

# 33-41 Farnsworth Street, Boston

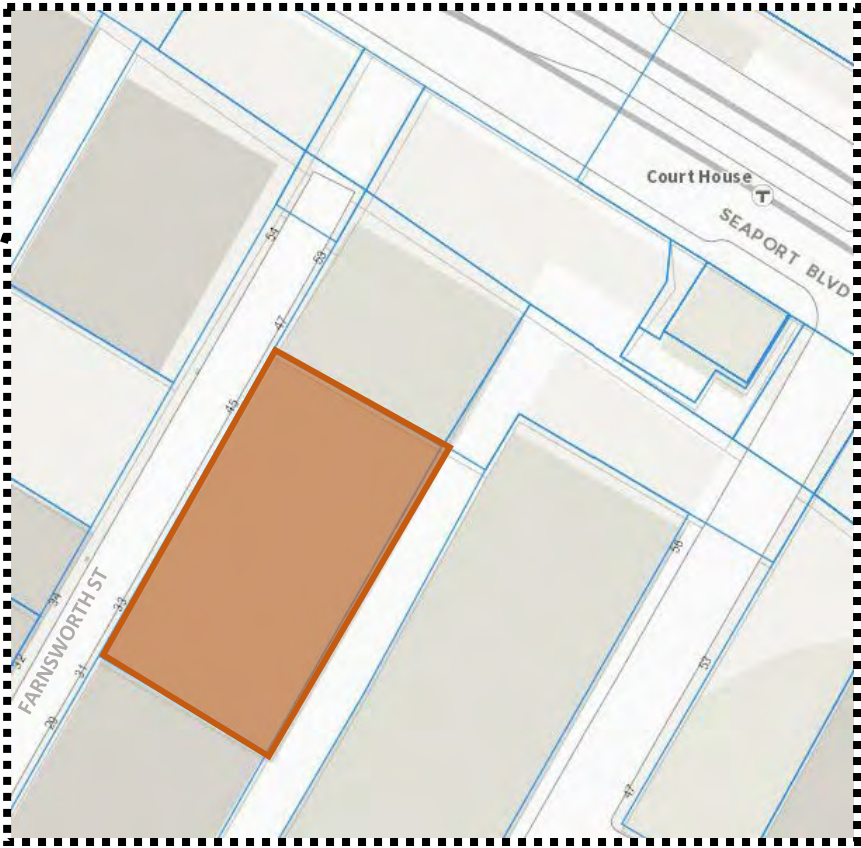
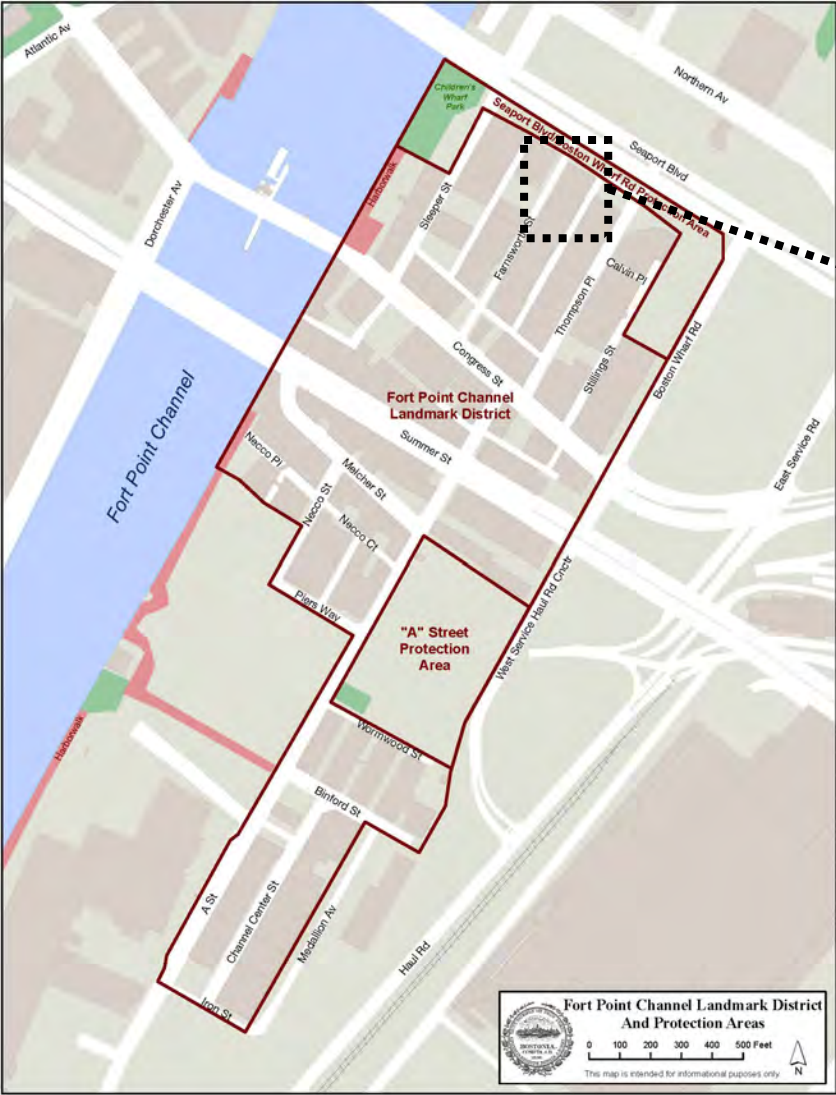
## Rooftop and Loading Dock Modifications

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Fort Point Channel Landmark District Commission  
Design Review Hearing  
June 9, 2022



# Project Site Location



33-41 Farnsworth Street

# Existing Conditions – Front Elevation

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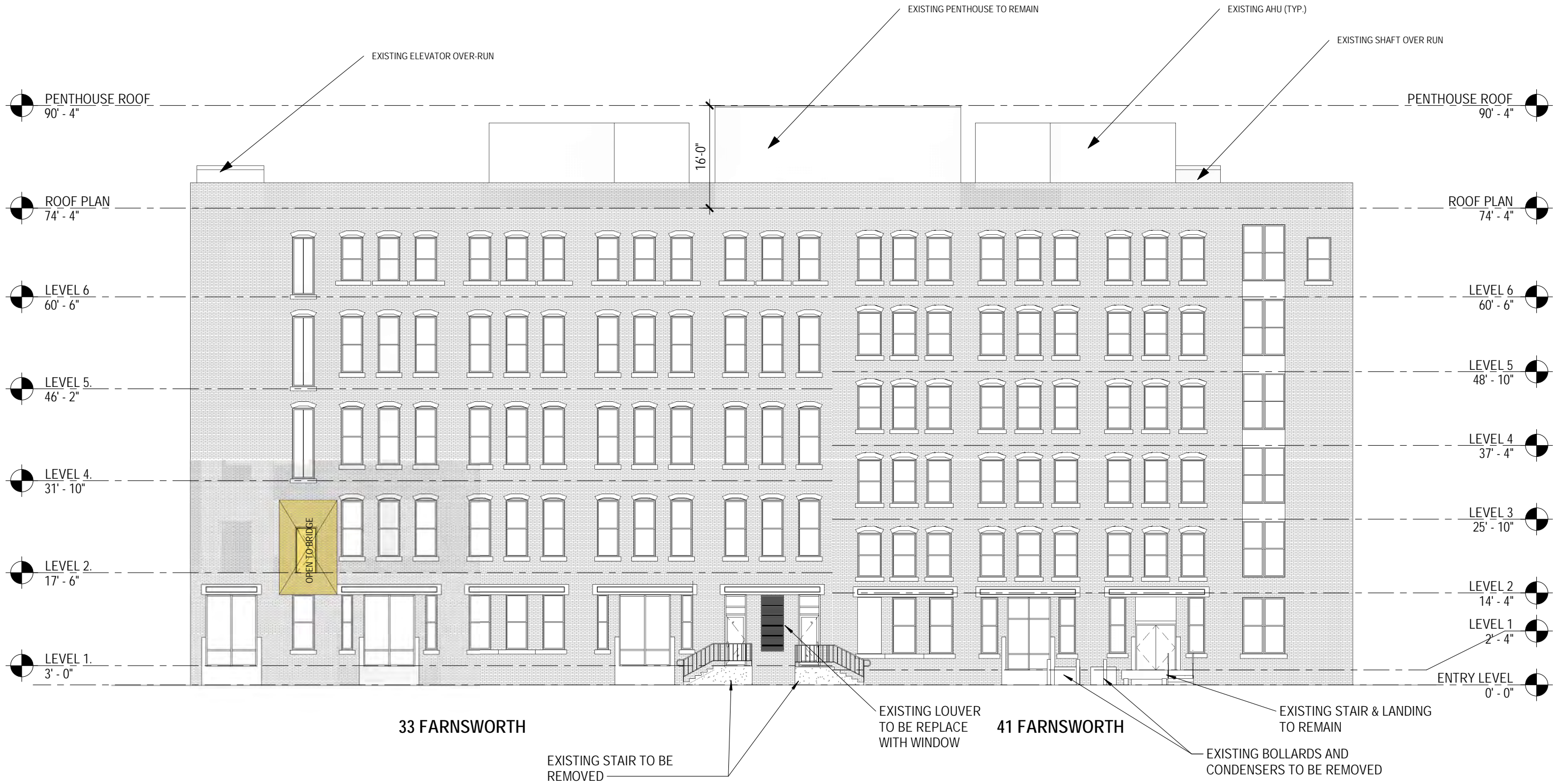


