCALE: N.T.S.



Prepared By:



Consultant Project No. ENG22-0042

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Date:

Project Name.:

**Improvements to Various Courts,
City Wide**

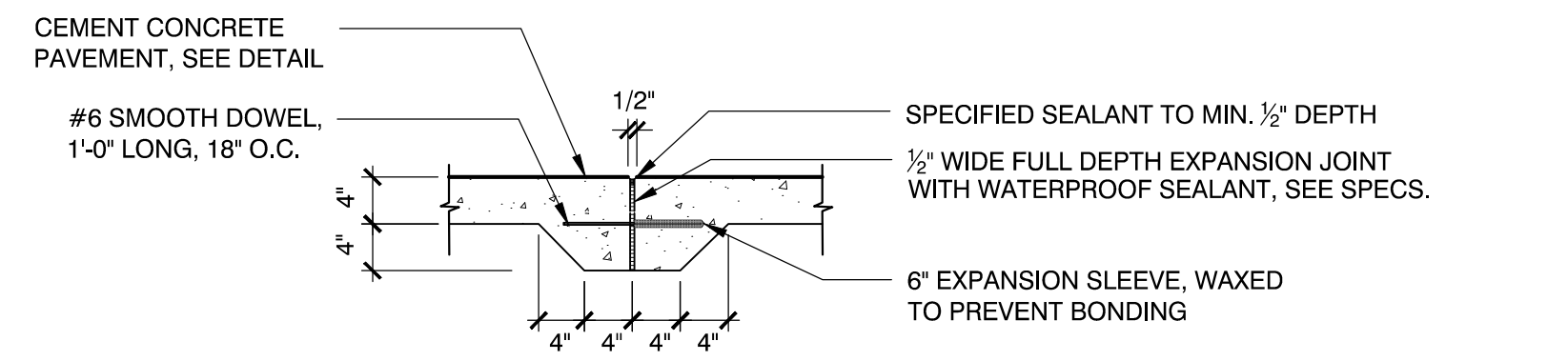
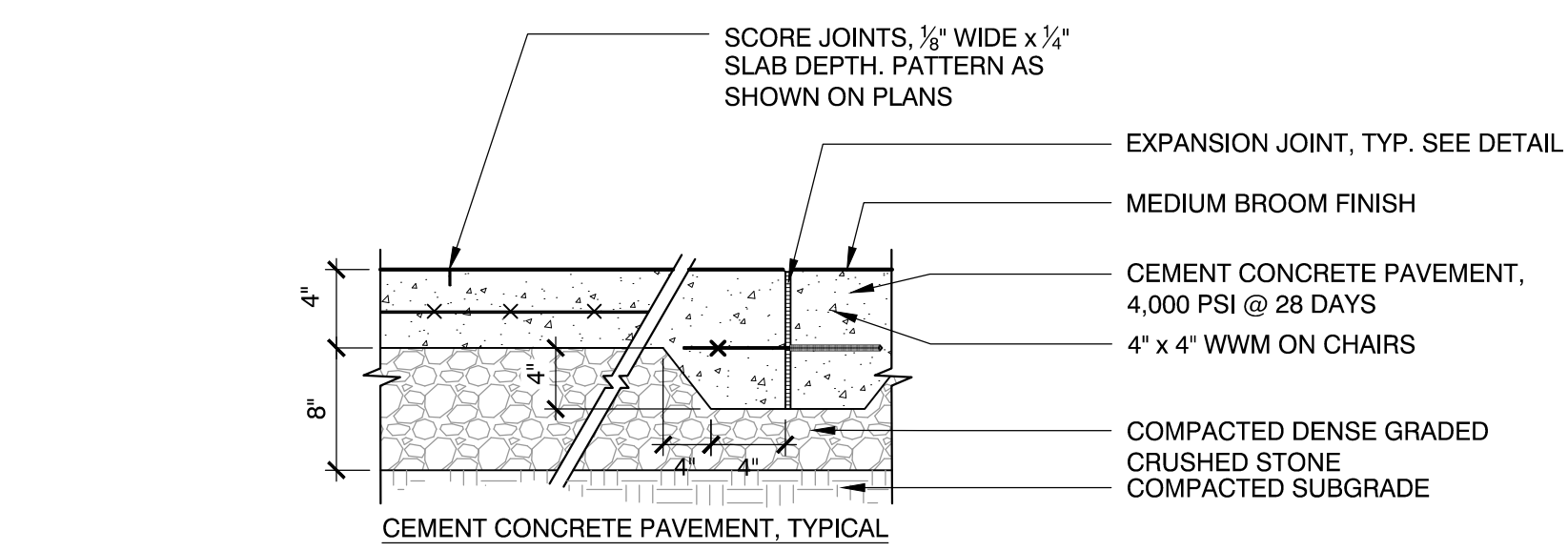
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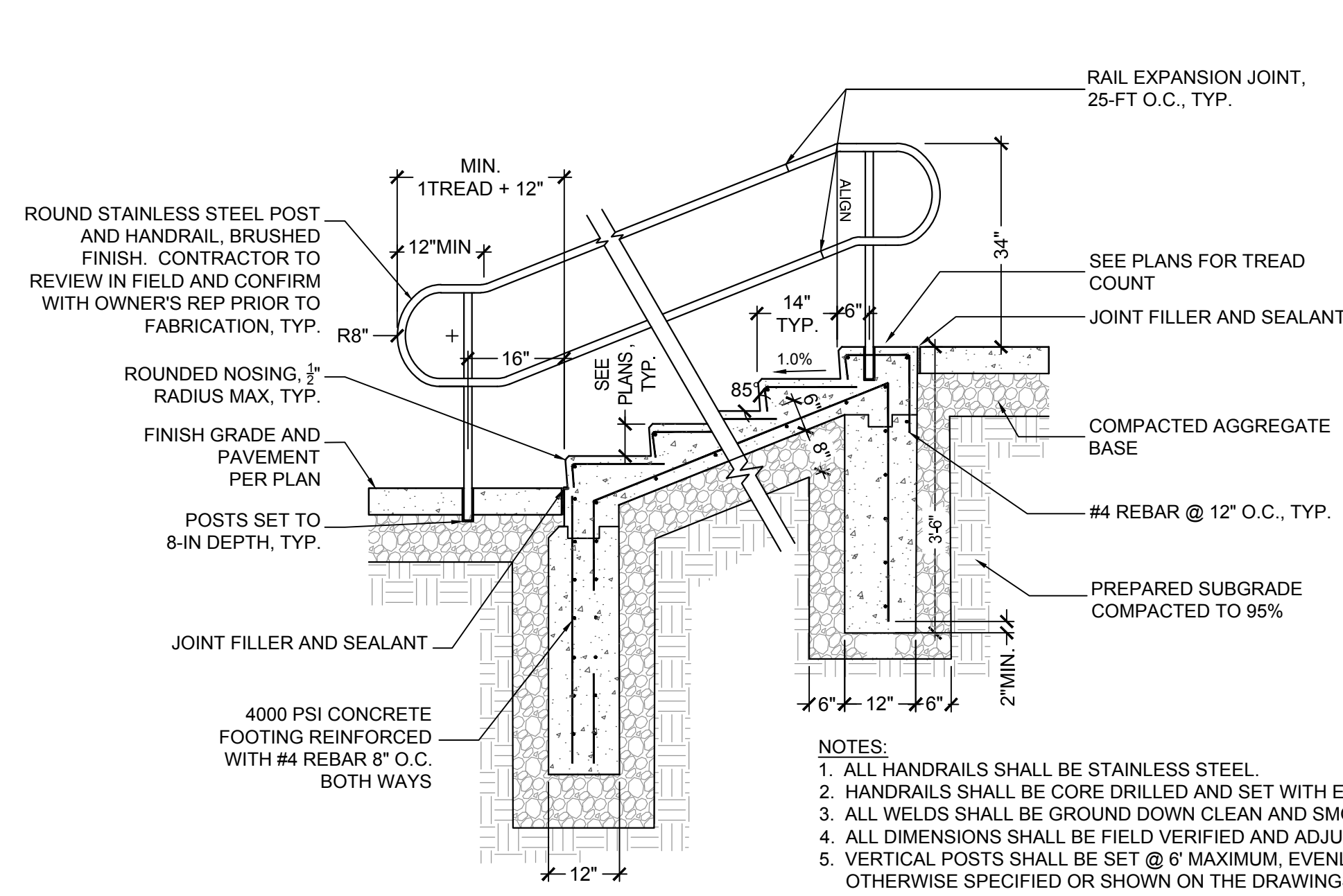
**CONSTRUCTION
DETAILS**

