

May 3, 2022

Nicholas Moreno
Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02201

Re: Burroughs Wharf Waterfront Repairs – Request for Amendment to the Order of Conditions

Dear Mr. Moreno,

On behalf of our Client, Burroughs Wharf Condominium Trust, we are requesting an Amendment to the Order of Conditions for the Waterfront Repairs at Burroughs Wharf in Boston, MA (DEP File # 006-1844, BOS File # 2022-006). The project location is 50 Battery Street on Burroughs Wharf on Boston Harbor. The project consists of repairing the jacketing of the existing piles on the South, Central, and Northern Wharves with concrete leave-in-place fiberglass jackets; replacing an existing floating dock in-kind; and cleaning and patching spalls on the concrete deck, beams, and pile caps.

We are requesting the Order of Conditions be Amended to change the jacketing method from form fitting H-pile shaped jackets with a 1 inch (min) epoxy fill to cylindrical jackets with 3 inch (min) concrete fill beyond the edges of the pile. The pile jackets themselves will remain fiberglass. Additionally, it has been decided that the piles will extend full length down to the mudline. In our original NOI Application, we presented two length options for the jackets; one extending down to the mudline, and one down to -4' (MLW).

An additional change to the project is the addition of replacing an existing timber landing located at the top of the gangway for the floating dock to be replaced. This replacement will be in-kind except for the material type to be used for the decking which will be a composite decking material rather than timber like the existing structure. As part of this repair the two existing timber piles supporting the timber landing will be removed and replaced in-kind.

The resource area impact for the pile jackets will be changing. The Land Under Ocean impact will change from 98 SF to 450 SF. This is due to the cylindrical jackets taking up a greater cross-sectional area than the form fitting H-Pile shaped jackets. However, we are confident this

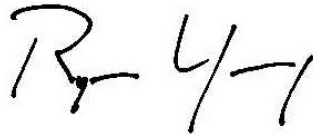
option will produce a greater final product, additional protection, and leave less chance for poor QC and inadvertent ecological impact due to improper fit and finish when filling the jackets. The Land Subject to Coastal Storm Flowage will remain unchanged at 8 SF as no additional cap or beam repairs are proposed at this time. Please note that with these changes no additional piles will be driven with the exception of the two timber piles replacing the older deteriorated piles for the timber landing. However, there will be no additional resource area impact as these two piles will be replaced in-kind. Additionally, these piles will be driven to the same depth as the existing timber piles by noting the pile length when pulling these piles.

Enclosed please find the issued and recorded Order of Conditions, copies of the stamped plans with the changes proposed above, updated project narrative, Abutters List, Affidavit of Service, and Abutter Notification.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at youngr@childseng.com.

Respectfully submitted,

CHILDS ENGINEERING CORPORATION



Ryan P. Young

cc: Division of Marine Fisheries – North Shore Office



From: [Mary Klein](#)
To: ["forest.schenck@state.ma.us"](mailto:forest.schenck@state.ma.us)
Cc: [Ryan Young](#); [Charlie Roberts](#)
Subject: Burroughs Wharf Amendment
Date: Wednesday, May 4, 2022 3:54:00 PM
Attachments: [Amendment-006-1844 Pile Jacketing - Burroughs Wharf.pdf](#)

Good Afternoon,

On behalf of Ryan Young who is in the field, attached please find the a PDF for the Burroughs Wharf Waterfront Repairs – Request for Amendment to the Order of Conditions.

If you have any questions or comments, please respond to Ryan via email.

Thank you kindly,

Mary

Mary N. Klein
Office Manager

Childs Engineering Corporation
[34 William Way](#)
[Bellingham, MA 02019](#)
(508) 966 9092 Main x221
www.childseng.com

Issued and Recorded Order of Conditions



City of Boston
Environment



CITY of BOSTON
Conservation Commission

February 17, 2022

Ryan Young
Childs Engineering Corporation
34 William Way
Bellingham, MA 02019

CERTIFIED MAIL: 7021 2720 0000 1257 0358

RE: Notice of Intent for DEP File No. 006-1844 and BOS File No. 2022-006 from Childs Engineering on behalf of the Burroughs Wharf Condominium Trust for the proposed pile and underdeck repairs and replacement of guide piles and a floating dock located at 50 Battery St, North End, Boston, MA (LUO, LSCSF)

Dear Mr. Young,

Pursuant to the Massachusetts Wetlands Protection Act, General Laws, Chapter 131, Section 40 and Boston Wetlands Ordinance, Boston City Code, Ordinances, Chapter 7-1.4, I have enclosed the Order of Conditions ("the Order") for the above referenced project. Please arrange to have the Order recorded at the Suffolk County Registry of Deeds in accordance with General Condition 9. Work on the project may not begin until the Boston Conservation Commission receives the completed Recording Information form.

In accordance with General Condition 12 of the Order, upon completion of the project a Request for a Certificate of Compliance (WPA Form 8A), must be filed with the Commission stating that the work has been satisfactorily completed. If the project filing included plans stamped by a registered professional engineer, architect, landscape architect or land surveyor a written statement by such professional must accompany the Certificate request confirming that the project has been completed in substantial compliance with the plans and the conditions of the Order.