41 FARNSWORTH

33 FARNSWORTH

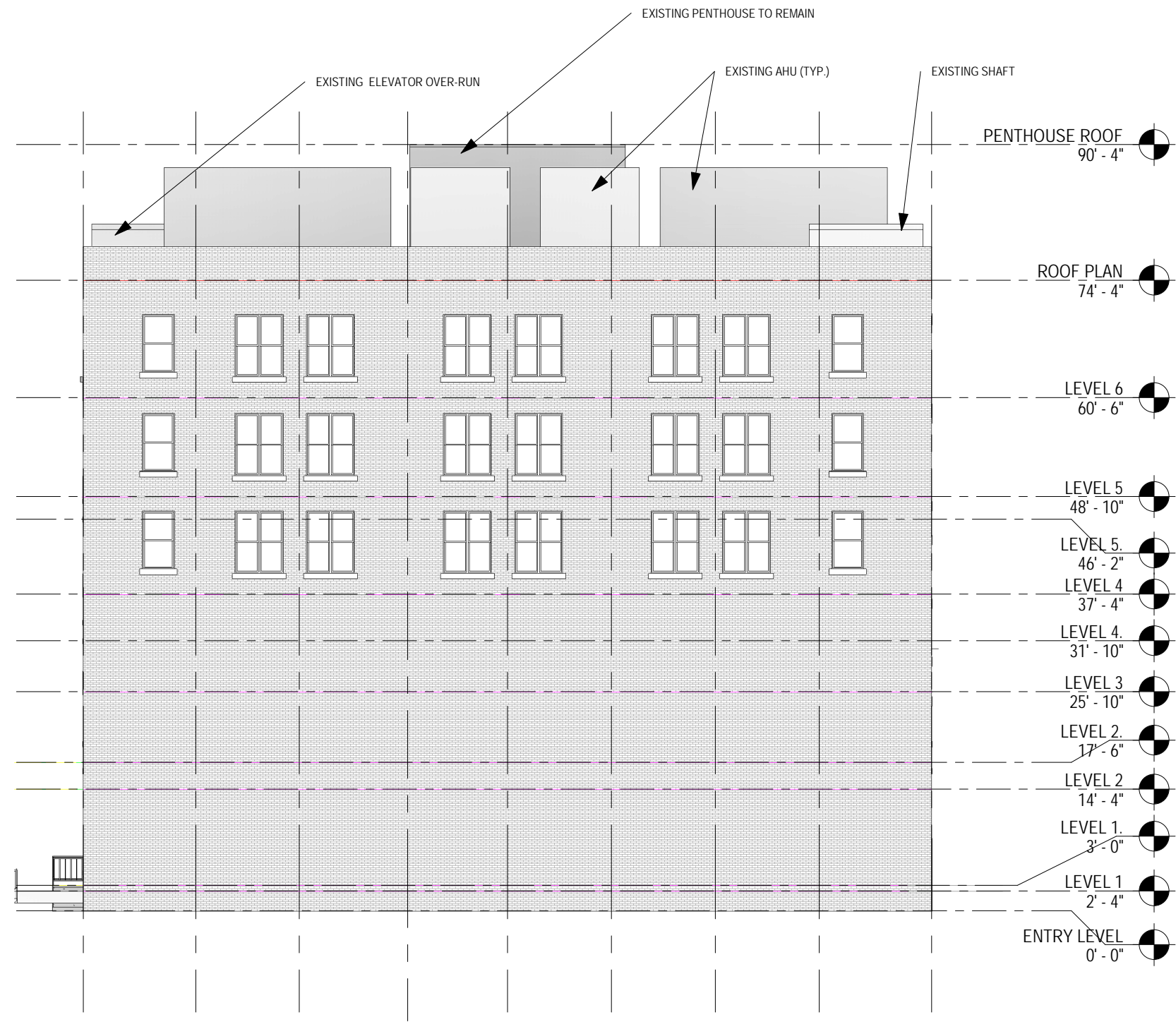
1/16" = 1'-0" 10

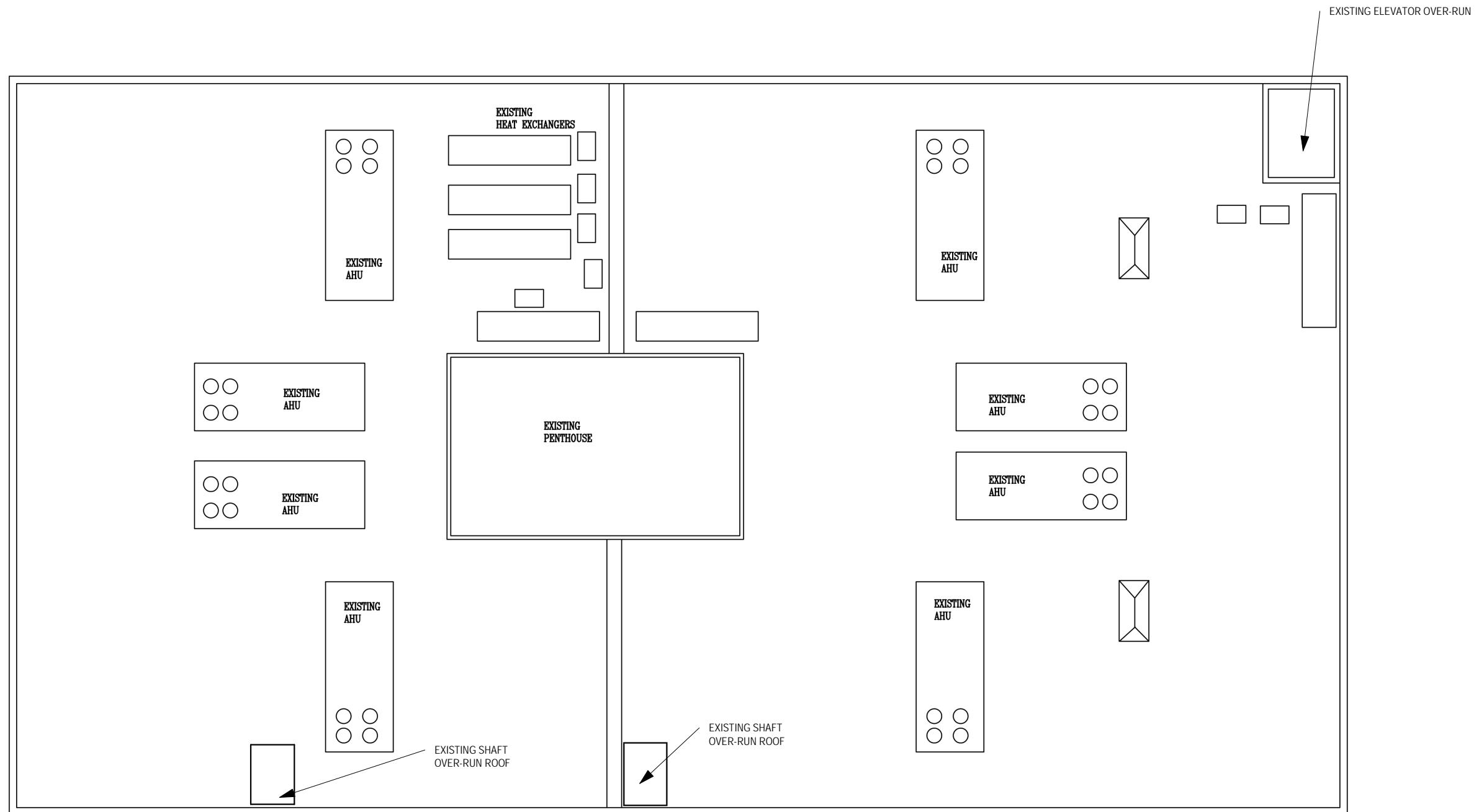
EXISTING FRONT ELEVATION

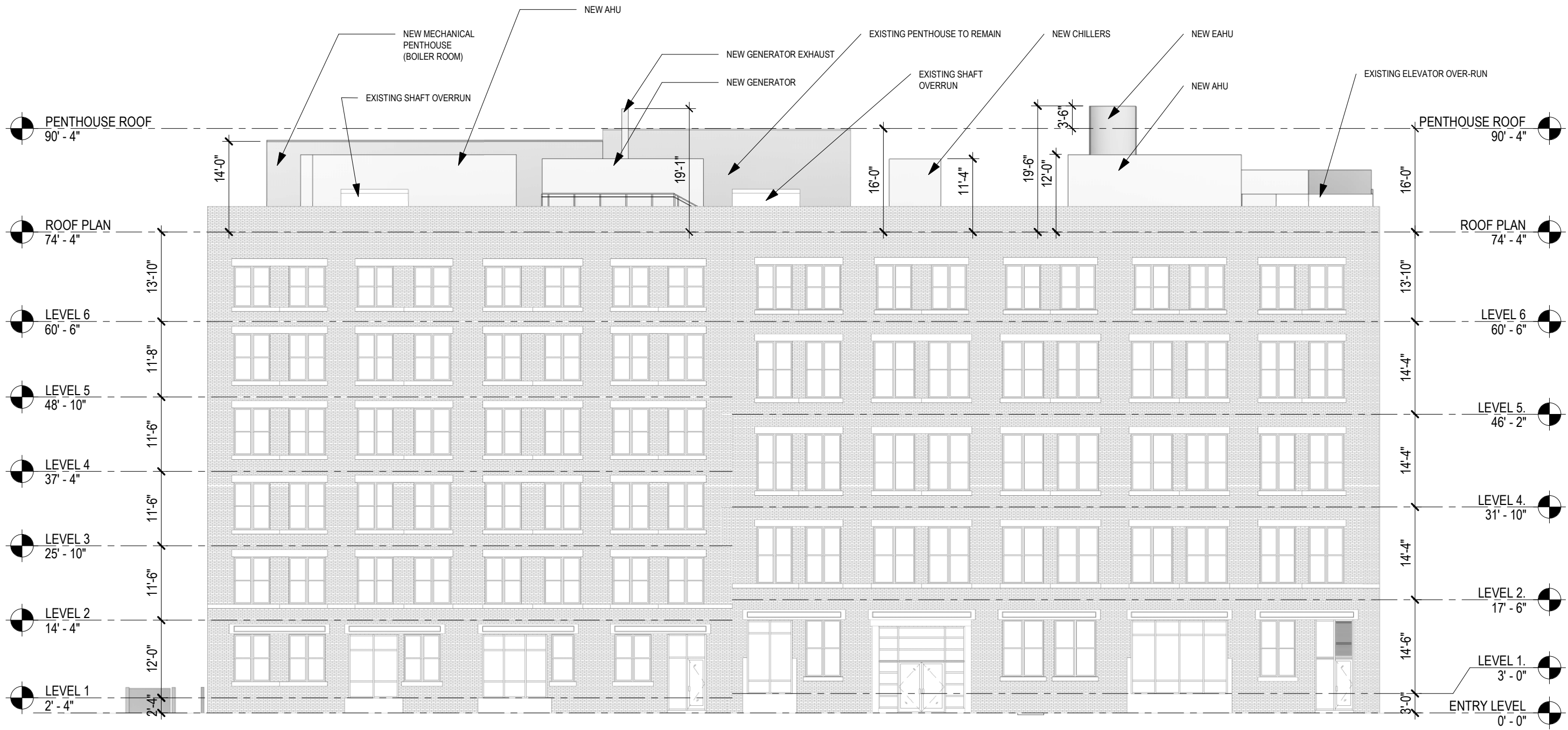


1/16" = 1'-0" 12

EXISTING REAR ELEVATION







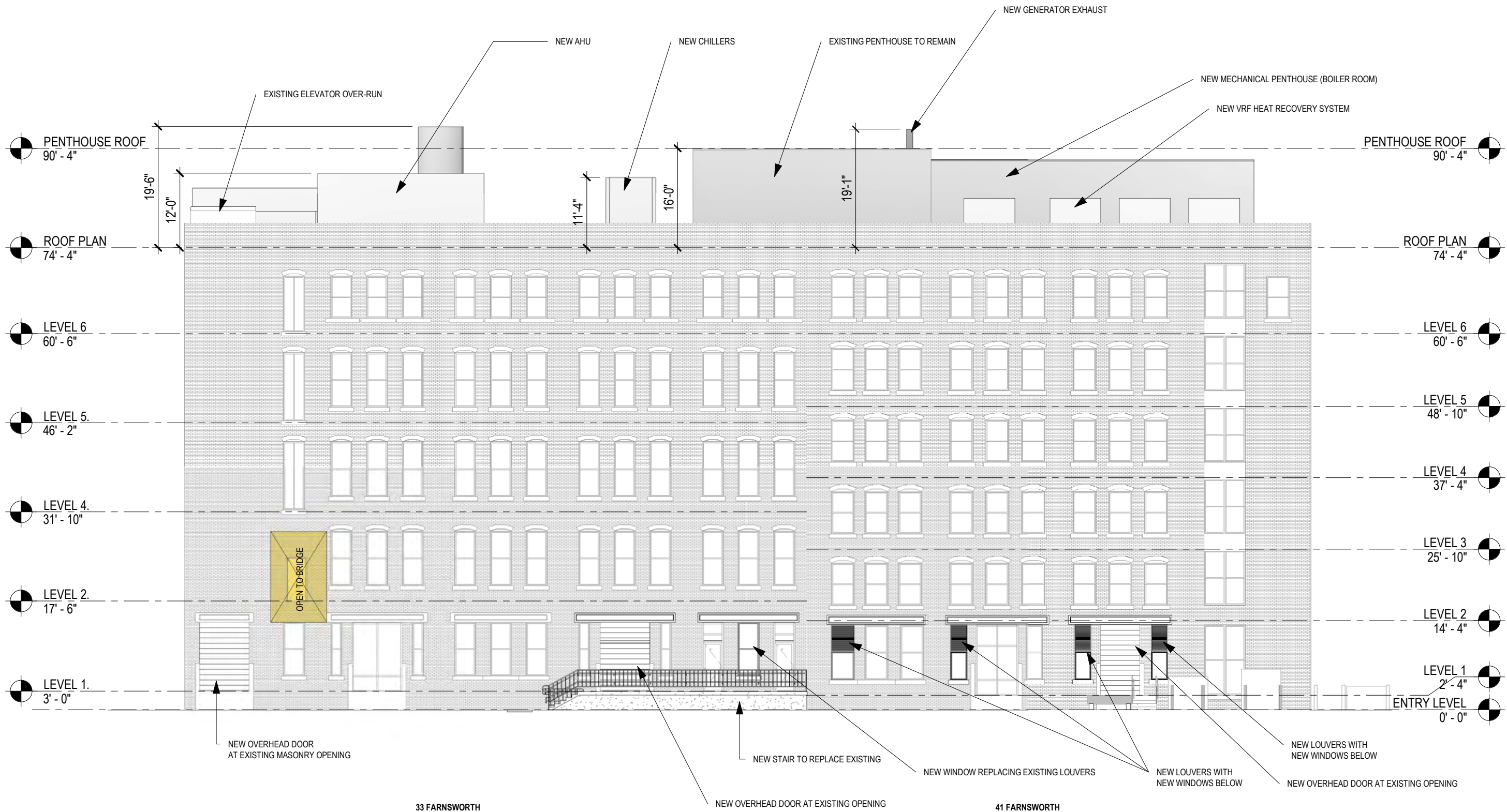
41 FARNSWORTH

33 FARNSWORTH

1/16" = 1'-0" 11

PROPOSED FRONT ELEVATION

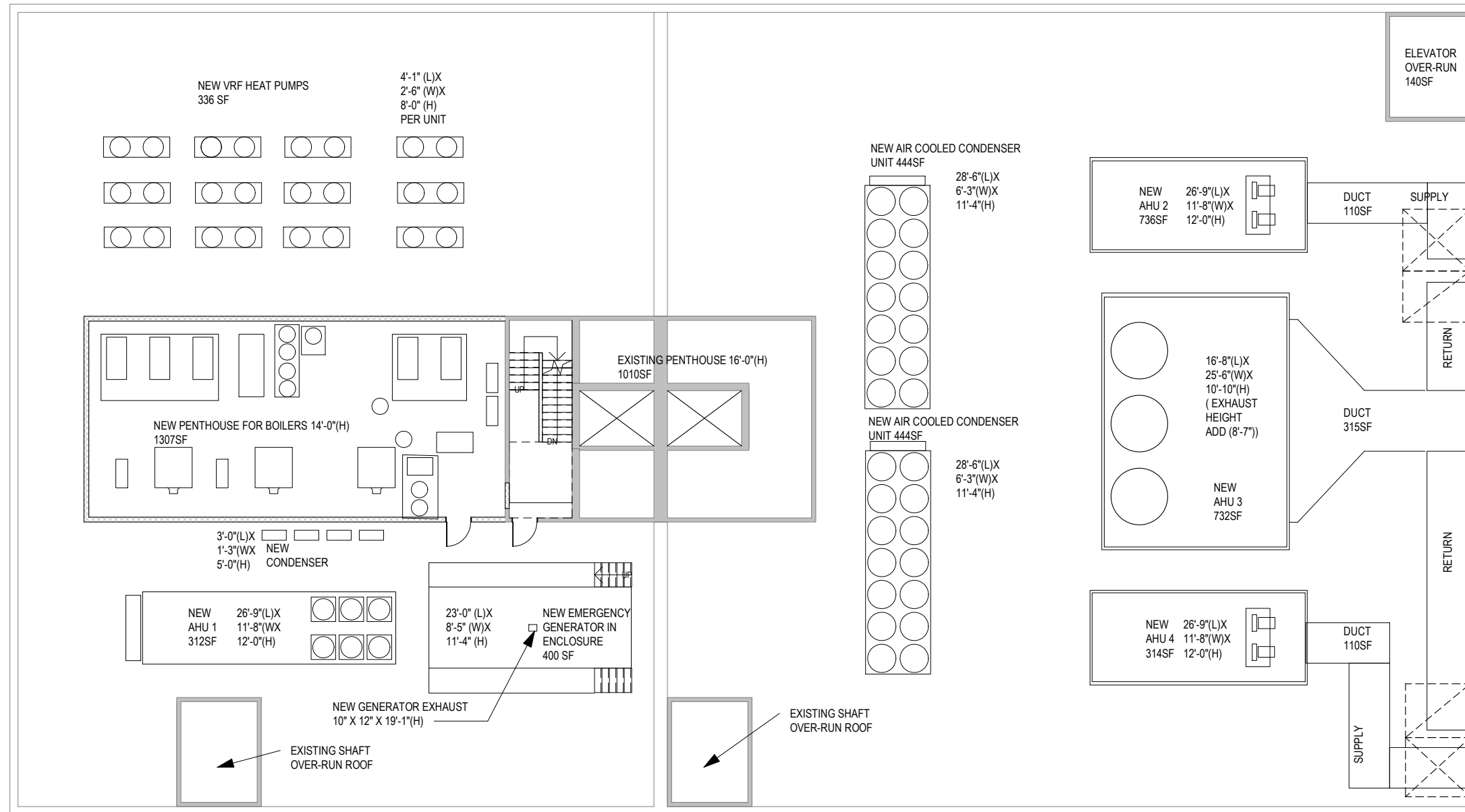




1/16" = 1'-0" 13

PROPOSED REAR ELEVATION





1/16" = 1'-0"









# 33-41 Farnsworth Rooftop Equipment Visibility Review

Note: The numbers represent different locations where pictures were taken. These numbers correspond to the pictures on the following pages.