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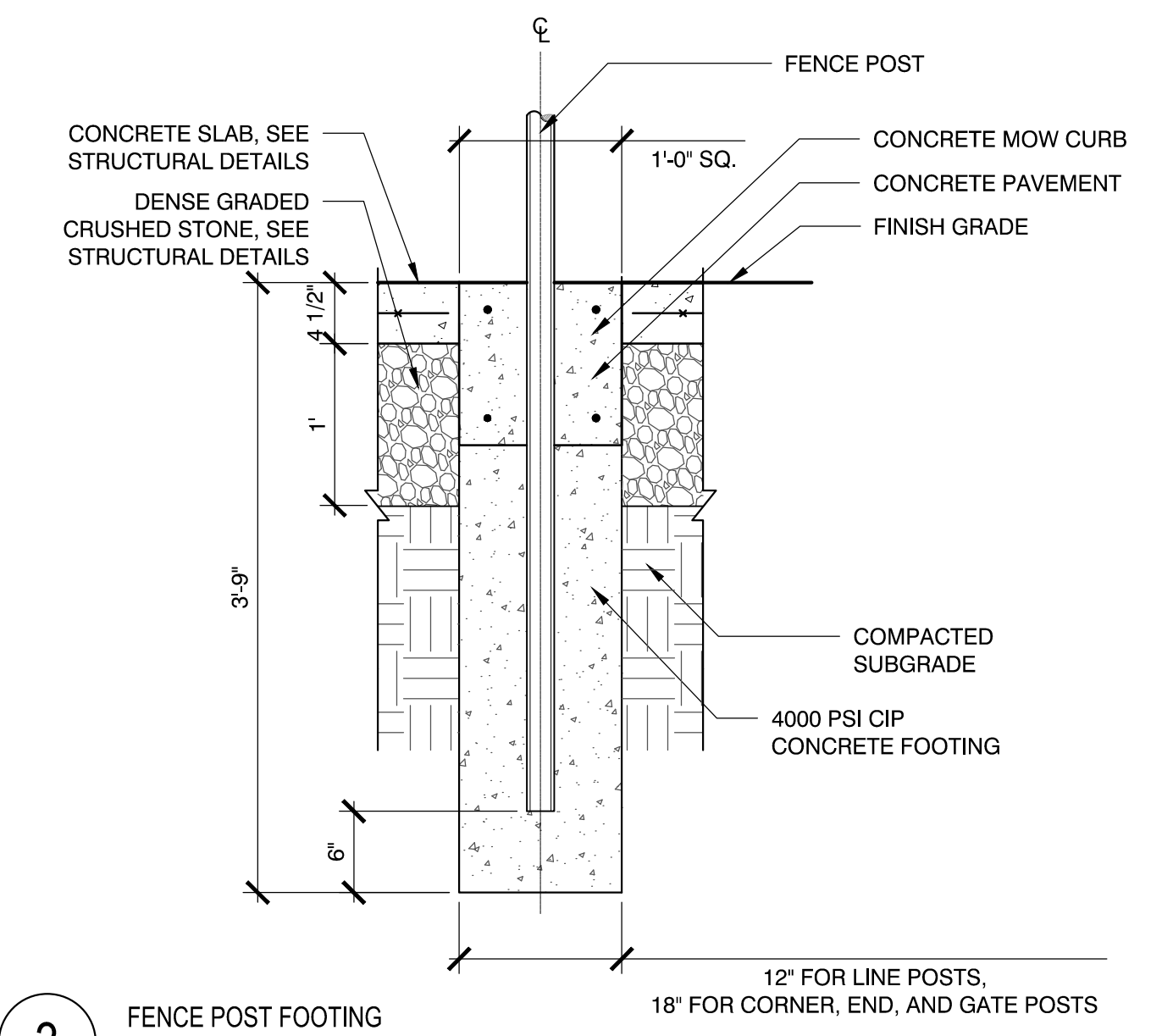
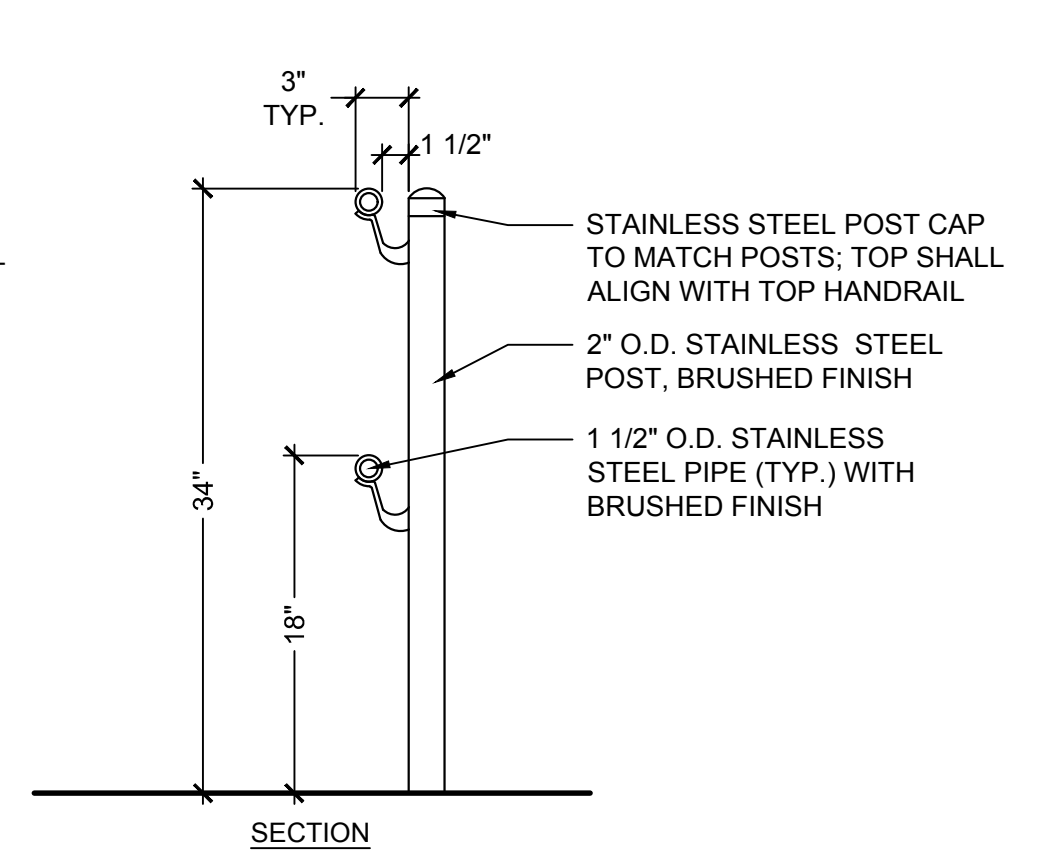
L500



- EXPANSION JOINT INSTALLATION NOTES:**
- DOWEL IS TYPICAL AT ALL EXPANSION JOINTS (18" O.C.) WITHIN CONCRETE PAVING AND BETWEEN NEW CONCRETE PAVING AND EXISTING CONCRETE PAVING TO REMAIN.
 - DELETE EXPANSION SLEEVE AND DOWEL WHERE JOINT ABUTS WALL, CURBS, OR OTHER VERTICAL SURFACES, UNLESS OTHERWISE NOTED.
 - EXPANSION JOINTS MAX. 25'-0" O.C. UNLESS SHOWN OTHERWISE.
 - EXPANSIONS JOINTS SHALL BE PLACED WHERE NEW CEMENT CONCRETE PAVEMENT MEETS EXISTING PAVEMENT OR WALLS TO REMAIN.



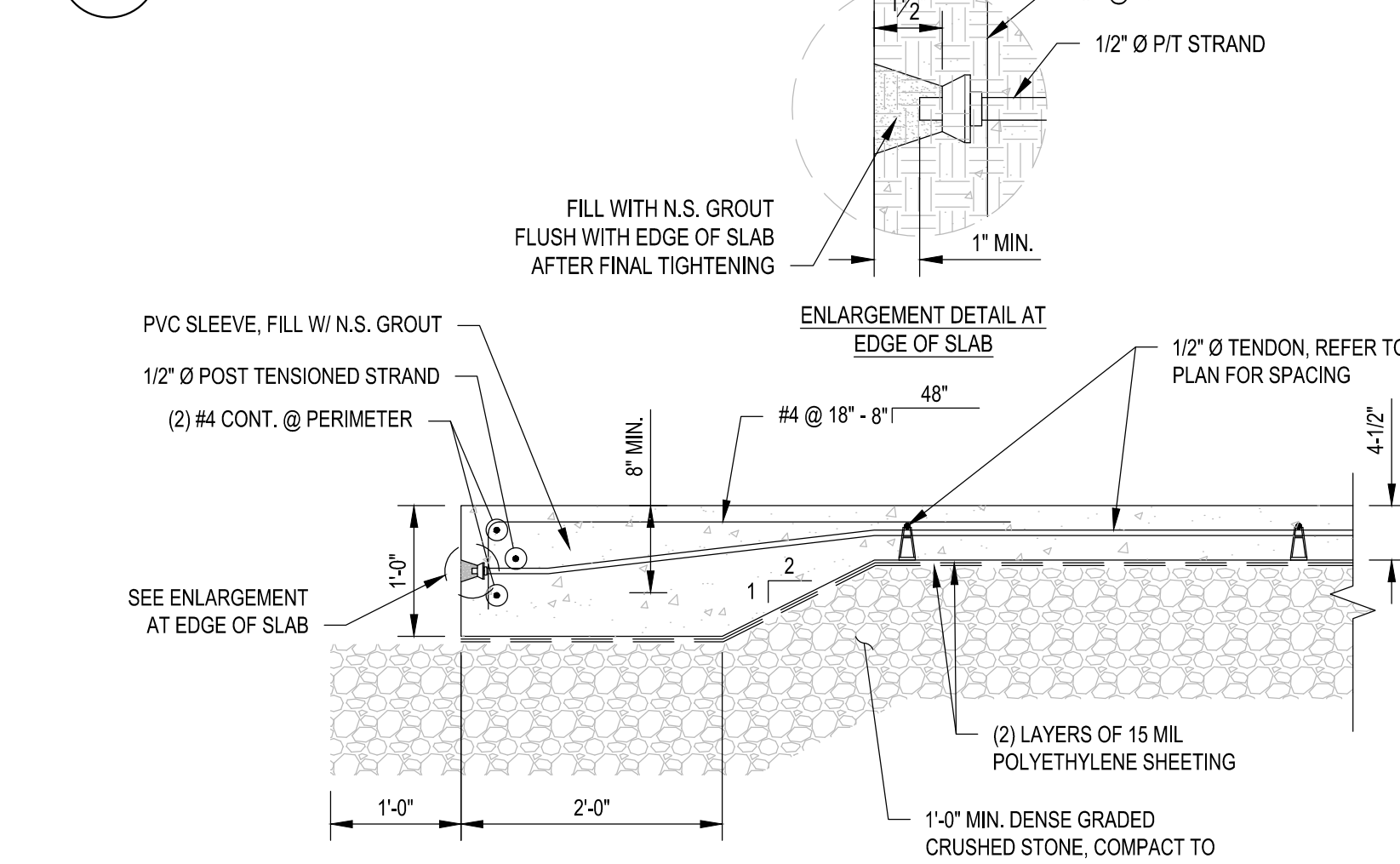
- NOTES:**
- ALL HANDRAILS SHALL BE STAINLESS STEEL.
 - HANDRAILS SHALL BE CORE DRILLED AND SET WITH EPOXY GROUT.
 - ALL WELDS SHALL BE GROUND DOWN CLEAN AND SMOOTH.
 - ALL DIMENSIONS SHALL BE FIELD VERIFIED AND ADJUSTED AS NEEDED.
 - VERTICAL POSTS SHALL BE SET @ 6' MAXIMUM, EVENLY SPACED ALONG THE HORIZONTAL RAIL, UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE DRAWINGS.
 - CONTRACTOR SHALL SUBMIT LARGE SCALE SHOP DRAWINGS OF HANDRAILS AND ALL NECESSARY HARDWARE PER SPECIFICATIONS