Please make certain that all contractors and workers involved in the project review the permit conditions as required. Please also ensure that the prior to construction requirements listed in the Order are satisfied prior to the start of work.

If you should have any questions regarding the enclosed Order of Conditions you may contact Boston Conservation Commission Staff at cc@boston.gov or 617-635-3850.

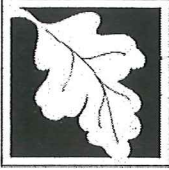
For the Commission,

Nicholas Moreno, Executive Director
Boston Conservation Commission

Enclosure: WPA Form 5

cc: DEP NERO

CITY of BOSTON



Massachusetts Department of Environmental Protection

eDEP Transaction Copy

Here is the file you requested for your records.

To retain a copy of this file you must save and/or print.

Username: **SMACARI**

Transaction ID: **1347179**

Document: **WPA Form 5 - OOC**

Size of File: **135.51K**

Status of Transaction: **In Process**

Date and Time Created: **2/17/2022:11:17:17 AM**

Note: This file only includes forms that were part of your transaction as of the date and time indicated above. If you need a more current copy of your transaction, return to eDEP and select to "Download a Copy" from the Current Submittals page.

Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 MassDEP File #:006-1844
 eDEP Transaction #:1347179
 City/Town:BOSTON

A. General Information

1. Conservation Commission BOSTON

2. Issuance a. OOC b. Amended OOC

3. Applicant Details

a. First Name	JIM	b. Last Name	RICHARD
c. Organization	BURROUGHS WHARF CONDOMINIUM TRUST		
d. Mailing Address	50 BATTERY STREET		
e. City/Town	BOSTON	f. State	MA
		g. Zip Code	02109

4. Property Owner

a. First Name	JIM	b. Last Name	RICHARD
c. Organization	BURROUGHS WHARF CONDOMINIUM TRUST		
d. Mailing Address	50 BATTERY STREET		
e. City/Town	BOSTON	f. State	MA
		g. Zip Code	02109

5. Project Location

a. Street Address	50 BATTERY STREET		
b. City/Town	BOSTON	c. Zip Code	02109
d. Assessors Map/Plat#	03	e. Parcel/Lot#	3040
f. Latitude	42.36640N	g. Longitude	71.04955W

6. Property recorded at the Registry of Deed for:

a. County	b. Certificate	c. Book	d. Page
SUFFOLK		18459	102

7. Dates

a. Date NOI Filed : 1/12/2022 b. Date Public Hearing Closed: 2/2/2022 c. Date Of Issuance: 2/17/2022

8. Final Approved Plans and Other Documents

a. Plan Title:	b. Plan Prepared by:	c. Plan Signed/Stamped by:	d. Revised Final Date:	e. Scale:
NORTH WHARF REPAIR PLAN	CHILDS ENGINEERING	CHARLES ROBERTS	01/07/2022	1=10
SOUTH WHARF REPAIR PLAN	CHILDS ENGINEERING	CHARLES ROBERTS	01/07/2022	1=10

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act
 Following the review of the the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act.

Check all that apply:

a. <input type="checkbox"/> Public Water Supply	b. <input checked="" type="checkbox"/> Land Containing Shellfish	c. <input checked="" type="checkbox"/> Prevention of Pollution
d. <input type="checkbox"/> Private Water Supply	e. <input checked="" type="checkbox"/> Fisheries	f. <input type="checkbox"/> Protection of Wildlife Habitat

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g. Ground Water Supply h. Storm Damage Prevention i. Flood Control

2. Commission hereby finds the project, as proposed, is:

Approved subject to:

a. The following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.

Denied because:

b. The proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**

c. The information submitted by the applicant is not sufficient to describe the site, the work or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**

3. Buffer Zone Impacts: Shortest distance between limit of project disturbance and the wetland resource area specified in 310CMR10.02(1)(a). _____
 a. linear feet

Inland Resource Area Impacts:(For Approvals Only):

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	_____	_____	_____	_____
	a. linear feet	b. linear feet	c. linear feet	d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	_____	_____	_____	_____
	a. square feet	b. square feet	c. square feet	d. square feet
6. <input type="checkbox"/> Land under Waterbodies and Waterways	_____	_____	_____	_____
	a. square feet	b. square feet	c. square feet	d. square feet
	_____	_____		
	e. c/y dredged	f. c/y dredged		
7. <input type="checkbox"/> Bordering Land Subject to Flooding	_____	_____	_____	_____
	a. square feet	b. square feet	c. square feet	d. square feet
Cubic Feet Flood Storage	_____	_____	_____	_____
	e. cubic feet	f. cubic feet	g. cubic feet	h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	_____	_____		
	a. square feet	b. square feet		

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Cubic Feet Flood Storage	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. cubic feet	d. cubic feet	e. cubic feet	f. cubic feet
9. <input type="checkbox"/> Riverfront Area	<u> </u>	<u> </u>		
	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	g. square feet	h. square feet	i. square feet	j. square feet

Coastal Resource Area Impacts:

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
10. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below			
11. <input checked="" type="checkbox"/> Land Under the Ocean	<u>98</u>	<u>98</u>		
	a. square feet	b. square feet		
	<u>0</u>	<u>0</u>		
	c. c/y dredged	d. c/y dredged		
12. <input type="checkbox"/> Barrier Beaches	Indicate size under Coastal Beaches and/or Coastal Dunes below			
13. <input type="checkbox"/> Coastal Beaches	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
14. <input type="checkbox"/> Coastal Dunes	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. c/y nourishment	d. c/y nourishment
15. <input type="checkbox"/> Coastal Banks	<u> </u>	<u> </u>		
	a. linear feet	b. linear feet		
16. <input type="checkbox"/> Rocky Intertidal Shores	<u> </u>	<u> </u>		
	a. square feet	b. square feet		
17. <input type="checkbox"/> Salt Marshes	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. square feet	d. square feet
18. <input type="checkbox"/> Land Under Salt Ponds	<u> </u>	<u> </u>		
	a. square feet	b. square feet		
	<u> </u>	<u> </u>		
	c. c/y dredged	d. c/y dredged		
19. <input type="checkbox"/> Land Containing Shellfish	<u> </u>	<u> </u>	<u> </u>	<u> </u>
	a. square feet	b. square feet	c. square feet	d. square feet
20. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above			
	<u> </u>	<u> </u>		
	c. c/y dredged	d. c/y dredged		
21. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	<u>8</u>	<u>8</u>		
	a. square feet	b. square feet		

22.

Restoration/Enhancement (For Approvals Only)

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.5.c & d or B.17.c & d above, please entered the additional amount here.

_____ a. square feet of BVW

_____ b. square feet of Salt Marsh

23.

Streams Crossing(s)

If the project involves Stream Crossings, please enter the number of new stream crossings/number of replacement stream crossings.

_____ a. number of new stream crossings

_____ b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. the work is a maintenance dredging project as provided for in the Act; or
 - b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not exceed the issuance date of the original Final Order of Conditions.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.
8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.
9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work..

Massachusetts Department of Environmental Protection

Bureau of Resource Protection - Wetlands

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10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

" Massachusetts Department of Environmental Protection"

[or 'MassDEP']

File Number : "006-1844"

11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before Mass DEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #13 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.
18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS

19. The work associated with this Order(the "Project") is (1) is not (2) subject to the Massachusetts Stormwater Standards. If the work is subject to Stormwater Standards, then the project is subject to the following conditions;
- a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Construction General Permit as required by Stormwater Standard 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.
- b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that: *i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all

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construction period sediment trapped in inlet and outlet control structures; *ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized; *iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10; *iv.* all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition; *v.* any vegetation associated with post-construction BMPs is suitably established to withstand erosion.

- c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 19(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.*) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.*) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.
- d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollutant Discharge Elimination System Multi-Sector General Permit.
- e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 19(f) through 19(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 19(f) through 19(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.
- f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.
- g) The responsible party shall:
 - 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 - 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 - 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.
- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the

³² **Massachusetts Department of Environmental Protection**

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prior written approval of the issuing authority.

- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions:

SEE ATTACHED CONDITIONS

D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? Yes No

2. The Conservation Commission hereby (check one that applies):

a. DENIES the proposed work which cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw specifically:

1. Municipal Ordinance or Bylaw _____

2. Citation _____

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order or Conditions is issued. Which are necessary to comply with a municipal ordinance or bylaw:

b. APPROVES the proposed work, subject to the following additional conditions.

1. Municipal Ordinance or Bylaw BOSTON
WETLANDS
ORDINANCE

2. Citation BOSTON CITY CODE,
ORDINANCES, CHAPTER
7-1.4

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows:
SEE ATTACHED CONDITIONS



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
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Provided by MassDEP:

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E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

2/17/2022
1. Date of Issuance

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

6
2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signature	<u>DocuSigned by: Michael Parker EED0526B8E9E4AF...</u>	Printed Name	<u>Michael Parker</u>
Signature	<u>DocuSigned by: Aldo Ghirin FDD8DA2E8ED0499...</u>	Printed Name	<u>Aldo Ghirin</u>
Signature	<u>DocuSigned by: Alice Richmond 1CA22302A9984AE...</u>	Printed Name	<u>Alice Richmond</u>
Signature	<u>DocuSigned by: Anne Herbst 5CC3D6B13BCB40E...</u>	Printed Name	<u>Anne Herbst</u>
Signature	<u>DocuSigned by: John Sullivan 7C86A68965584E2...</u>	Printed Name	<u>John Sullivan</u>
Signature	<u>DocuSigned by: F5DC3C4FE1DE431...</u>	Printed Name	<u>Kannan Thiruvengadam</u>
Signature	_____	Printed Name	_____

by hand delivery on

by certified mail, return receipt requested, on

Date _____

Date 2/17/2022

Massachusetts Department of Environmental
Protection
Bureau of Resource Protection - Wetlands
WPA Form 5 - Order of Conditions
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
MassDEP File #:006-1844
eDEP Transaction #:1347179
City/Town:BOSTON