Seaport Blvd

Congress Street

Farnsworth Street

Private Alley

Thomson Place

Stillings Street

Boston Wharf Road

9

8

3

7

6

5



4

2

1

10



1

View from the intersection of Calvin Pl, Stillings St & Autumn Ln – ~350 ft. from 33-41 Farnsworth



1

Proposed View from the intersection of Calvin Pl, Stillings St & Autumn Ln – ~350 ft. from 33-41 Farnsworth



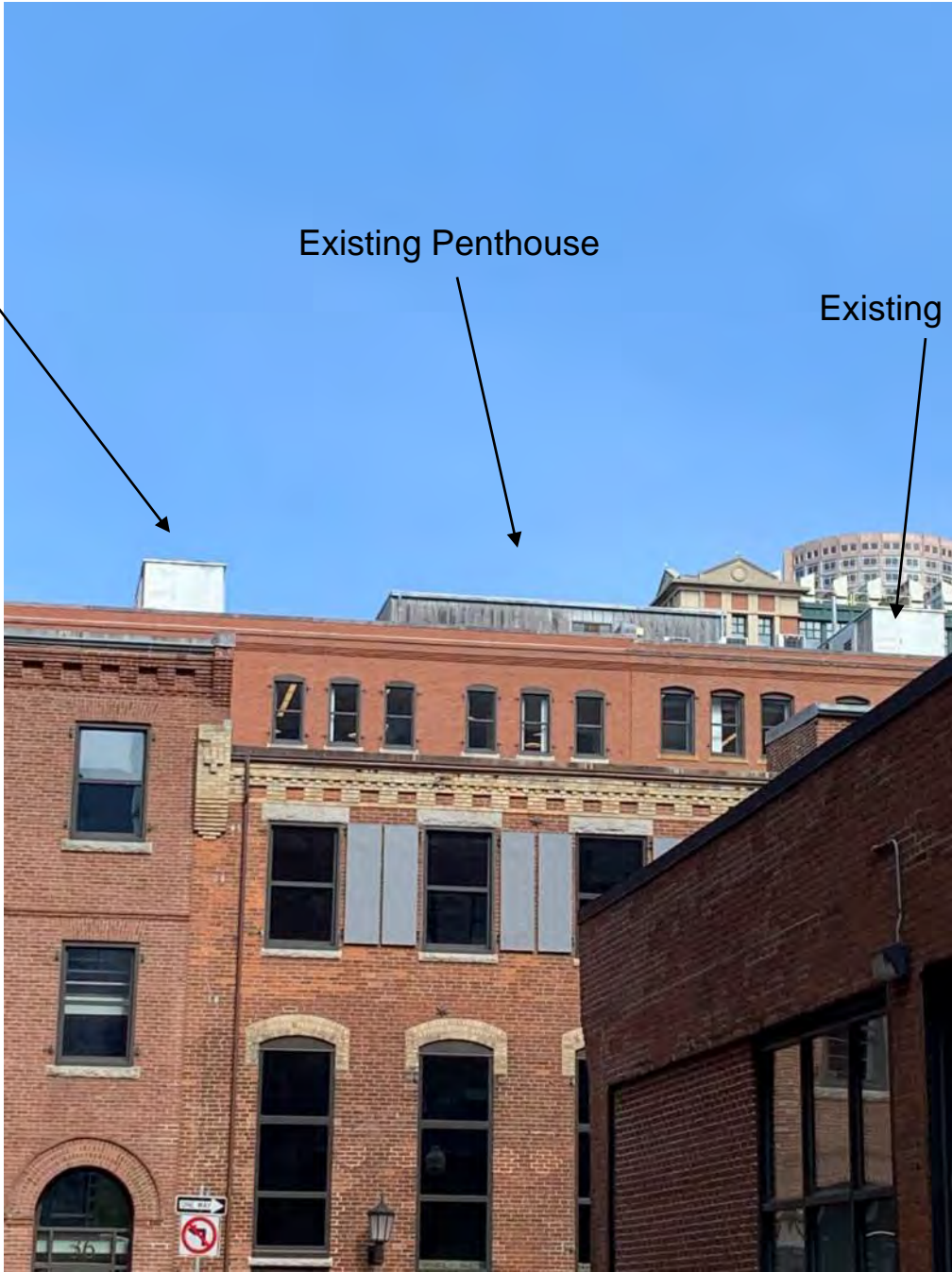
2

View from the middle of Calvin Pl, between Stillings St & Thomson Pl – ~260 ft. from 33-41 Farnsworth & View from Corner of Calvin Pl & Thomson Pl