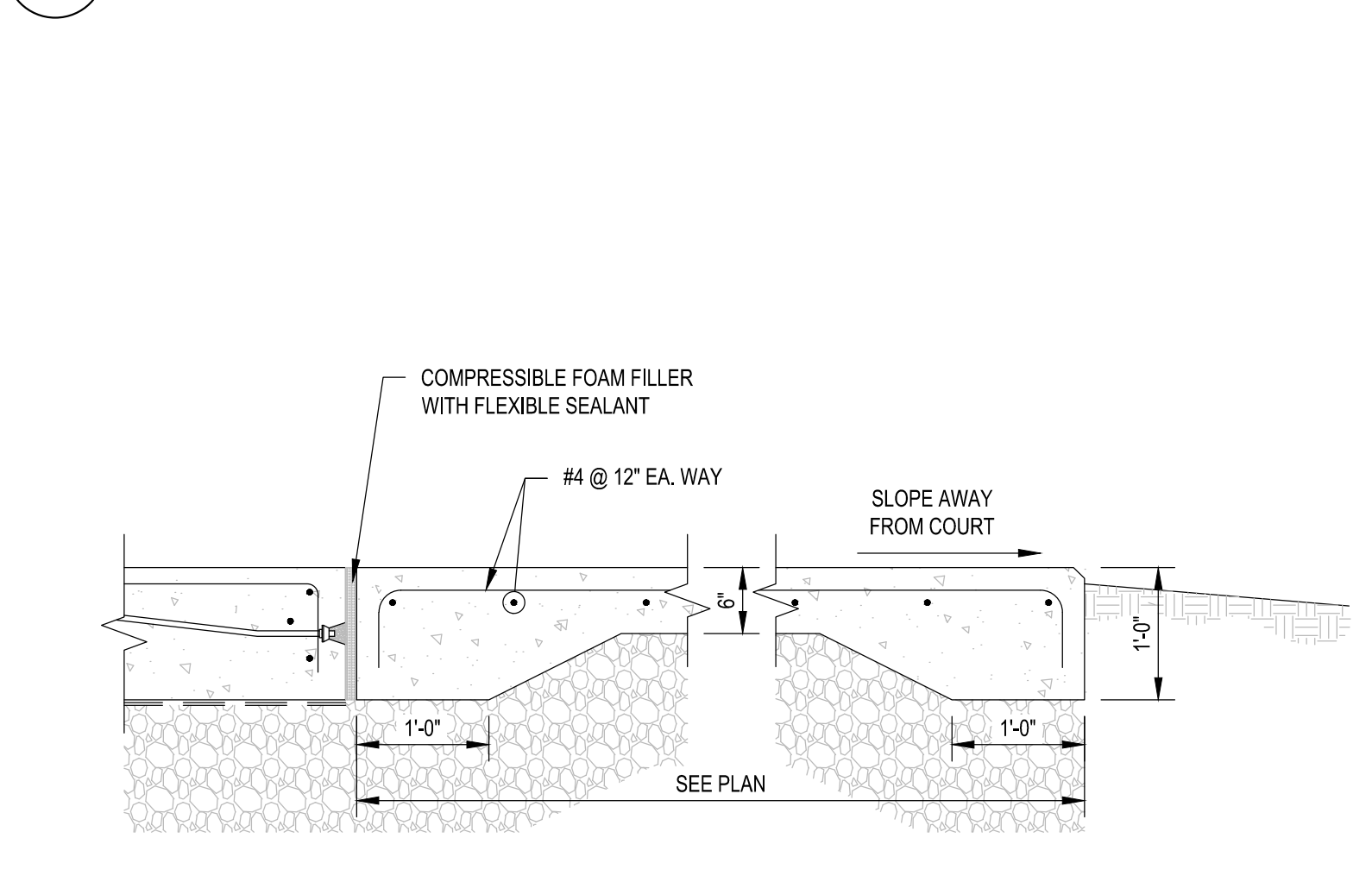
1 CONCRETE PAVEMENT
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2 CAST-IN-PLACE CONCRETE STAIRS AND HANDRAIL
SCALE: N.T.S.