John R. ... Managing Agent
Signature of Applicant

Rev. 4/1/2010

January 19, 2022
Attachment – Special Conditions
Burroughs Wharf Condominium Trust, Pile and underdeck repairs and replacement of guide piles
and a floating dock, 50 Battery St
North End, Boston Harbor (LUO, LSCSF)
DEP File No. 006-1844 / BOS File No. 2022-006

GENERAL SPECIAL CONDITIONS

21. The term “Applicant” as used in this Order of Conditions refers to the applicant, owner, any successor in interest or successor in control of the property, or assigns referenced in the Notice of Intent, supporting documents and this Order of Conditions. The Boston Conservation Commission (hereinafter “the Commission”) must be notified in writing within 30 days of all transfers of title of any portion of property that take place prior to the issuance of the Certificate of Compliance (hereinafter “COC”).
22. The Applicant must attach a copy of this Final Order of Conditions (hereinafter “the Order”) to the contract documents associated with this project.
23. The property that is the subject of this Order and upon which the project is located will be referred hereinafter as “the subject property” or the “project site”.
24. The Commission reserves the right to impose additional conditions or require the submittal of additional information as necessary to protect the interests of the Massachusetts Wetlands Protection Act (hereinafter “the Act”) and the Resource Area Values of the City of Boston Wetlands Protection Ordinance (hereinafter “the Ordinance”).
25. It is the responsibility of the Applicant to complete all reviews required by any local, state, and federal agencies with jurisdiction over the activity that is the subject of this Order, and to procure all required permits or approvals. Any such permits or approvals shall be made available upon demand by the Commission or Commission Staff.
26. Any mitigation measures required by federal, state, or other local agencies that may impact wetland resource areas must be submitted to Commission Staff for review to determine what level of permitting or authorization will be necessary.
27. Any person performing work on the activity that is the subject of this Order is individually responsible for understanding and complying with the requirements of this Order, the Act, the implementing regulations at 310 CMR 10.00, and the Ordinance and Regulations, as applicable.
28. The Applicant is hereby instructed to review these conditions with all contractors and workers involved in on-site operations prior to the commencement of work on this project. Any contractors and workers arriving after construction commences must also be apprised of these conditions.
29. A copy of the Order, including all referenced documents and plans, and all other subsequent approvals and directives issued by the Commission, must be available for inspection at the project site.
30. A member of the Commission or its agent may enter and inspect the property and the activities that are the subjects of this Order at all reasonable times, with or without probable

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cause or prior notice, and until a Certificate of Compliance is issued, for the limited purpose of evaluating compliance with this Order, the Act, and the Ordinance.

31. The Applicant must inform the Commission of any violation of this Order and any other project related spill or accident that may impact any wetland resource areas or 100-foot Buffer Zone (hereinafter “buffer zone”) as soon as possible and at least by the end of the business day, and must take appropriate action to mitigate impacts from such a spill or accident. The Applicant or site supervisor must notify the City of any emergency by calling Commission Staff at 617-635-3850 from 9:00 AM - 5:00 PM, Monday - Friday and, at all other times, by calling the Mayor's Office's 24-hour Hotline at 617-635-4500. On the date of the issuance of this Order, the appropriate contact is Nicholas Moreno, Conservation Agent: cc@boston.gov
32. Anti-degradation provisions of the Massachusetts Surface Water Quality Standards protect all waters including wetlands. The contractor must take all steps necessary to assure that the proposed activities will be conducted in a manner which will avoid violations of said standards.
33. No work permitted by this Order shall commence, including the clearing of trees and shrubs or disturbance of soils, except that minimal disturbance of shrubs and herbaceous plants absolutely necessary in order to place erosion or sedimentation control devices where required, prior to fulfilling all of the prior to the commencement of work requirements included herein and receiving authorization from Commission Staff.
34. All work shall be halted on the project site if the Commission, Commission Staff, or the Department determines that any of the work is not in compliance with this Order.
35. All project related correspondence and submittals to the Commission regarding this Order must indicate the DEP File number: 006-1844 and BOS File number: 2022-006.

LIMIT OF WORK & EROSION CONTROLS

36. Construction activity will be confined within the limits of work as represented on the final plans. There may be no staging of construction materials, storage of construction equipment, clearing or disturbance to land beyond the limit of work.
37. There may be no overnight stockpiling or storage of construction material including unconsolidated material, piles, debris, petroleum products or hydraulic fluids (or equipment containing these products or fluids) within the buffer zone, 25 feet of the coastal bank, or the 100-year flood plain. Erosion and sediment control containment measures must be installed and maintained between wetland resource areas and any stored construction materials or staged construction equipment. Under no circumstances may the project contractor store, stage or locate unconsolidated material or construction equipment not directly associated with the project and subject site within resource areas or the buffer zone. At the request of the Applicant, Commission Staff may authorize construction lay-down areas within the buffer zone or the 100-year floodplain for storage of equipment *during the construction period only.*

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SPILL MANAGEMENT

38. There may be no discharge or spillage of fuel, oil, or any other pollutant from this project into adjacent wetland resource areas or buffer zones associated with those resource areas. Any equipment used in any wetland resource area or buffer zone that uses fuel, oil or hydraulic fluid must be inspected daily for leakage. Any equipment that requires repair must be repaired outside of any wetland resource area or buffer zone. Any equipment that uses fuel, oil and/or hydraulic fluid must be staffed at all times while operational within wetland resource areas or buffer zones. Equipment must not be re-fueled within any wetland resource areas.