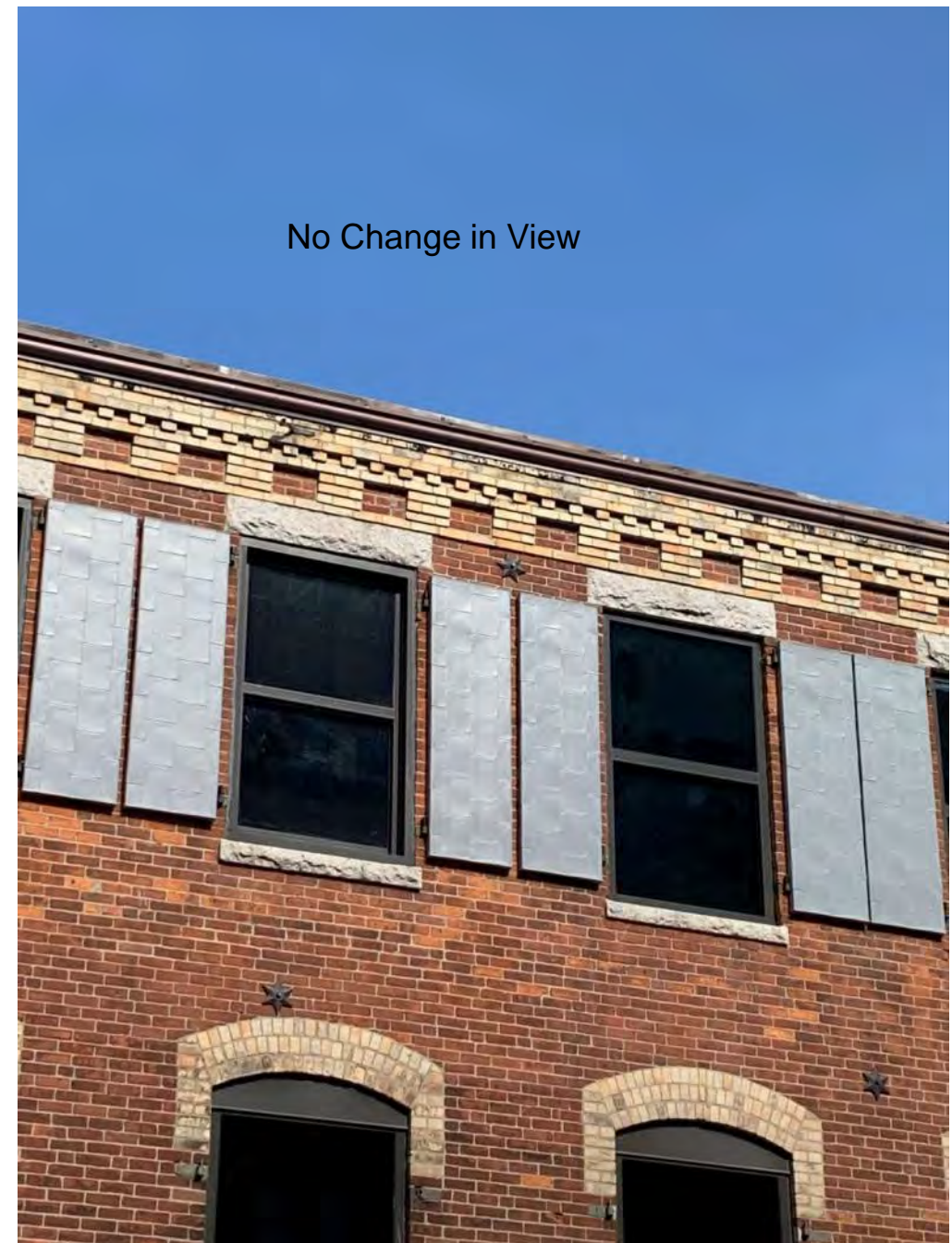
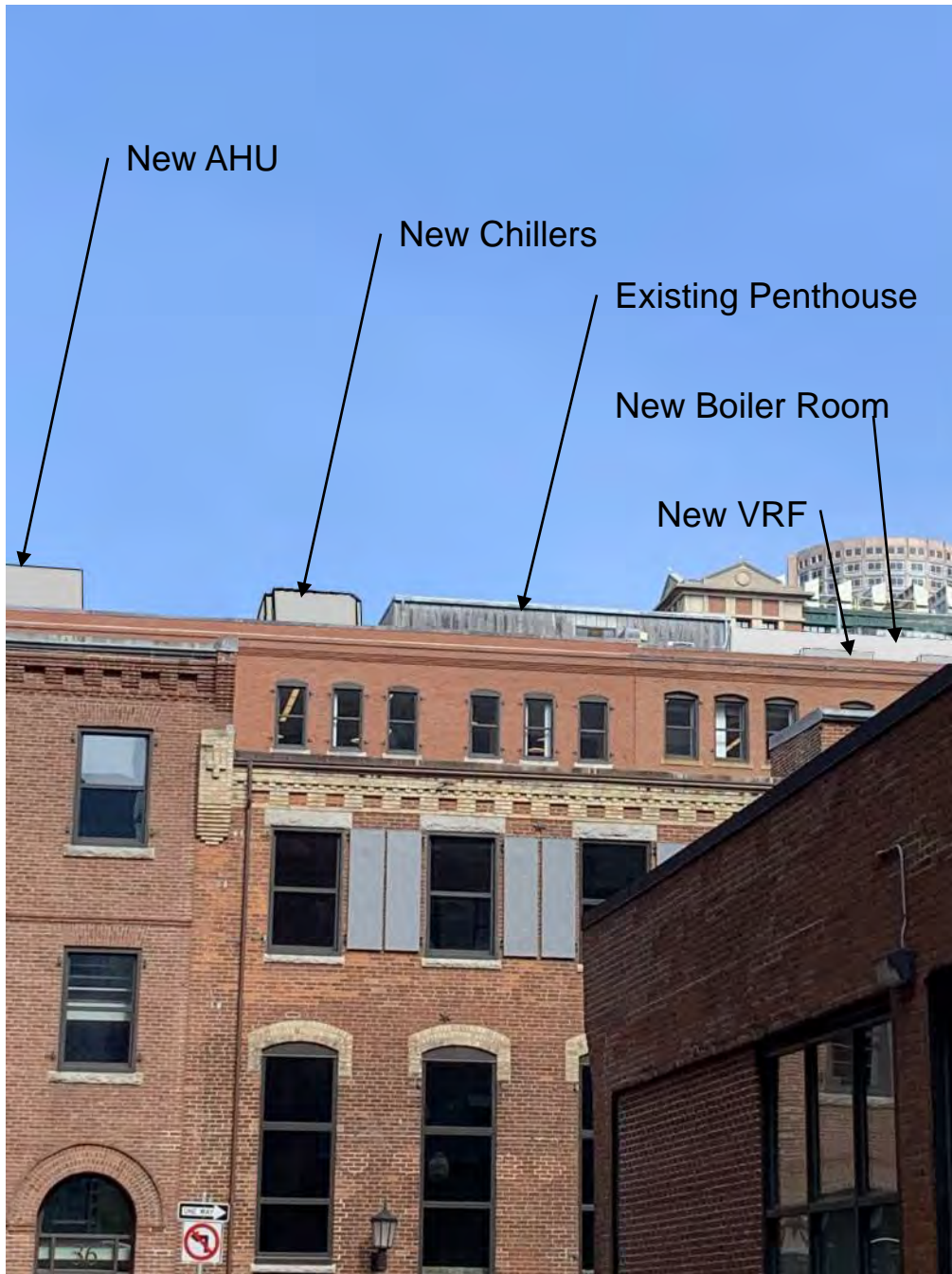
Existing RTU

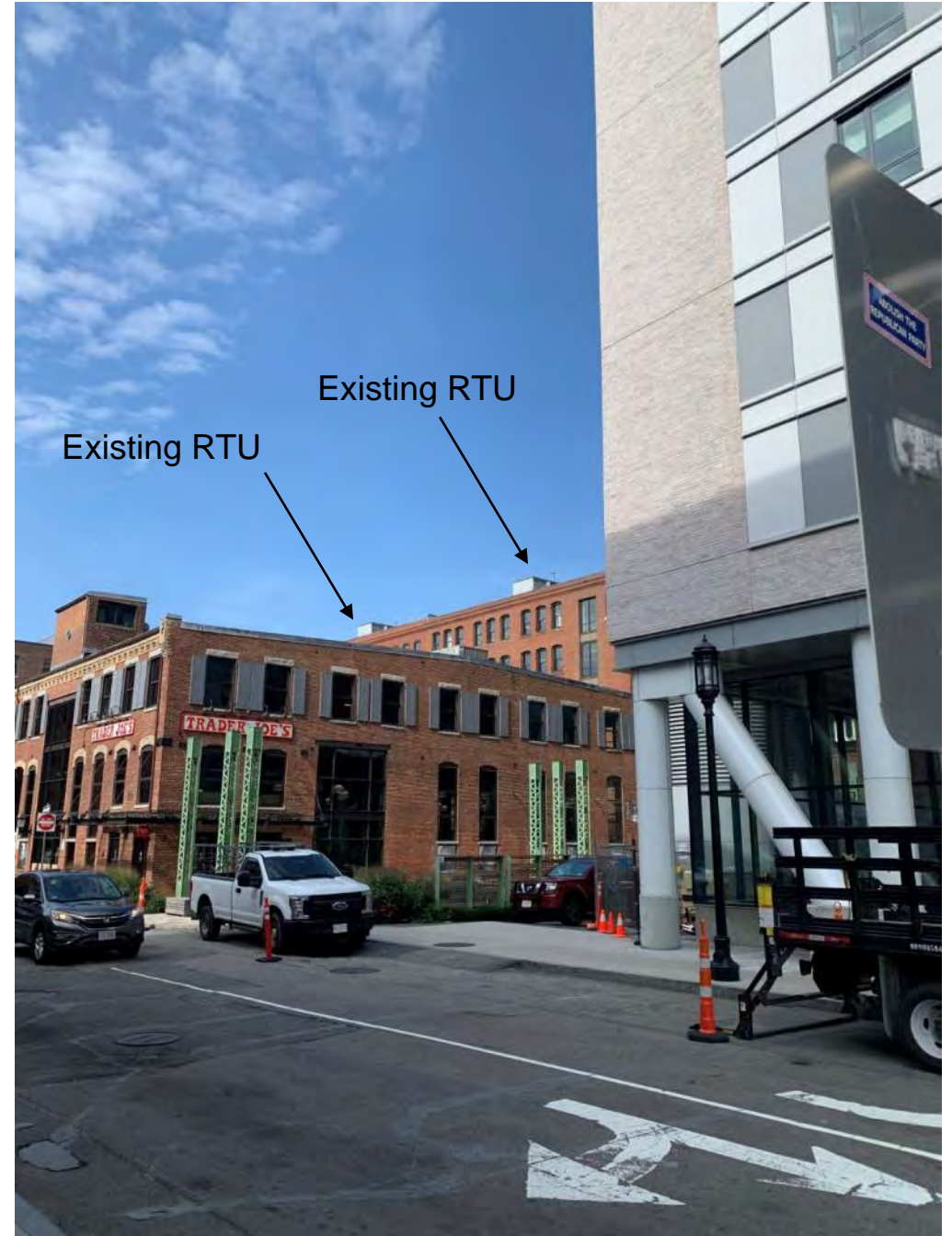
Existing Penthouse

Existing RTU



Proposed View from the middle of Calvin Pl, between Stillings St & Thomson Pl – ~260 ft. from 33-41 Farnsworth & View from Corner of Calvin Pl & Thomson Pl







4

View from the middle of Farnsworth St – ~18 ft. from 33-41 Farnsworth



No Change in View

5

View from the front of 33-41 Farnsworth St – ~21 ft. from 33-41 Farnsworth



No Change in View



6

View from the middle of the private parking lot directly across from 33-41 Farnsworth St – ~88 ft. from 33-41 Farnsworth



No Change in View

7

View from the back of the private parking lot directly across from 33-41 Farnsworth St – ~132 ft from 33-41 Farnsworth



Proposed View from the back of the private parking lot directly across from 33-41 Farnsworth St –  
~132 ft from 33-41 Farnsworth



Proposed View from the back of the private parking lot directly across from 33-41 Farnsworth St – ~132 ft from 33-41 Farnsworth (With 4 story building on parking lot)