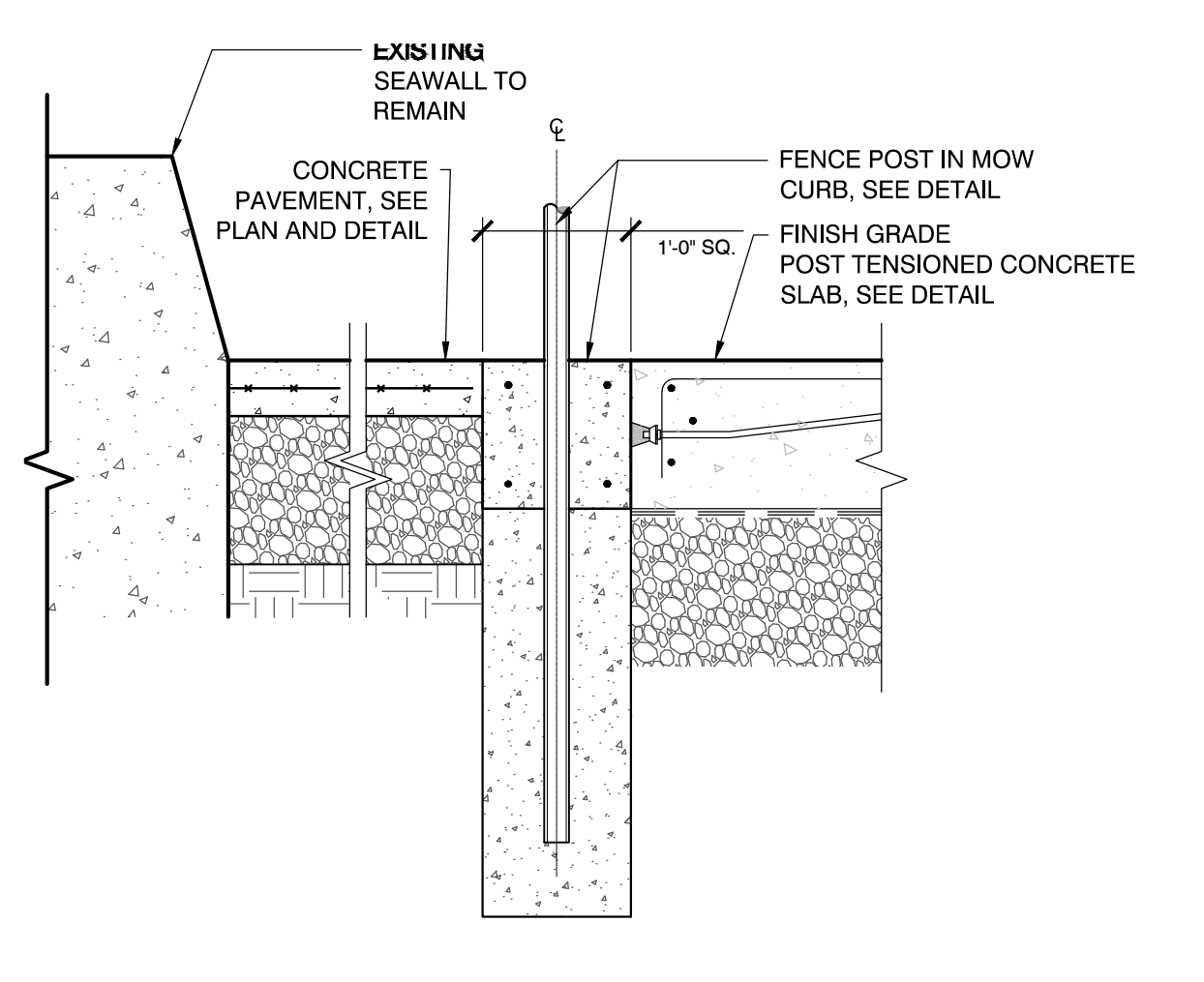
3 FENCE POST FOOTING
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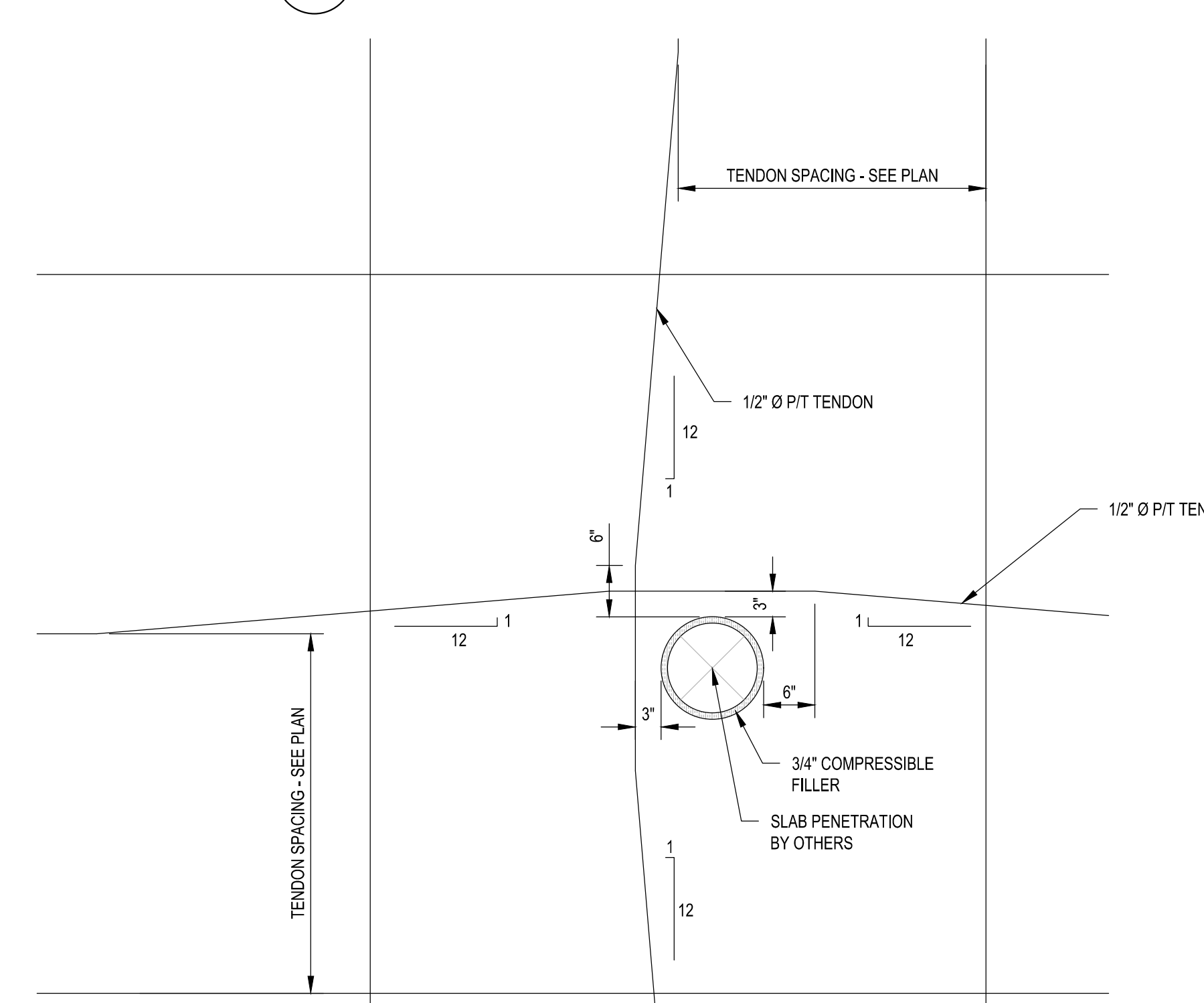
4 POST-TENSION CONCRETE SLAB
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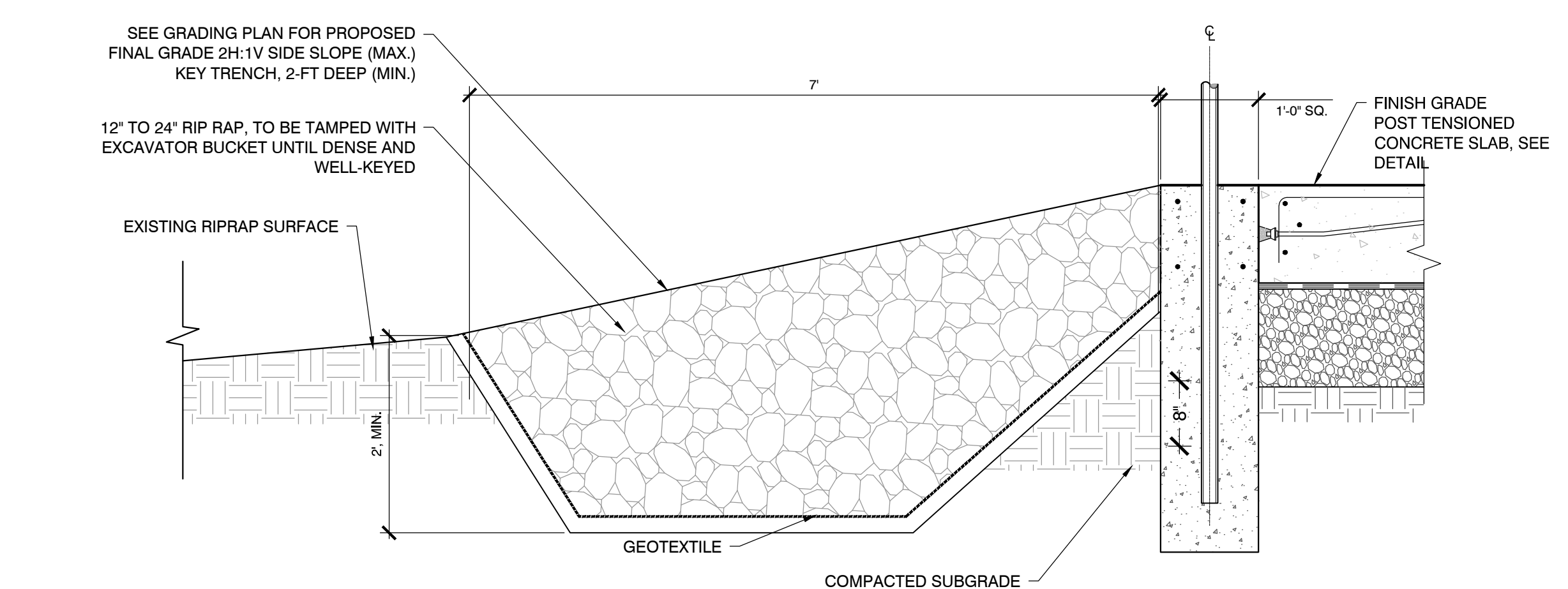
5 SECTION THROUGH CONCRETE SLAB
SCALE: N.T.S.



6 SECTION POST TENSION CONCRETE SLAB TO EXISTING SEAWALL TO REMAIN
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7 TENDON LAYOUT AT SLAB PENETRATIONS
SCALE: N.T.S.