PRIOR TO COMMENCEMENT OF WORK

39. Prior to the commencement of work, the Applicant must submit final plans signed and stamped by a professional engineer, land surveyor, or landscape architect, as applicable, to Commission Staff. Commission Staff will determine if there have been significant revisions made to the plans referenced in this Order that may require further Commission review.
40. Prior to the commencement of work on any section of this project, the Applicant must notify the Commission and, at the request of the Commission, may arrange an on-site conference of representatives of the Commission, the contractor, the project engineer and the Applicant to ensure that all the conditions of this Order are understood. The Commission must be notified at least 48 hours in advance of the date upon which construction activities on the site are to proceed. All appropriate construction impact mitigation measures must be in place prior to initiation of work on the project site.
41. Prior to the commencement of work, the Applicant and/or their contractor must provide to the Commission written notification of the name, title, address and telephone numbers of the person or persons designated by the project proponent to be responsible for compliance with the Order on site. An emergency telephone number must be provided in the event that action is required during non-working hours.
42. Prior to the commencement of work, the project supervisor overseeing daily operations at the site must read this Order and sign a copy of each page, indicating that each condition has been read and understood. These signed pages must be submitted to Commission Staff.
43. Prior to the commencement of work, the Applicant or their contractor must submit a final erosion and sediment control plan for review and approval by Commission Staff. Final plans showing the points of discharge, wheel wash stations, sedimentation tanks and basins, oil separating equipment and other engineering structures should be provided to the Commission with a certified engineer's stamp and signature. To satisfy this condition the Applicant may submit a Storm Water Pollution Prevention Plan (SWPPP) required under the NPDES Construction General Permit for Storm Water Discharges for Construction Activities. The approved plan will be a condition of this Order by reference herein.
44. The contractor must submit a construction materials and equipment staging plan 30 days prior to the commencement of work for Commission Staff review and approval. Project

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related staging areas will be subject to all conditions herein. Staging areas located outside the project footprint, as indicated on the approved project plan of record, and within wetland resource areas and the buffer zone may be subject to further Commission review.

45. Prior to the commencement of work, the Applicant and/or their contractor shall develop a spill management plan for any hazardous materials that may be employed during work in the resource area, buffer zone or over the water, and submit said plan to the Commission for Commission Staff review and approval. Specifically, the Applicant should prepare to effectively deal with spillage of fuel or hydraulic fluids from equipment and provide all appropriate notifications, including to the Commission. A quick-absorbent material, such as "Speedy Dry" or equivalent, must be stored in a dry readily available area at the work site, and on any project related vessels, for use in the event petroleum-based fluids are spilled or leaked. The contractor must have an oil sorbent boom at the project site and deploy the boom immediately upon observing any petroleum sheen on the watersheet. The spent material should be containerized and disposed of properly.
46. The Applicant or their contractor must keep a daily log summarizing all construction and demolition activities of this project on every day that such activity occurs, noting turbidity conditions, occurrence of fish kills, debris removal from resource areas and evaluations of measures employed to reduce turbidity and other impacts to the water and wetland resources. The condition of all drainage, erosion controls and sedimentation structures must be noted in the daily log, as well as the performance of maintenance activities on such structures. The contractor must provide Commission Staff with a draft construction inspection form prior to commencement of work on the project site. This log must be kept at the work area and made available upon demand by Commission Staff.
47. The Applicant or their contractor must submit to Commission Staff 30-days prior to the commencement of dredging activity a plan outlining the procedures to be employed by the dredge contractor to ensure that dredge disposal to CAD cells and CAD cell capping does not occur beyond the cell footprint. The contractor should utilize highly accurate, real-time positioning equipment for disposal and capping, such as a differential global positioning system.
48. Prior to construction, the applicant must submit the exact means and methods being used for the repair work for Commission staff review and approval.

DURING CONSTRUCTION

GENERAL

49. There shall be no additional alterations of areas under the Commission's jurisdiction without the required review(s) and permit(s). This condition shall survive the expiration of this Order, and shall be included as a continuing condition in perpetuity on the COC.
50. The Applicant shall notify Commission Staff immediately if any damage is caused as a direct result of this project to any wetland resource area or buffer zone. It shall be the responsibility of the Applicant to submit to the Commission for its review and approval a repair or

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restoration plan depicting the remedial steps proposed to restore the wetland resource areas or buffer zone to its previous condition. Sedimentation of any resource area shall be considered fill of that wetland resource area.