Proposed View from the end of Farnsworth St closest to Seaport Blvd – ~126 ft. from 33-41 Farnsworth



Proposed View from the end of Farnsworth St closest to Seaport Blvd – ~126 ft. from 33-41 Farnsworth (with additional 2 story addition)







Proposed View from the North side of Seaport Blvd – ~253 ft. from 33-41 Farnsworth





No Change in View

# Historic Building Plans – Rear Elevation



33 Farnsworth Street



41 Farnsworth Street

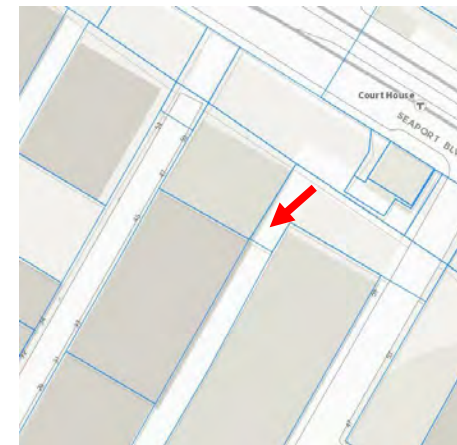
# Existing Conditions – Rear Elevation

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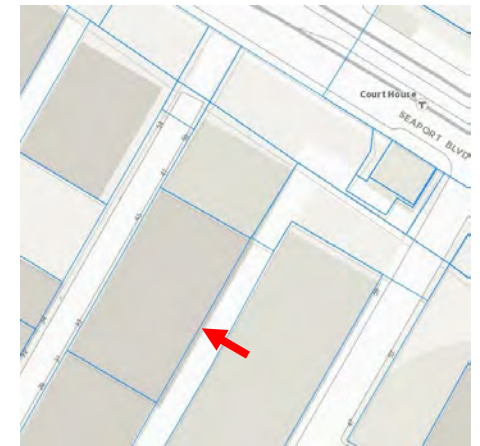
# Existing Conditions – Rear Elevation Details

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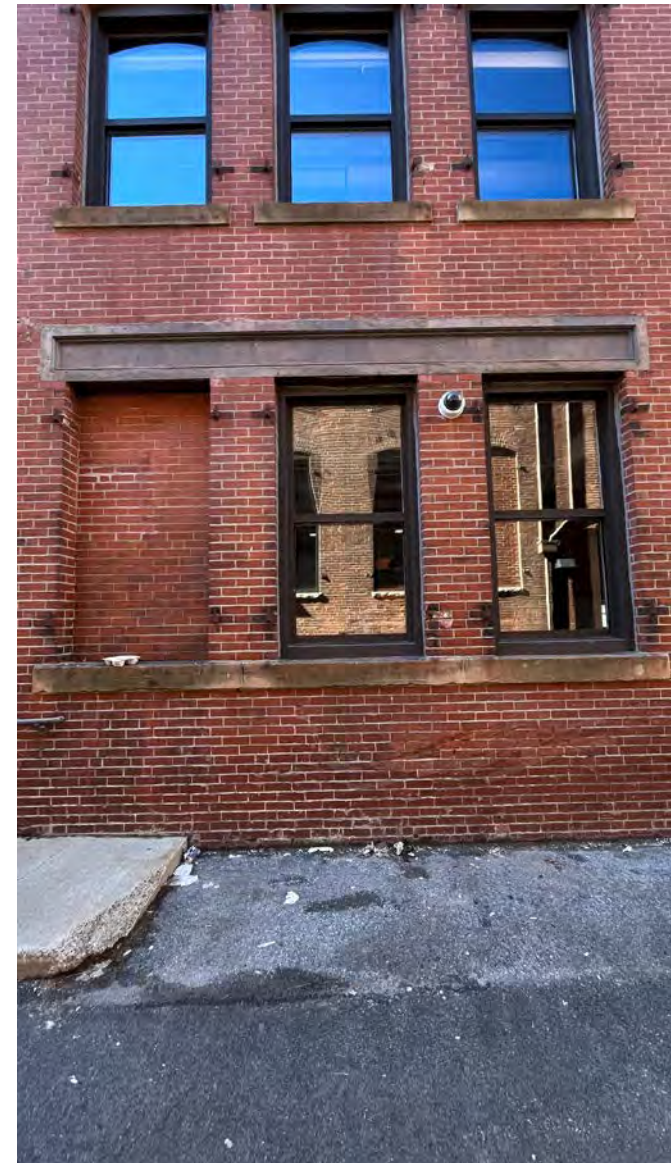
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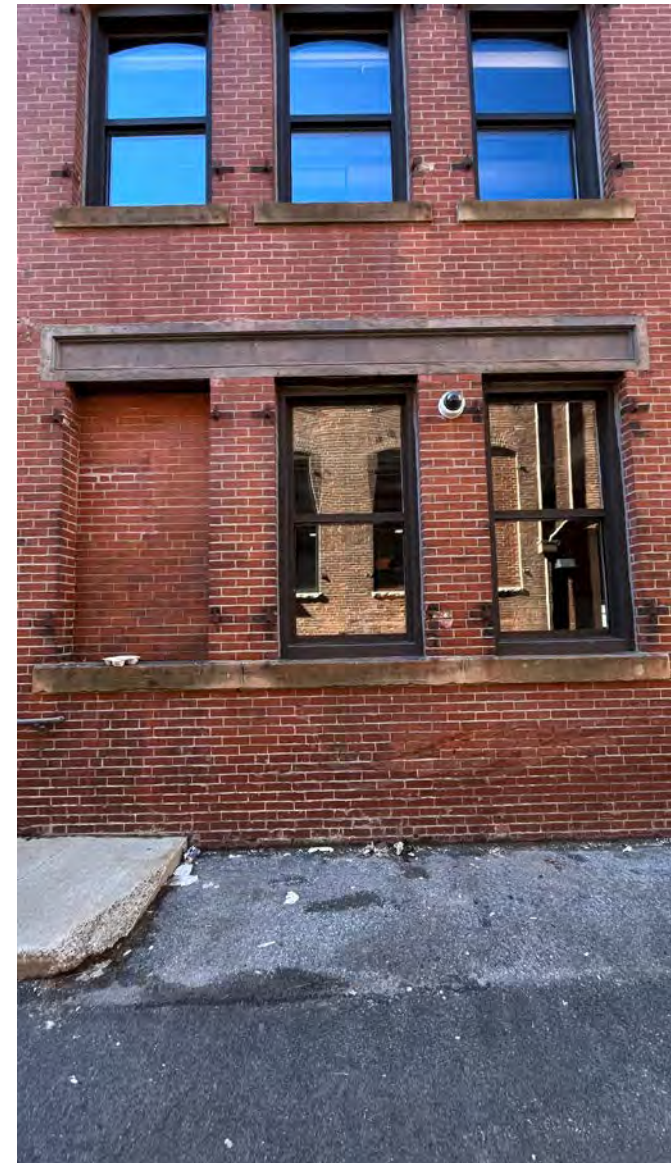
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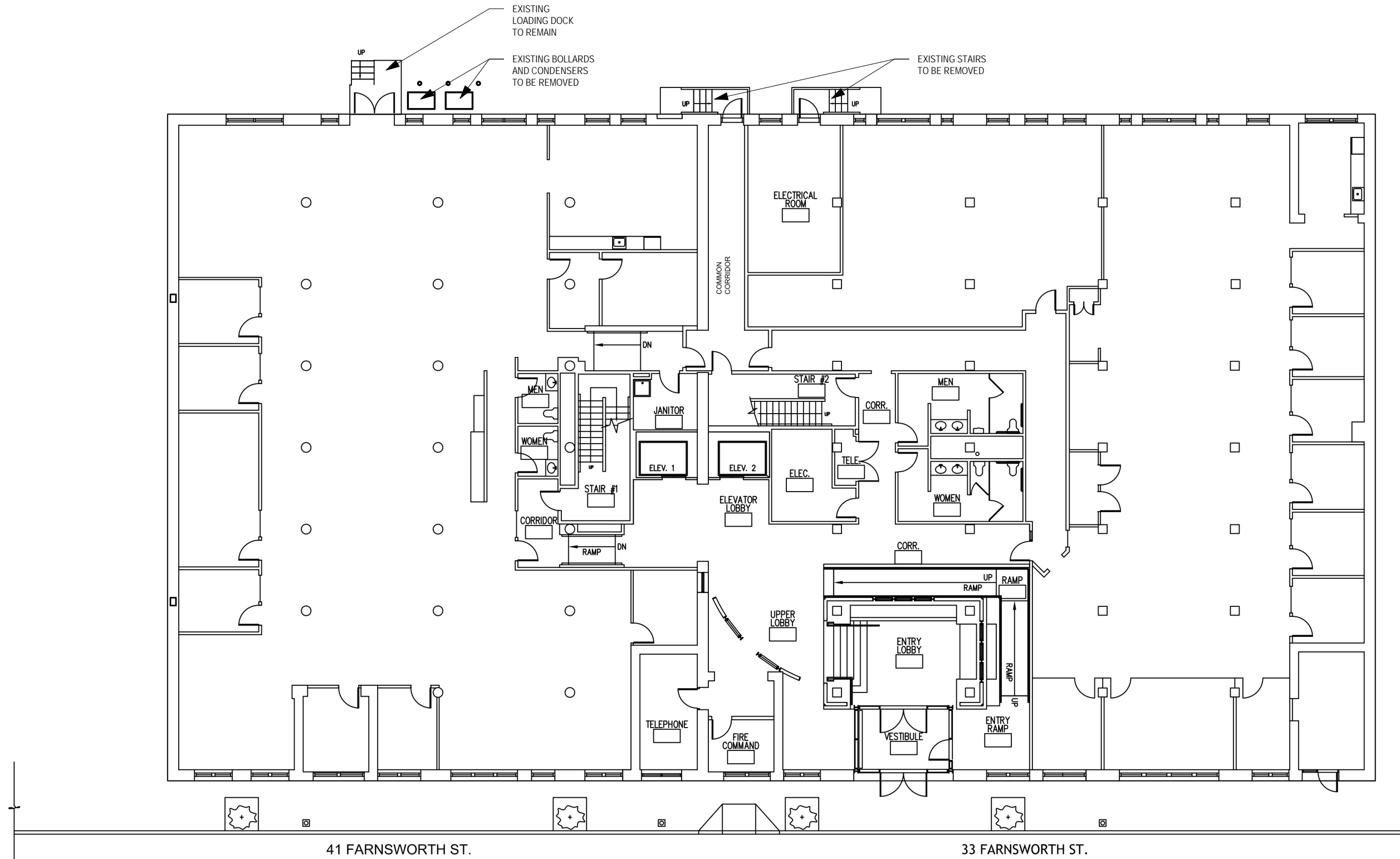