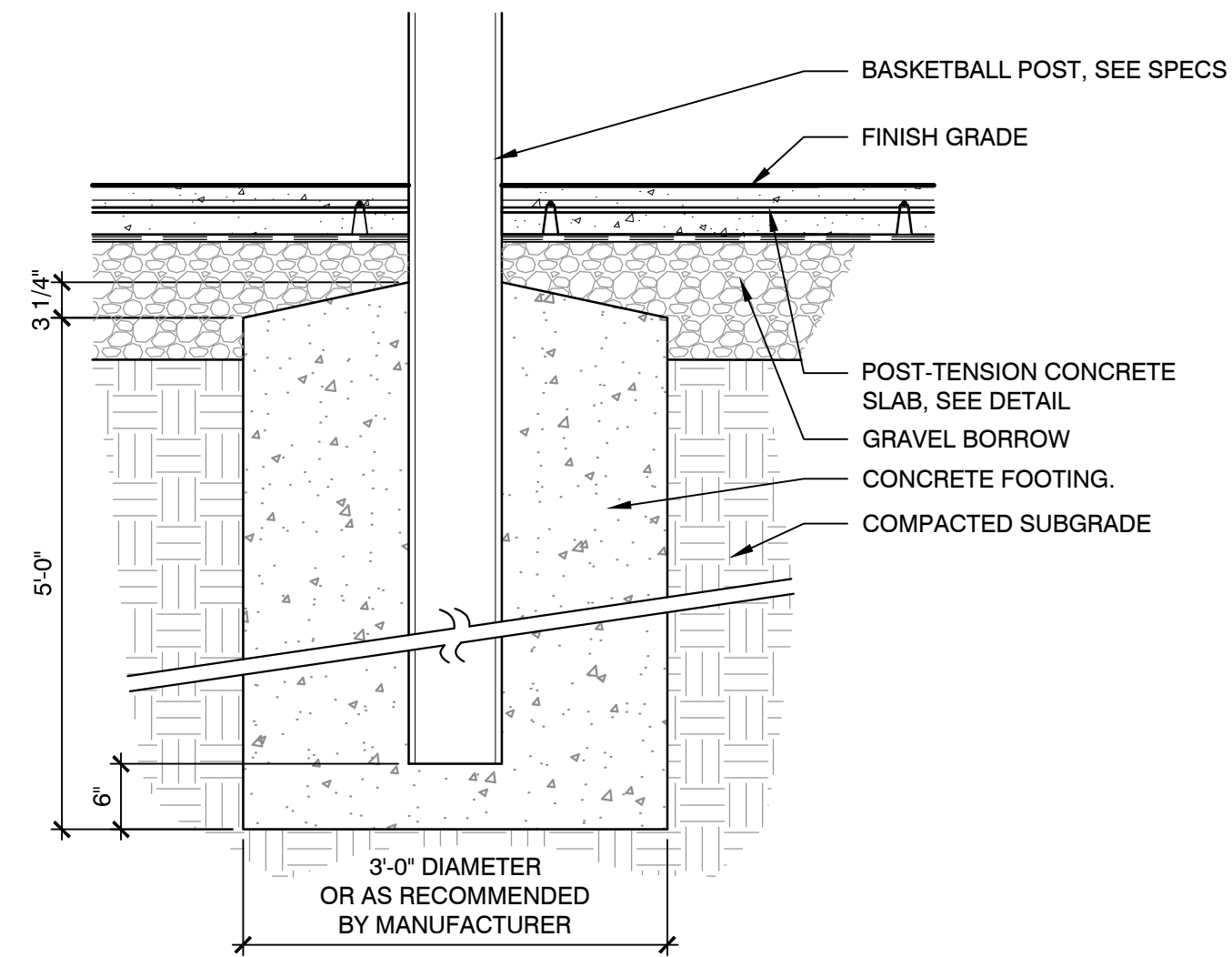


8 SECTION THROUGH CONCRETE SLAB AT GRANITE BLOCK MOUND AND RIPRAP
SCALE: N.T.S.



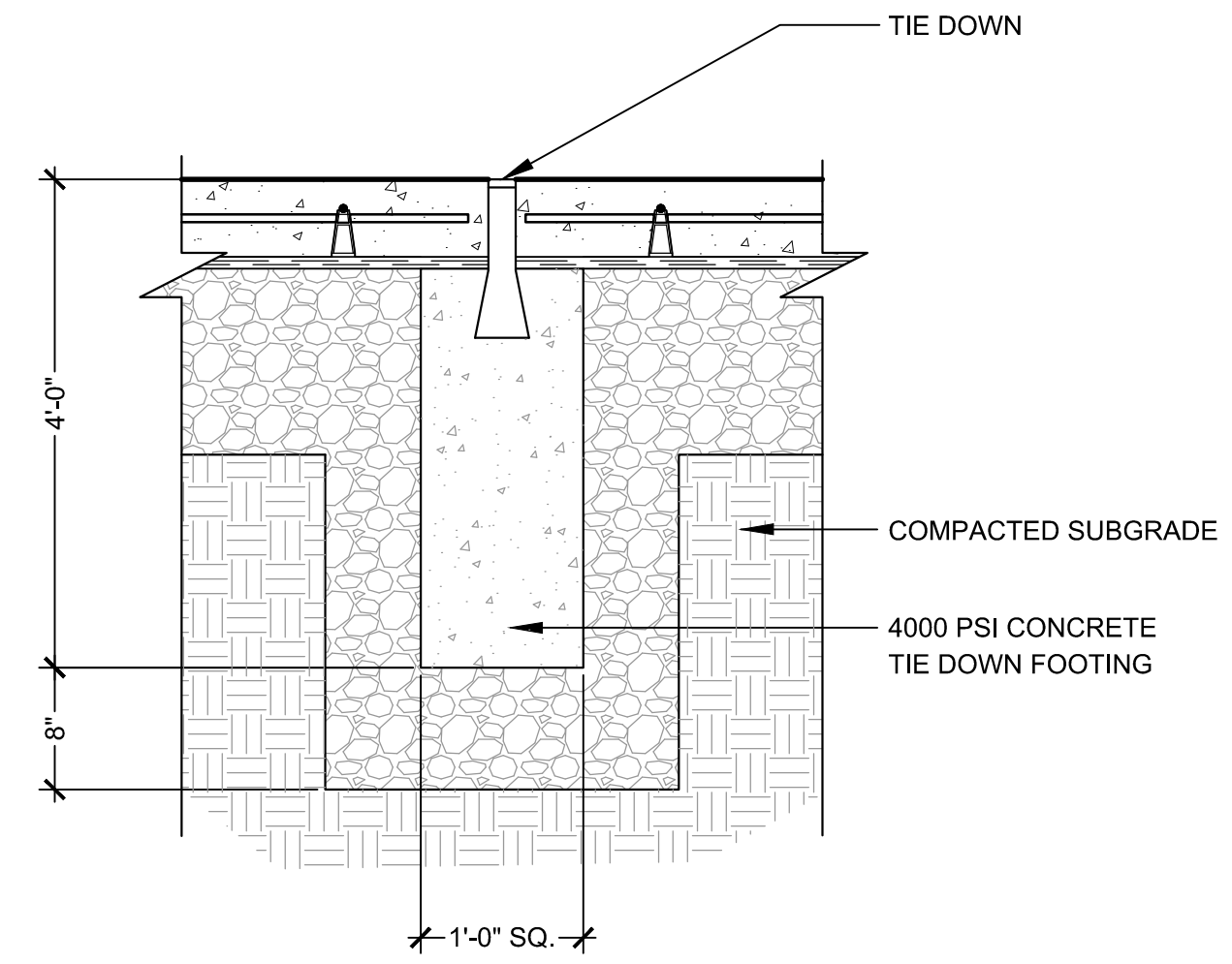
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FENCING IN DEVELOPMENT



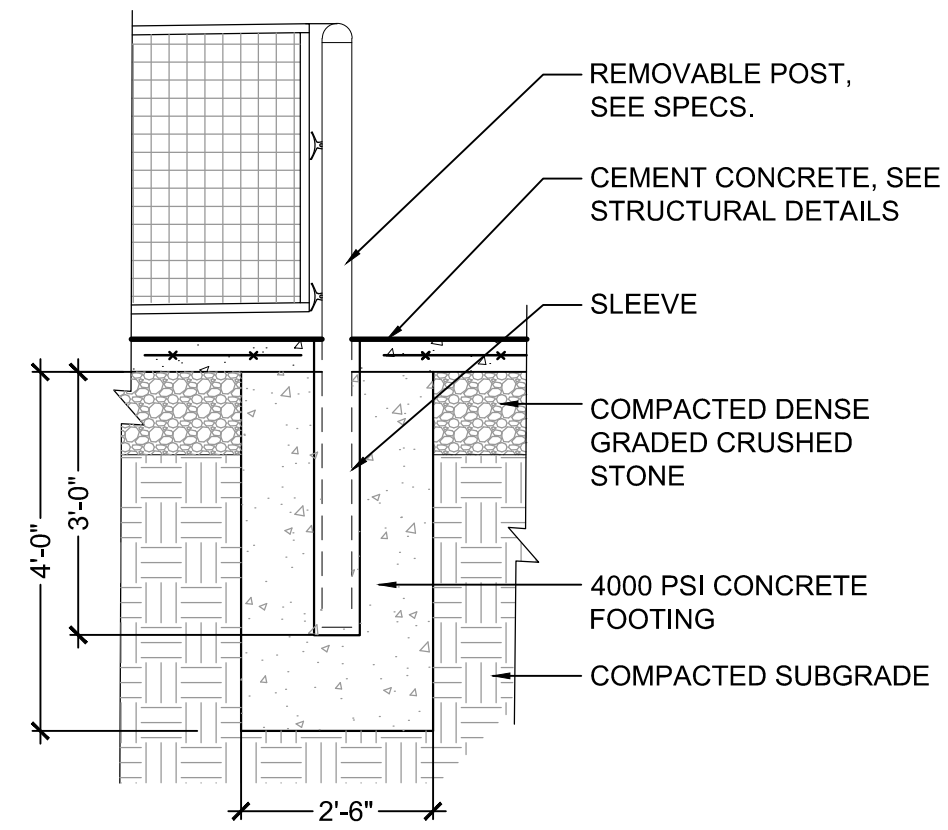
NOTES:
1. SHOP DRAWING SUBMITTAL SHALL INCLUDE DETAIL(S) OF MANUFACTURER'S RECOMMENDED INSTALLATION.

2 BASKETBALL POST FOOTING
SCALE: N.T.S.

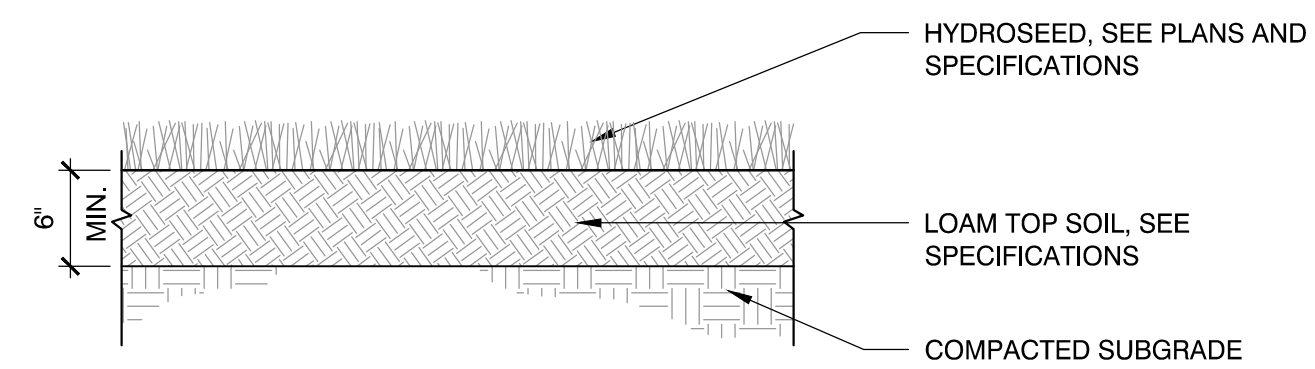


3 TENNIS NET TIE DOWN
SCALE: N.T.S.

1 8' HT. FENCE IN MOW CURB
SCALE: N.T.S.