- 51.If any unforeseen problems occur during construction which may affect the interests of the Act, the Resource Area Values of the Ordinance, or regulations promulgated thereunder, the Commission shall immediately be notified, and an immediate meeting shall be held between the Commission or Commission Staff, the Applicant, and other concerned parties to determine the correct measures to be employed. The Applicant shall then act to correct the problems using the corrective measures agreed upon. Subsequent to resolution, the activity and resulting actions shall be documented in writing.
- 52.The Applicant must regularly remove and dispose of debris on all wetland resources areas on the project site. This is a perpetual **maintenance** condition that will not expire upon issuance of a COC.
- 53.The Applicant must maintain the project site free of trash and debris during any down time or hiatus in the project during the term of this Order.
- 54.The Applicant and/or their contractor must clean the work area at the end of each workday to prevent wind deposition of fugitive dust and accumulation of debris in the buffer zone or wetland resource areas. All stored excavate or fill must be contained with appropriate best management practices when not in use. Special attention should be given by the contractor to securing covers on stored excavate, fill, dumpsters and roll-off containers over the weekend or during down time.
- 55.Disposal of all construction materials, demolition debris and excess fill must be done in accordance with applicable federal, state, and local laws. Proof of proper disposal must be provided in the form of copies of bills of lading, disposal receipts or manifests to Commission Staff upon request.
- 56.On-site discharge of untreated, decanted water from construction dewatering to resource areas is prohibited. If on-site discharge becomes necessary, the Applicant must submit a plan indicating dewatering methodology, water quality monitoring measures, and staging location of dewatering equipment for Commission Staff review and approval. Any approved dewatering must treat decanted water according to additional conditions deemed necessary by Commission Staff.
- 57.Trucks entering and leaving the site must have their loads completely covered in compliance with M.G.L. Chapter 85 § 36. Vehicles that accumulate soil or any unconsolidated material on their tires due to exposed ground conditions at the site must be thoroughly washed to avoid tracking of material onto the public way.
- 58.The contractor must have designated washout areas for concrete equipment that will be comprised of impermeable material and sized to contain project concrete wastes and wash

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water. Washout areas may not be located in the vicinity of storm drain inlets, stormwater conveyance, surface waters or wetlands.

59. All equipment and unconsolidated materials must be removed from areas subject to the 1% annual chance flood (100-year flood, Zone A) in advance of significant rainfall that will exceed the volume of a 2-year storm event.

60. All equipment and unconsolidated materials must be removed from the Land Subject to Coastal Storm Flowage (Special Flood Hazard Areas subject to inundation by the 1% annual chance flood) in advance of any forecasted flooding event.

IN-WATER/WATERSIDE CONSTRUCTION

61. If at any time during the implementation of the project a fish kill or significant water quality problem occurs in the vicinity of the project, all site related activities impacting the water must cease until the source of the problem is identified and adequate mitigating measures employed to the satisfaction of the Commission.

62. All project-related materials must be contained from migration into wetland resource areas and all practical precautions must be used during any water-based work. The Applicant and/or their contractor will be responsible for the removal of any project-related debris, material, machinery or equipment lost, dumped, thrown into, or otherwise entering any wetland resource area, regardless of whether it is within or outside of the project limits. The proponent must seek Commission approval for any remedial action involving substantial impacts to wetland resource areas.

63. The contractor must have a boat available for the collection and removal of project related trash and debris within wetland resource areas and on the watersheet. The contractor will contain and collect all floating debris that results from the project and collect it along with solid waste including trash. The collected debris and trash will be placed into containers and periodically removed for proper disposal.

64. All vessels working at this site must be maintained in seaworthy condition. Should any vessel or barge associated with the project sink the Commission must be informed immediately. The proposed work and placement of barges should be coordinated with vessels that navigate in the affected waterways. All vessels and floating equipment must be anchored or moored when not in use and have proper lighting per U.S. Coast Guard requirements. Barges must be anchored with spuds or tied off to a secure structure; under no circumstances should construction equipment on the barge be utilized for purposes of anchoring. Project related vessels may not rest upon tidal flats.

65. All deck gear and equipment stored on project-related vessels must be secured at the end of each workday and inspected for any leakage. All project-related vessels must have a spill kit containing sorbent materials on the vessel at all times. All material stored on project related vessels must be contained so as not to enter the resource area. Petroleum products and hydraulic fluids must be stored within leak-proof lockers secured to the deck of the vessel.

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STORMWATER MANAGEMENT

- 66. All sheet flow from areas where vehicles drive or park must be directed toward catch basins that meet BWSC Specifications.
- 67. There may be no parking of contractor or laborer vehicles in any resource area or associated buffer zone without proper stormwater controls or best management practices installed.

PRIOR TO THE CERTIFICATE OF COMPLIANCE CONDITIONS

- 68. Upon completion of all work regulated by this Order and final soil stabilization, the Applicant shall submit a Request for a COC to the Commission. The request shall include detailed as-built plans depicting the post construction conditions of the project site, and a compliance statement. Both must be signed and stamped by a professional engineer, land surveyor, or landscape architect, as applicable, certifying that the work has been completed in accordance with the conditions of this Order and the final site plans referenced herein.
- 69. Prior to the issuance of a Certificate of Compliance, the applicant must submit a full report on how they plan to incorporate resilience into the site and provide the Commission a full understanding of how those measures will work, how they will tie into the City's resiliency plan, and how they will impact approximate properties.