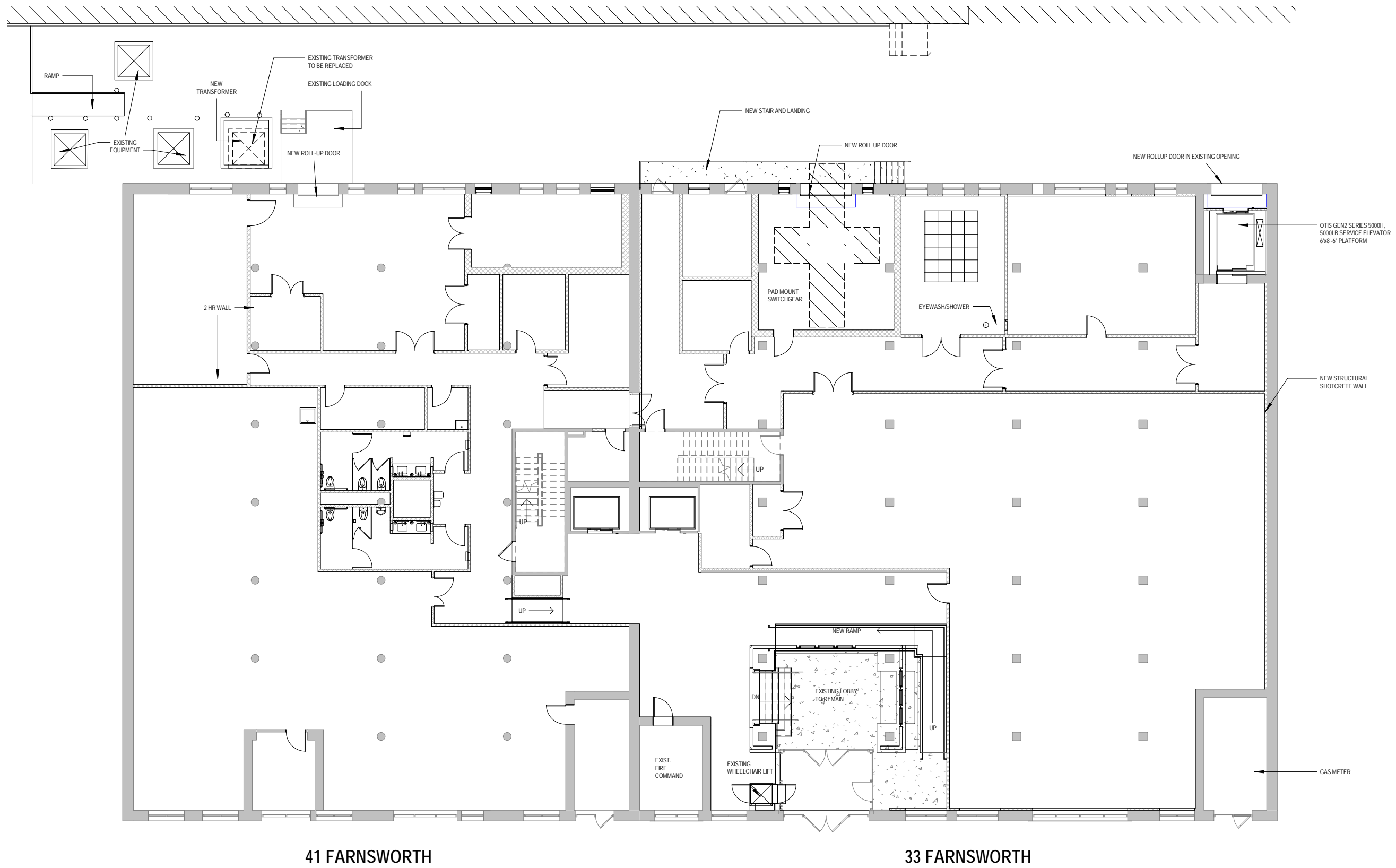


# Existing Conditions – Rear Elevation Details

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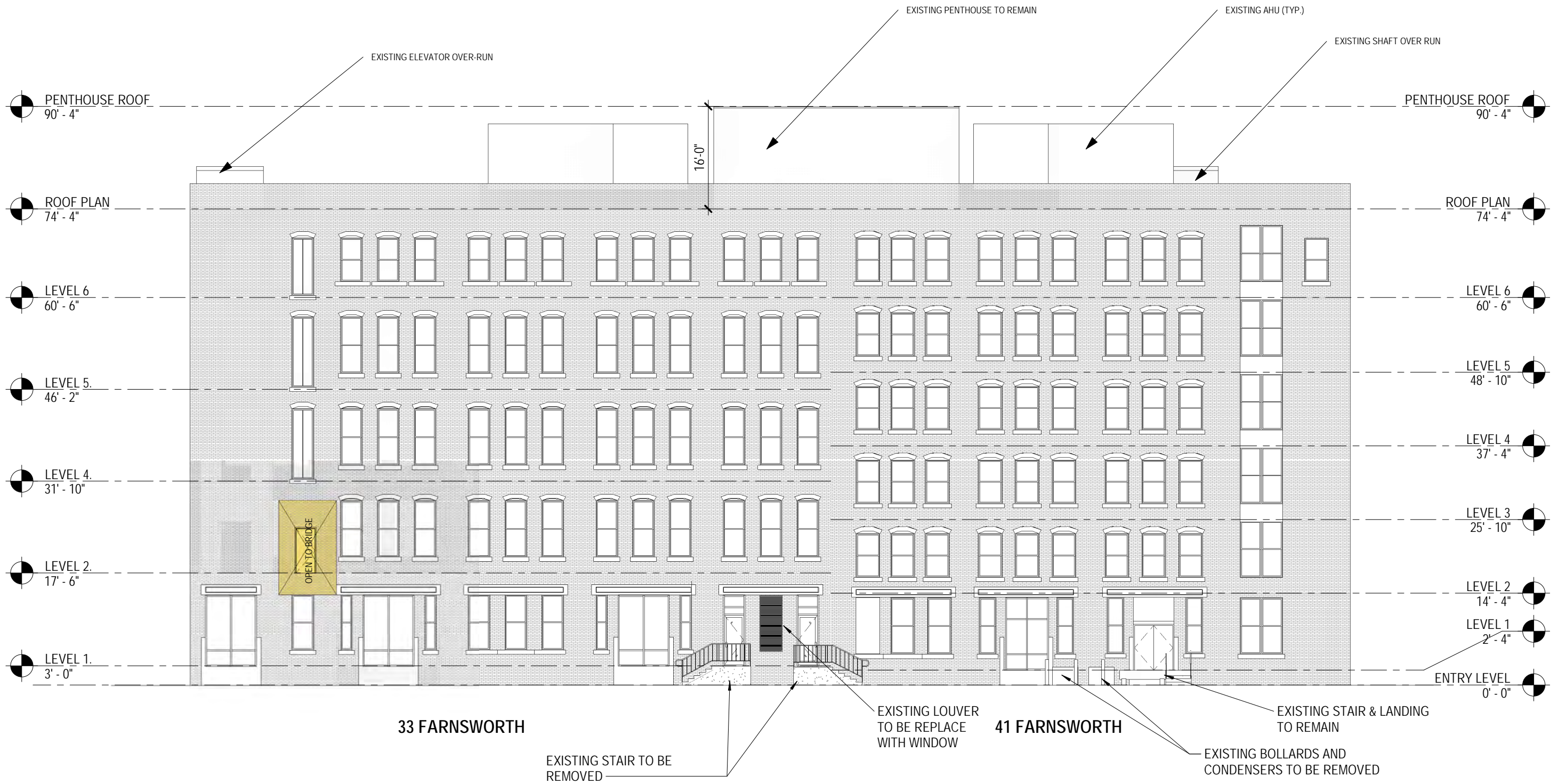
41 FARNSWORTH

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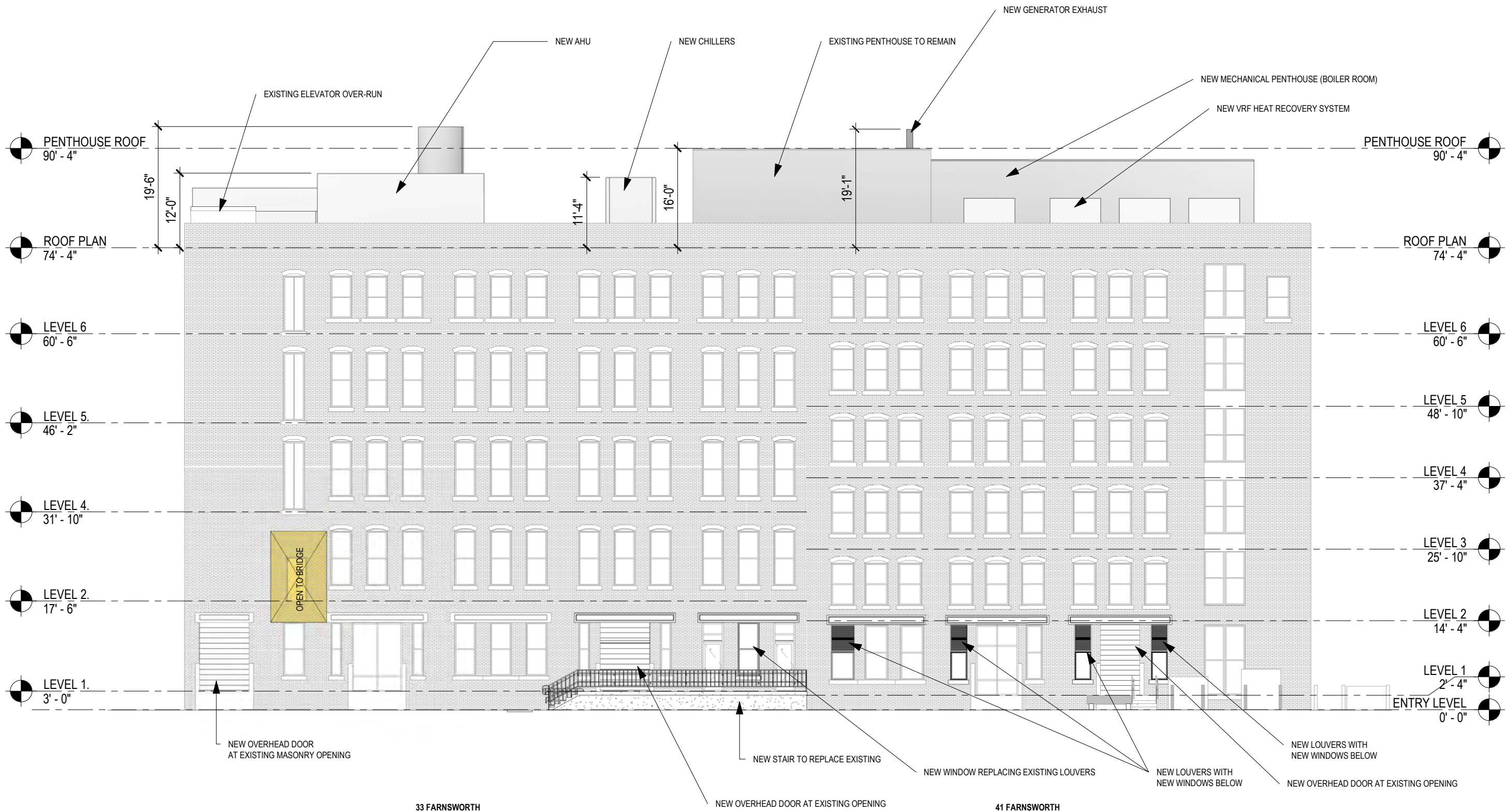
3

PROPOSED LEVEL 1 PLAN



1/16" = 1'-0" 12

EXISTING REAR ELEVATION



1/16" = 1'-0" 13

PROPOSED REAR ELEVATION

# Neighborhood Study - Louvers

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# Neighborhood Study – Rooftop Equipment