4 TENNIS POST FOOTING
SCALE: N.T.S.



5 LOAM AND SEED
SCALE: N.T.S.



Prepared By:
Weston & Sampson

Consultant Project No. ENG22-0042

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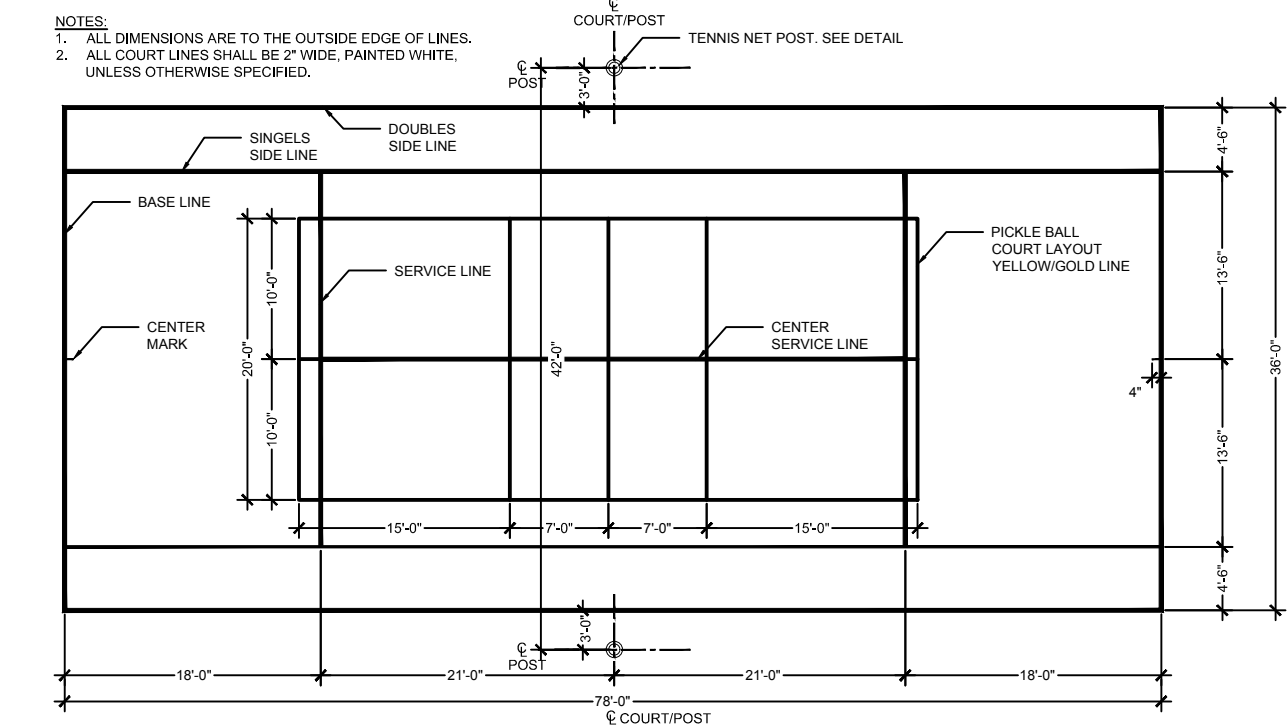
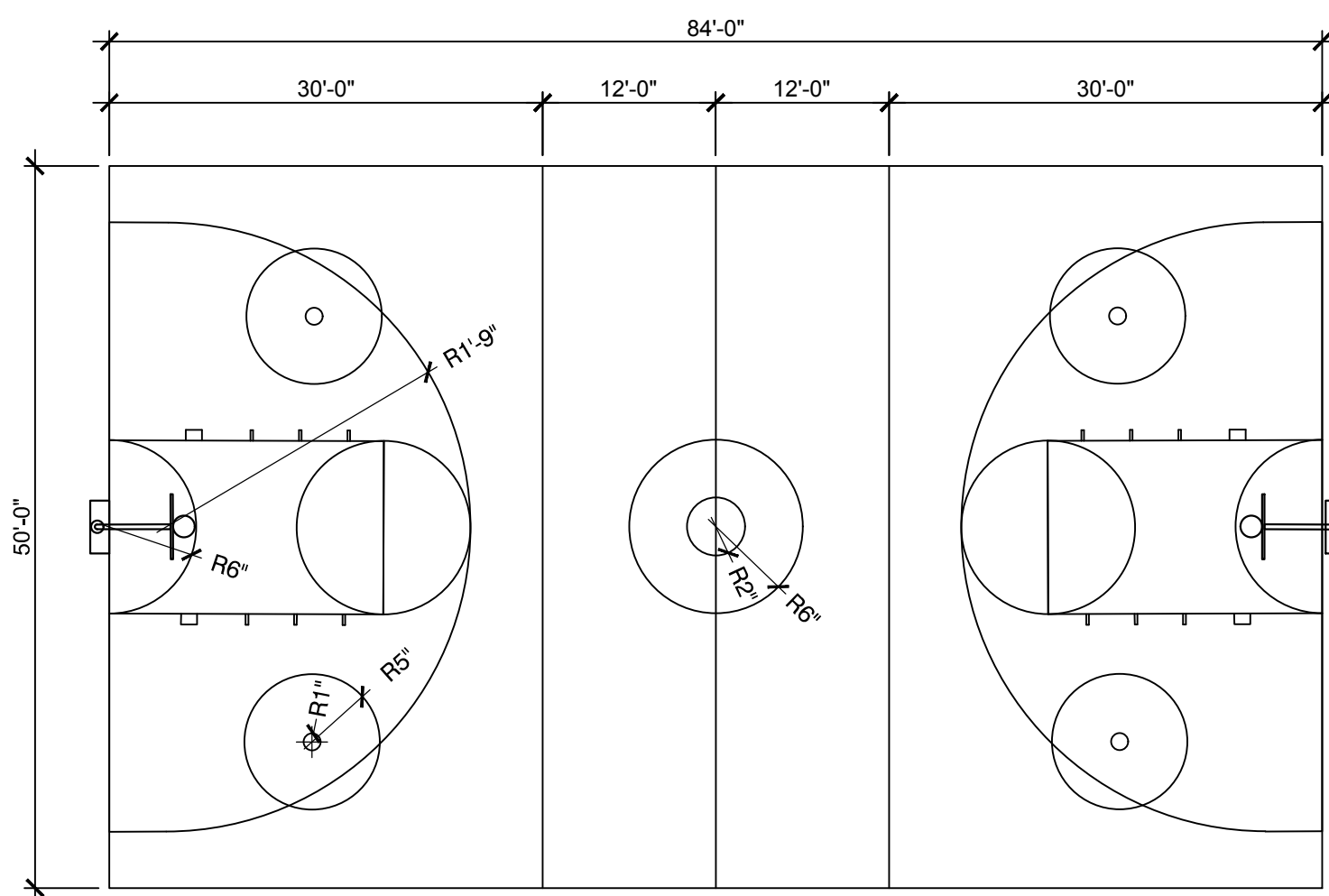
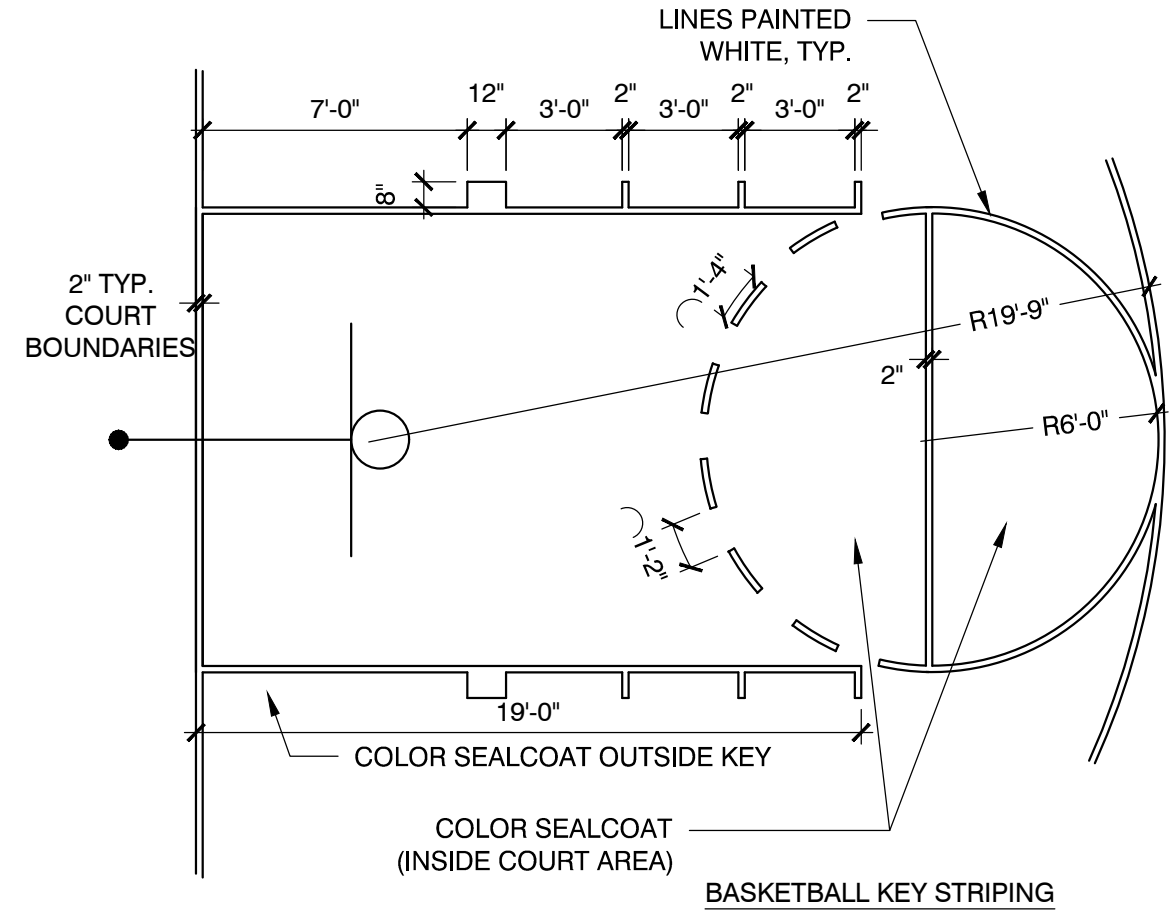
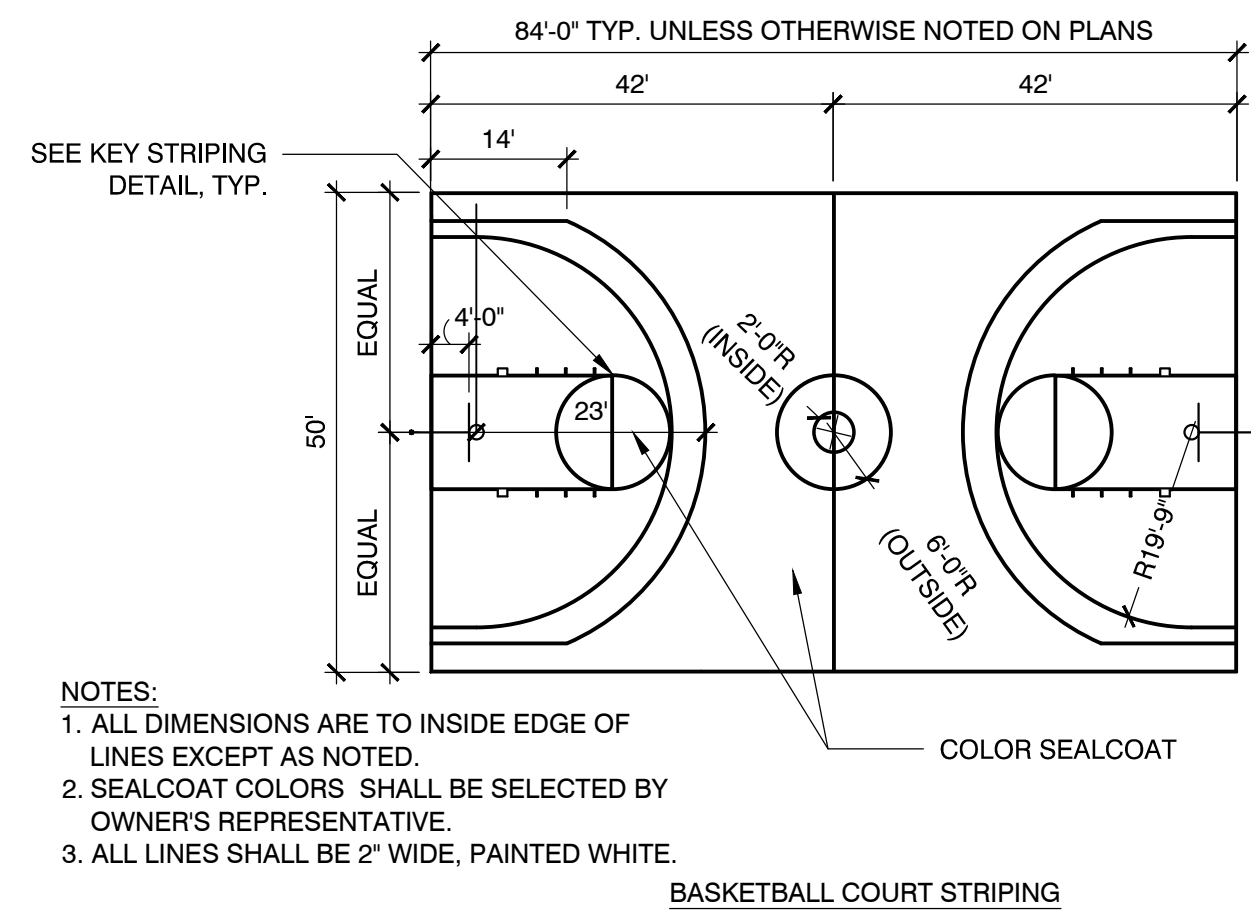
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Improvements to Various Courts, City Wide