ADDITIONAL CONDITIONS

GENERAL

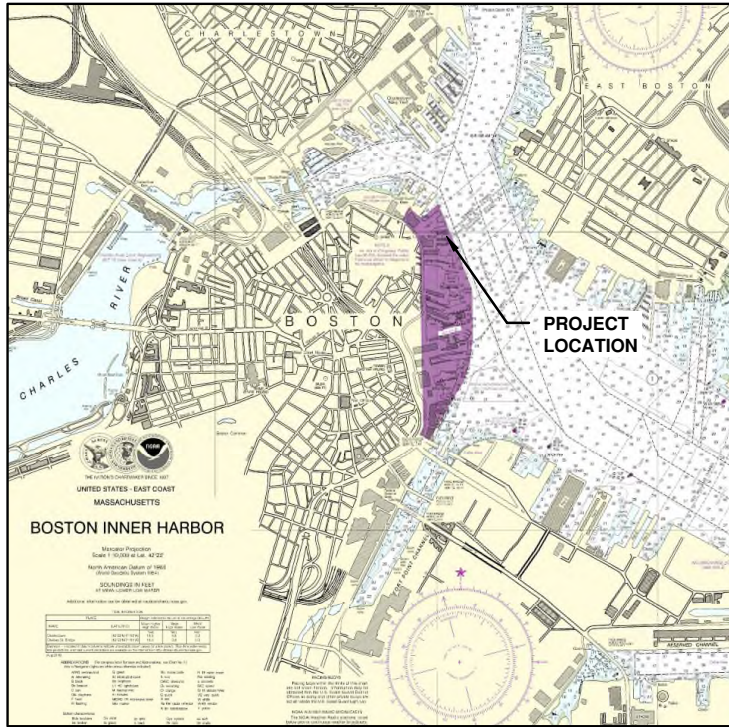
- 70. There may be no dumping of leaves, grass clippings, brush, fill or other debris into wetland resource areas. No mulch shall be placed into wetland resource areas. This is a perpetual condition that will not expire upon issuance of a COC.

Plans

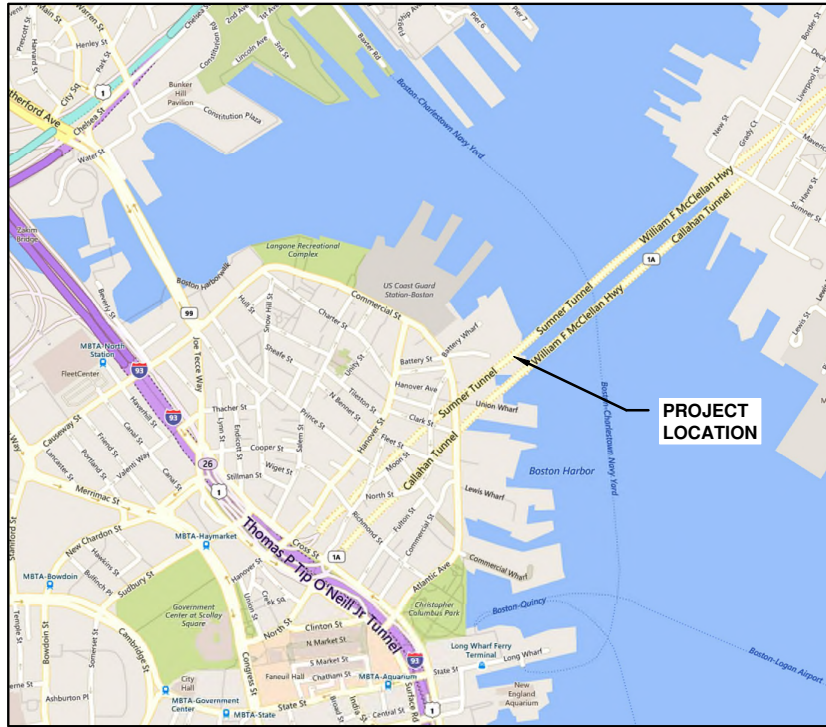
BURROUGHS WHARF WATERFRONT REPAIRS

BURROUGHS WHARF CONDOMINIUM TRUST

BOSTON, MA



VICINITY MAP
SCALE: NONE



LOCUS MAP
SCALE: NONE



DRAWING INDEX	
SHEET NO.	SHEET TITLE
M-01	TITLE SHEET AND DRAWING INDEX
M-02	SITE PLAN
M-03	NORTH WHARF REPAIR PLAN
M-04	CENTRAL AND SOUTH WHARF REPAIR PLAN
M-05	REPAIR DETAILS
M-06	FLOATING DOCK REPLACEMENT
M-07	FLOATING DOCK REPLACEMENT DETAILS
M-08	REFERENCE PHOTOS