# Neighborhood Study – Loading Bays

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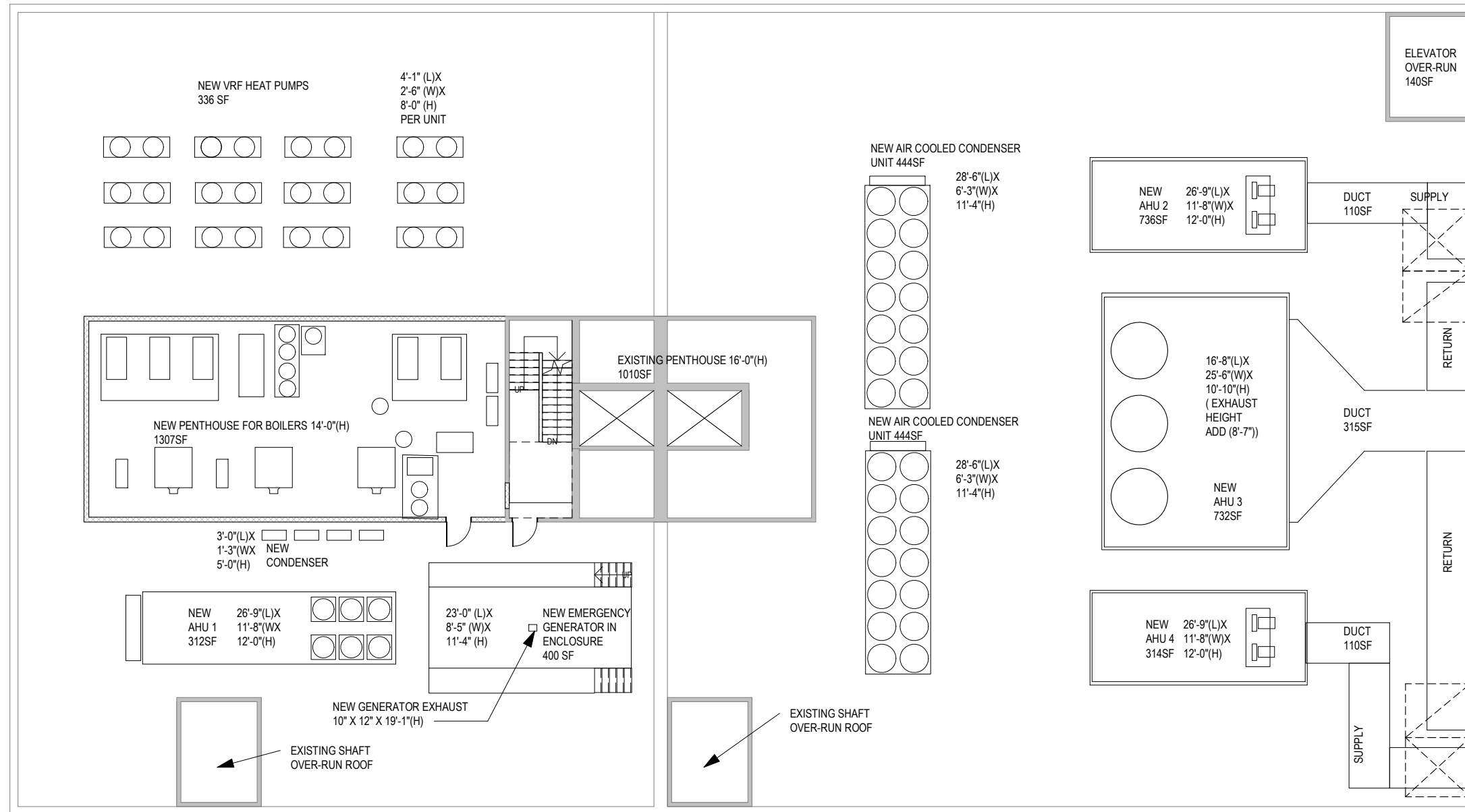




# Neighborhood Study – Railings

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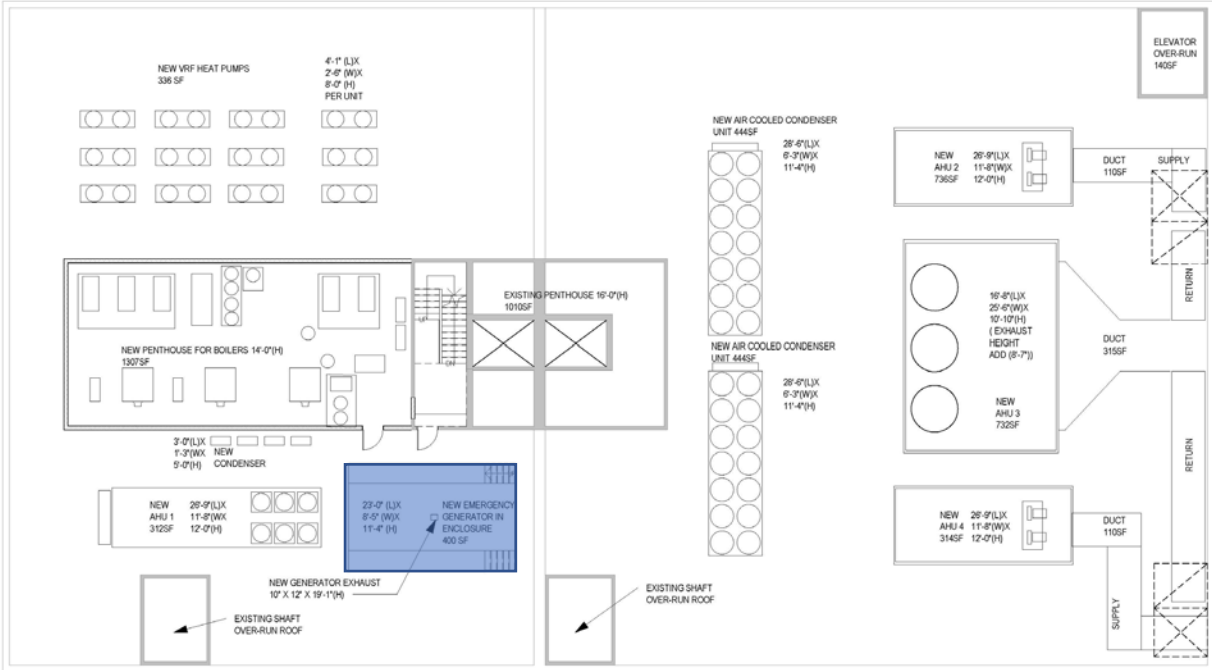


1/16" = 1'-0"