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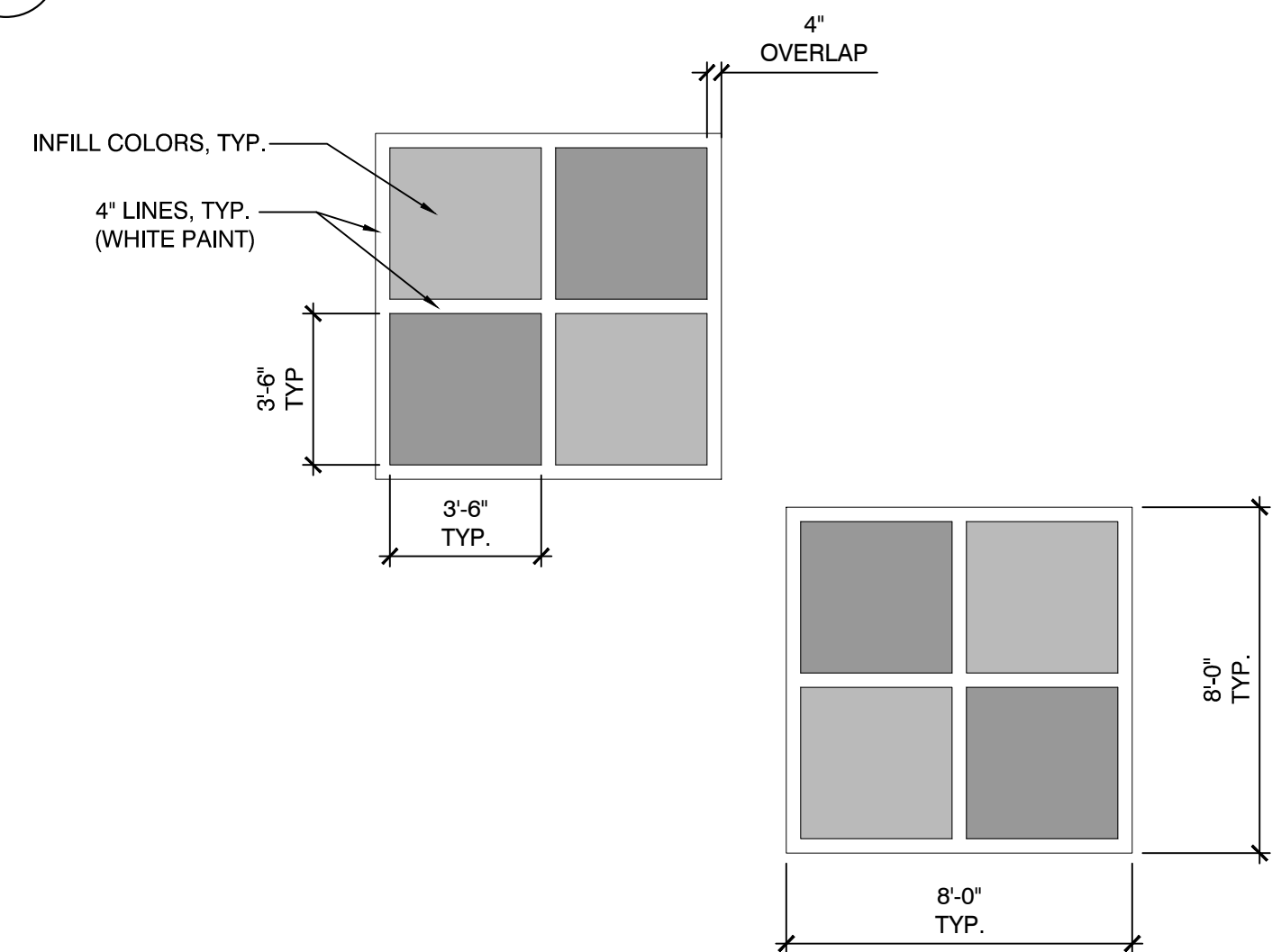
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L502



1 BASKETBALL LINE STRIPING
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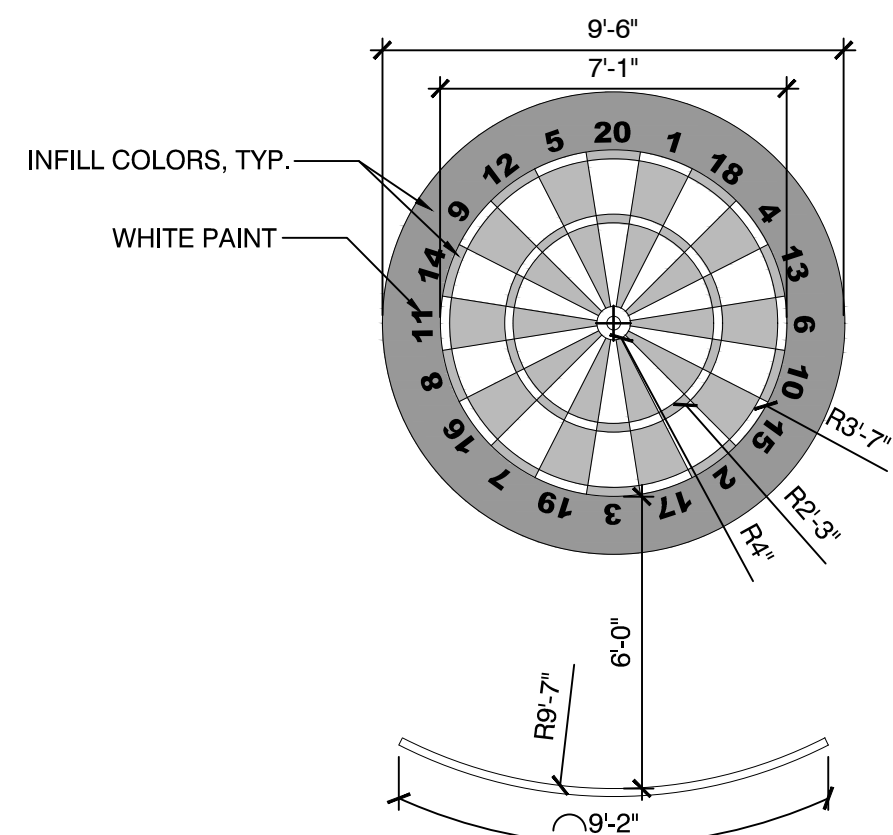
2 MULTI-SPORT COURT LINE STRIPING
SCALE: N.T.S.