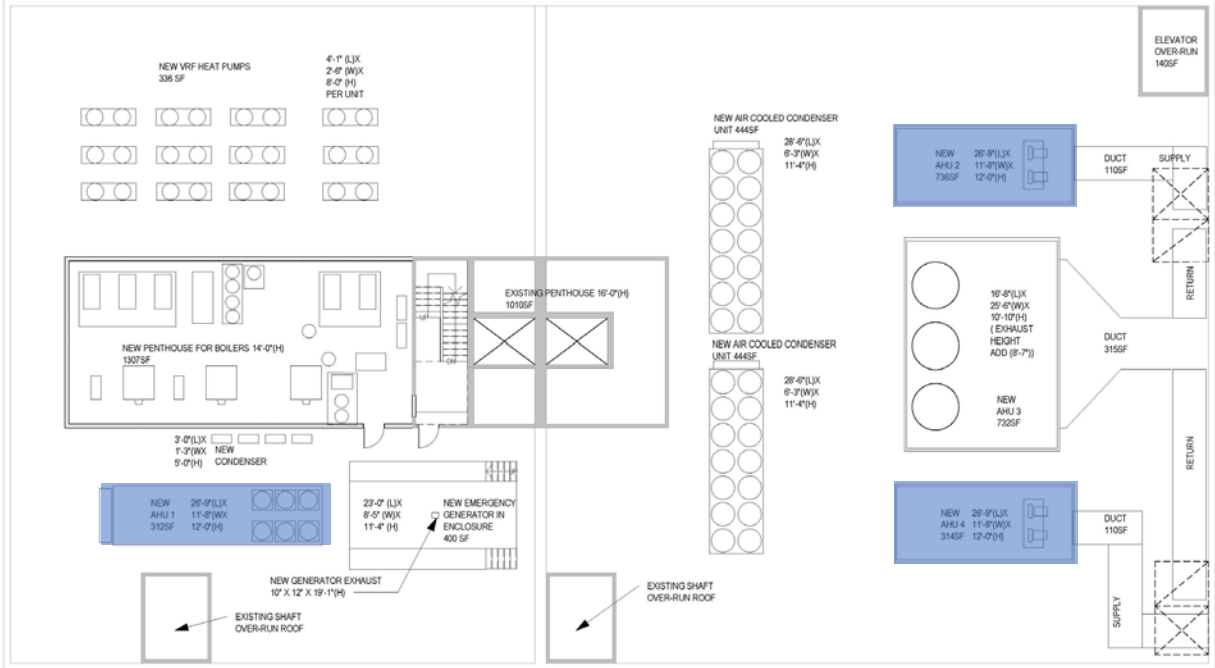
# Rooftop Equipment Examples



Emergency Generator



# Rooftop Equipment Examples

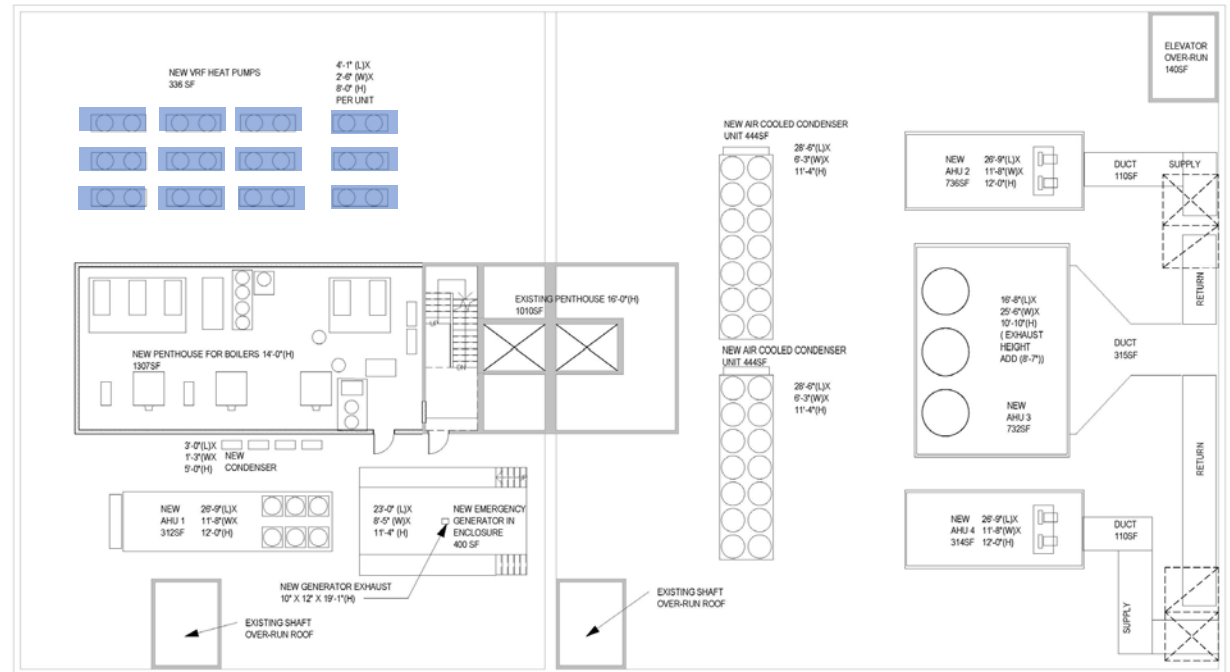


Air Handling Units

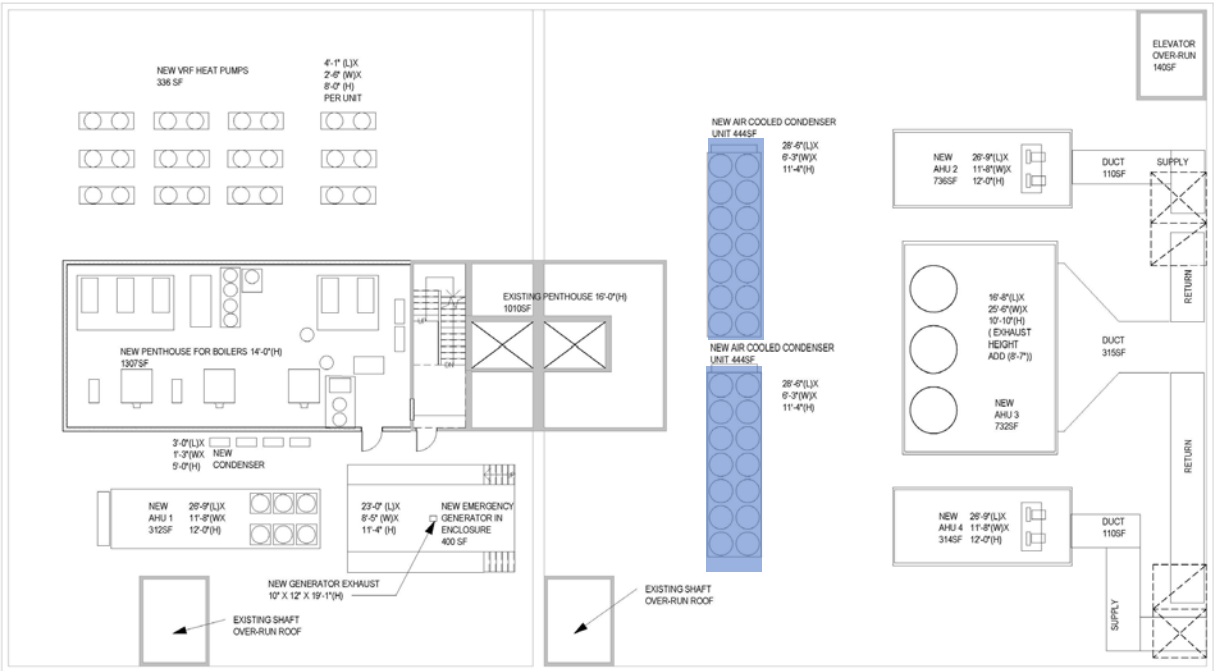
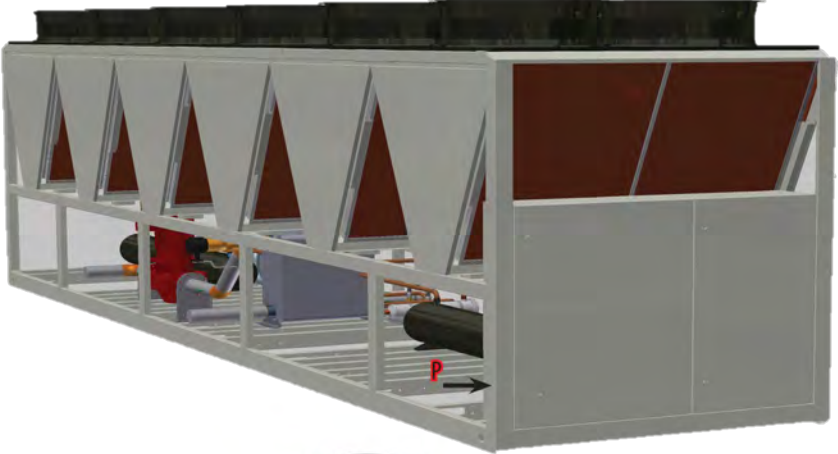
# Rooftop Equipment Examples



VRF Heat Pumps



# Rooftop Equipment Examples



Air Cooled Condenser Units

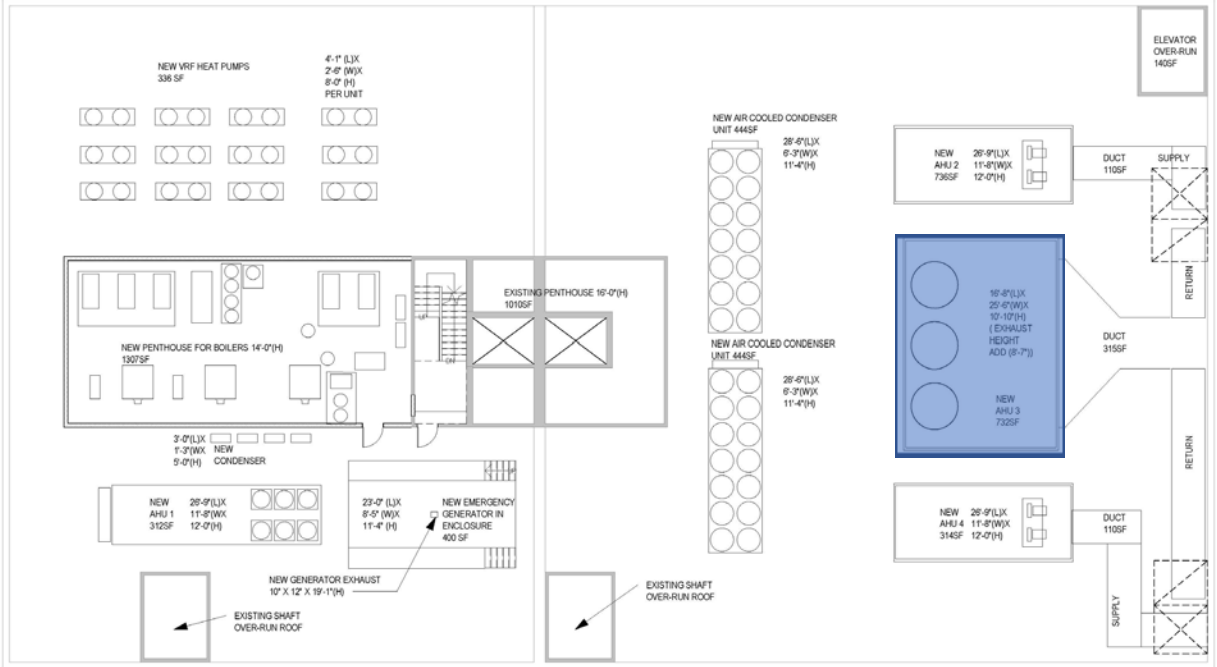
# Rooftop Equipment Examples



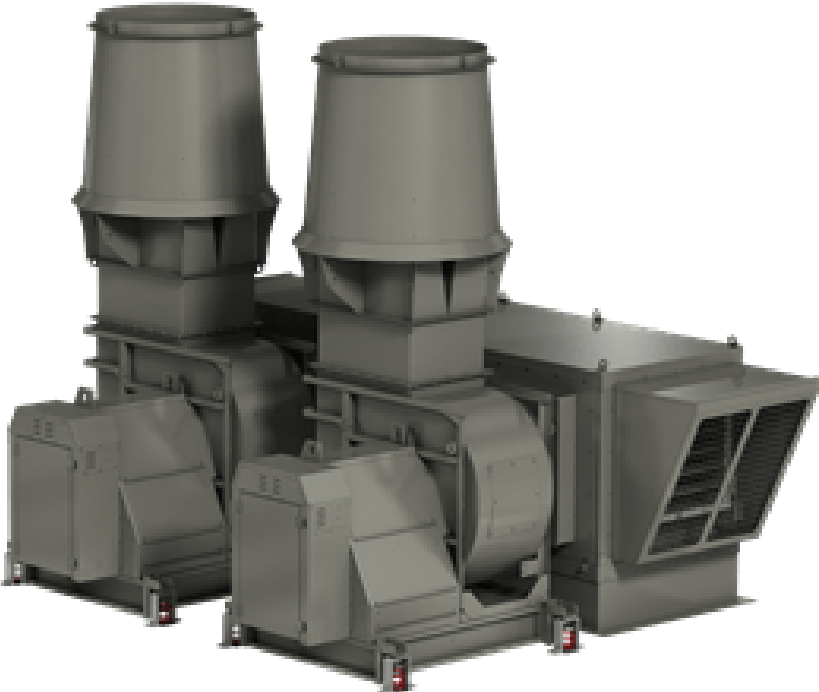
Side Supply Discharge

Side Return Intake

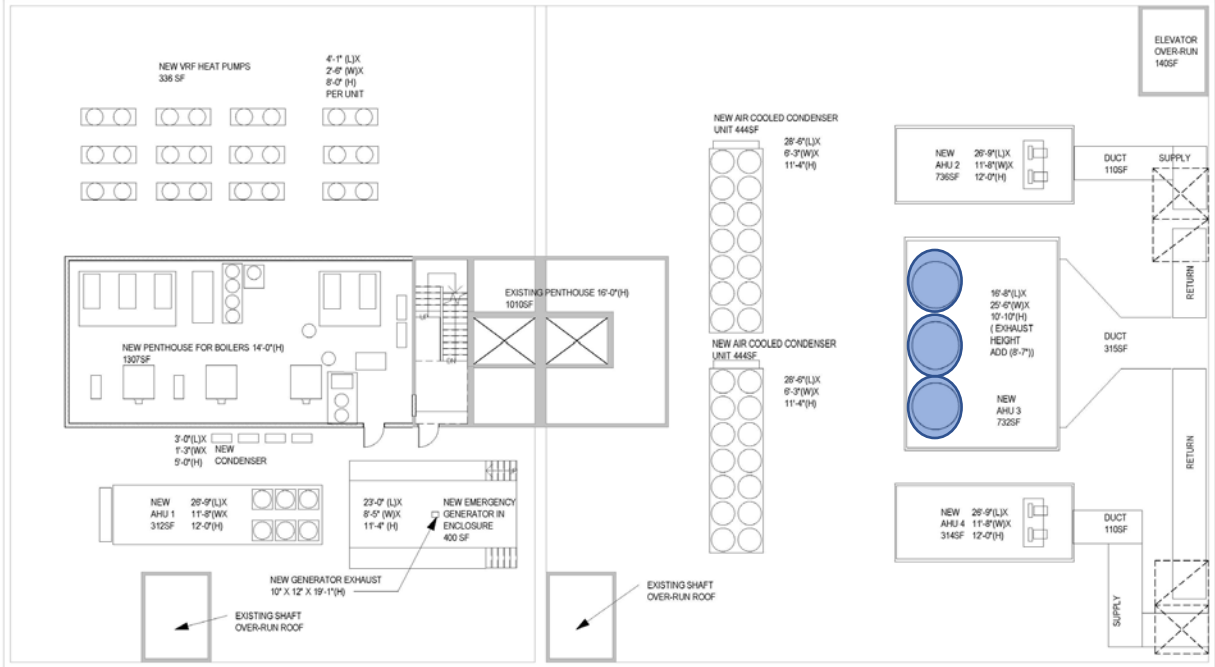
EAHU



# Rooftop Equipment Examples



Exhaust





# Rooftop Equipment Examples



SRC63ZE-S1, SRC71ZE-S1

Condensers