3 TENNIS COURT AND PICKLEBALL COURT LINE STRIPING
SCALE: N.T.S.



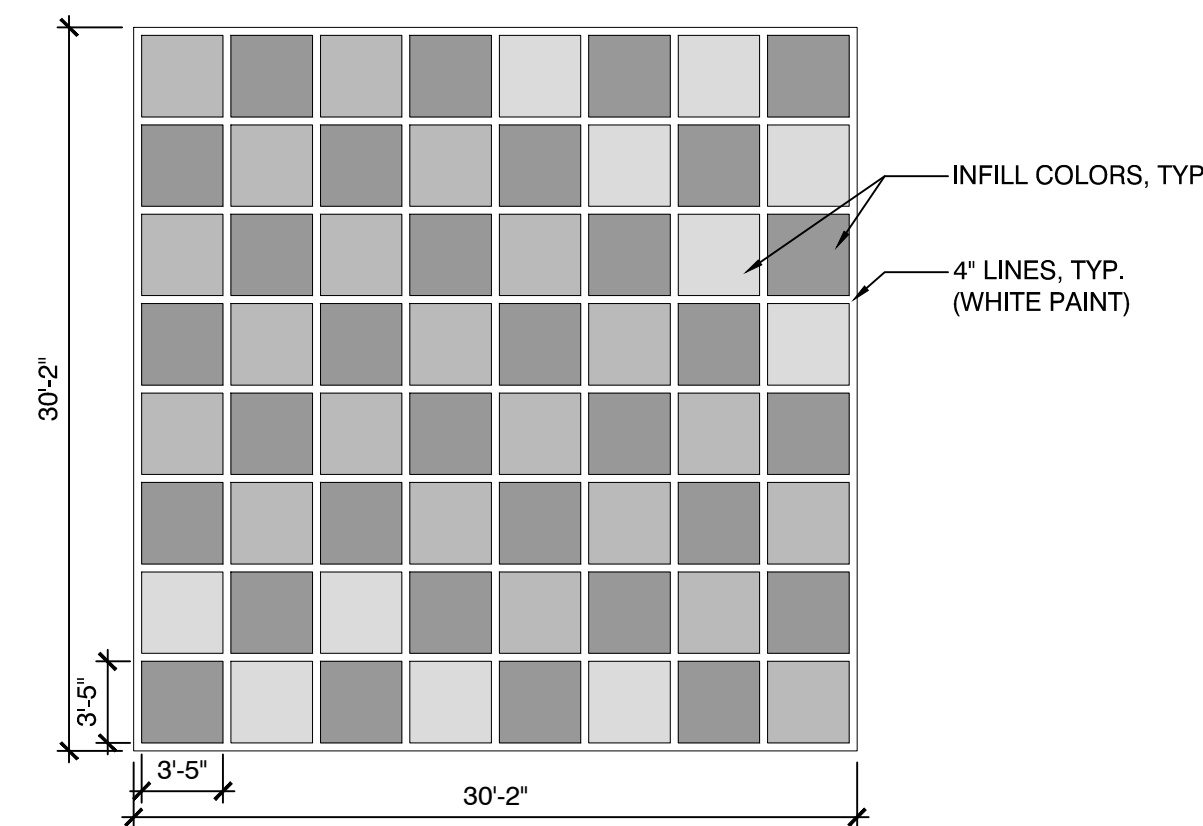
- NOTES:
1. LINES TO BE 4" WIDE. COLOR TO BE WHITE.
 2. FILL COLORS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.

4 FOUR SQUARE LINE STRIPING
SCALE: N.T.S.



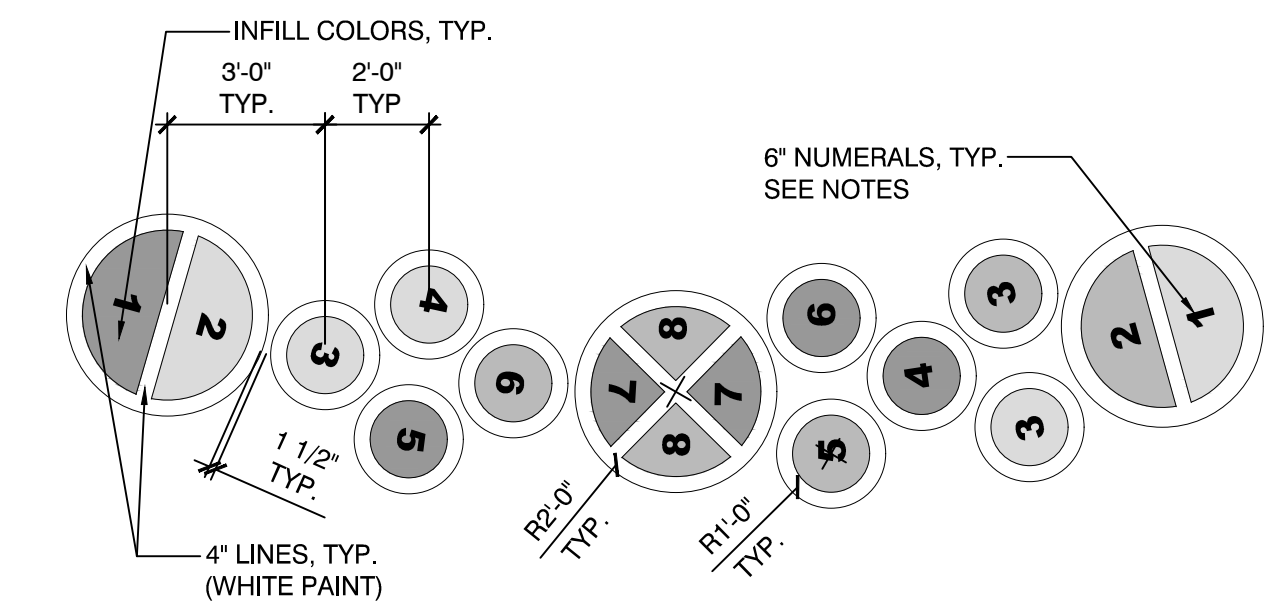
- NOTES:
1. LINES TO BE 4" WIDE. COLOR TO BE WHITE.
 2. FILL COLORS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 3. NUMBERS TO BE 6" TALL. FONT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.

5 DART BOARD STRIPING
SCALE: N.T.S.



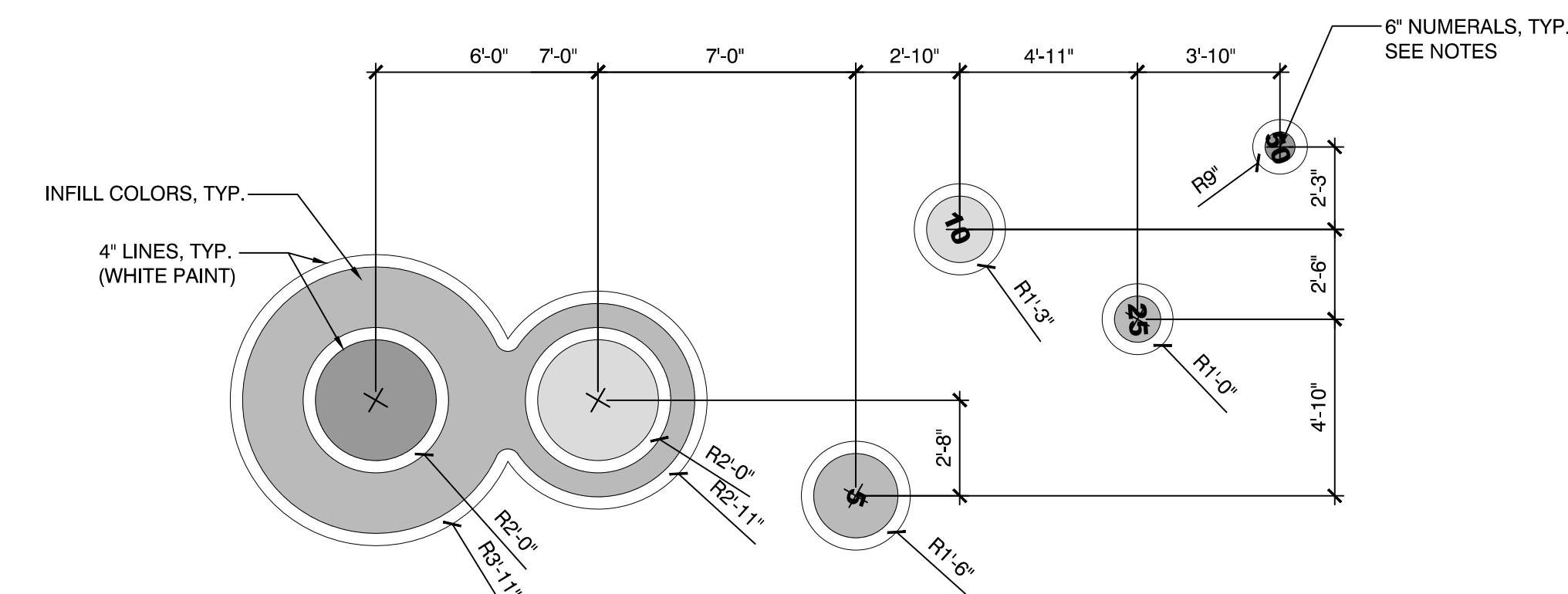
- NOTES:
1. LINES TO BE 4" WIDE. COLOR TO BE WHITE.
 2. FILL COLORS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.

6 CHECKER BOARD STRIPING
SCALE: N.T.S.



- NOTES:
1. LINES TO BE 4" WIDE. COLOR TO BE WHITE.
 2. FILL COLORS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 3. NUMBERS TO BE 6" TALL. FONT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.

7 HOPS AND SCOTCH STRIPING
SCALE: N.T.S.



- NOTES:
1. LINES TO BE 4" WIDE. COLOR TO BE WHITE.
 2. FILL COLORS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 3. NUMBERS TO BE 6" TALL. FONT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.

8 TARGET TOSS STRIPING
SCALE: N.T.S.



- NOTES:
1. LINES TO BE 4" WIDE. COLOR TO BE WHITE.
 2. FILL COLORS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.

9 LOOP STRIPING
SCALE: N.T.S.



Prepared By:

Weston & Sampson

Consultant Project No. ENG22-0042

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Checked

PROJECT NO.

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