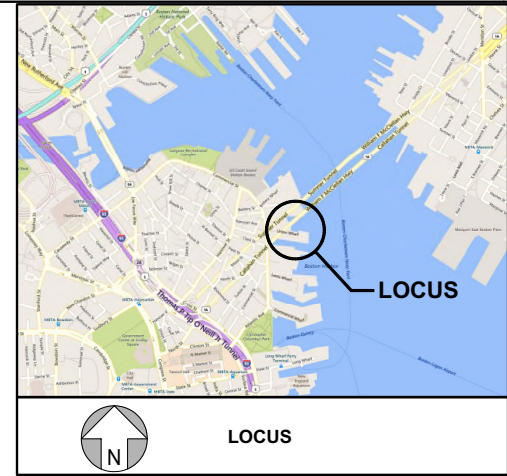
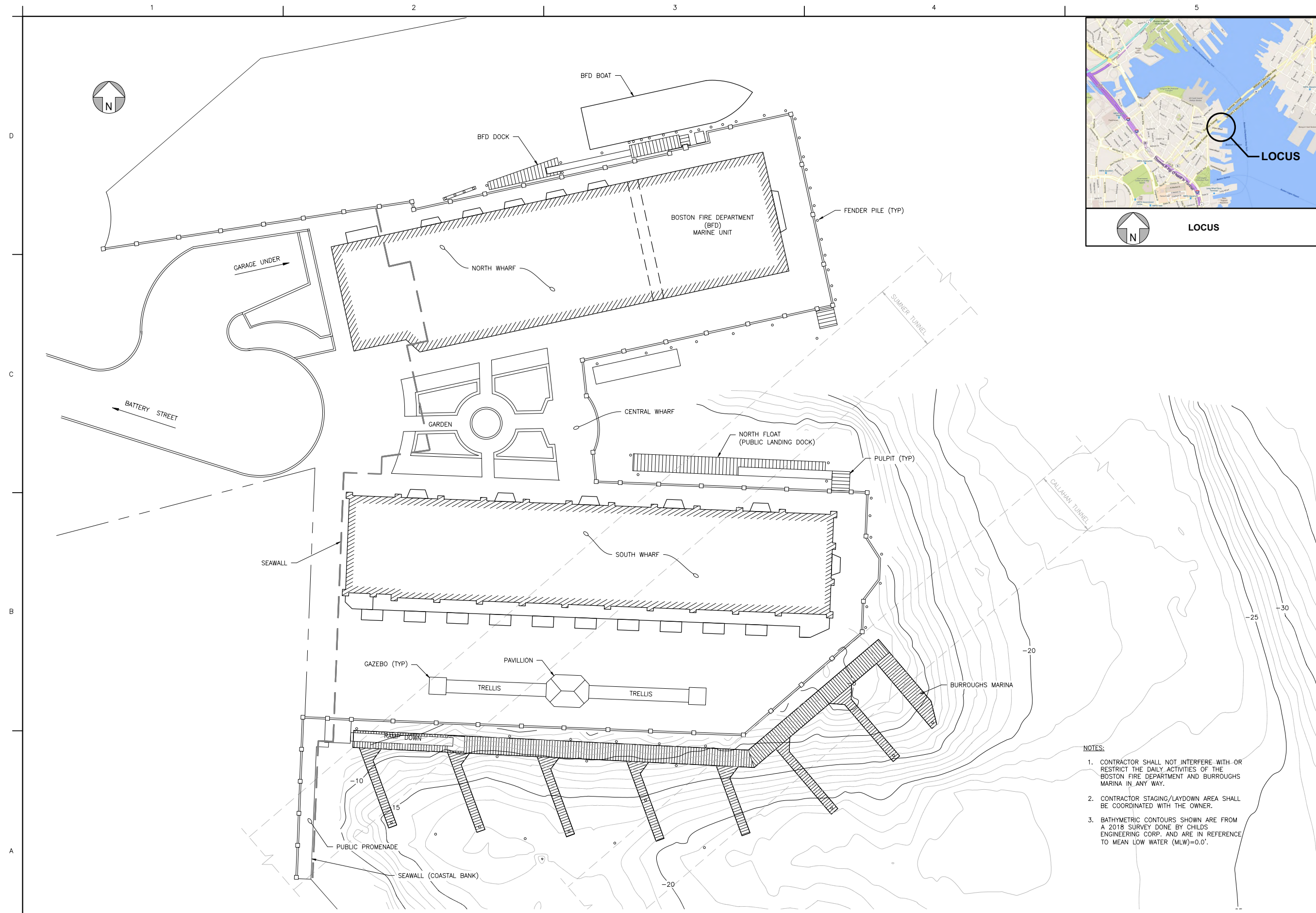
Mark	Description	Date	Appr.

Designed by:	RPY	Date:	02/07/22
Check by:	TEQ	Design No.:	297421 M-01
Reviewed by:	CMR	Scale:	NONE

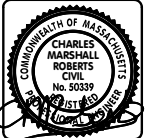
BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA
TITLE SHEET

Sheet reference number:
M-01
Sheet 1 of 8

K:\2974-21.00_PILE_JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-02 SITE PLAN.DWG Feb 18, 2022 - 12:41pm



CHILDS ENGINEERING
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 Phone: (508) 946-6902
 E-mail: mail@childsendg.com



Mark	Description	Date	Appr.

Designed by:	RPY	Date:	02/07/22
Drawn by:	TEQ	Design file no.:	297421 M-02
Reviewed by:	CMR	Scale:	1"=20'-0"

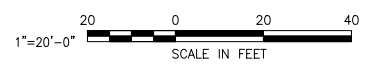
BURROUGHS WHARF WATERFRONT REPAIRS
 BURROUGHS WHARF CONDOMINIUM TRUST
 BOSTON, MA

SITE PLAN

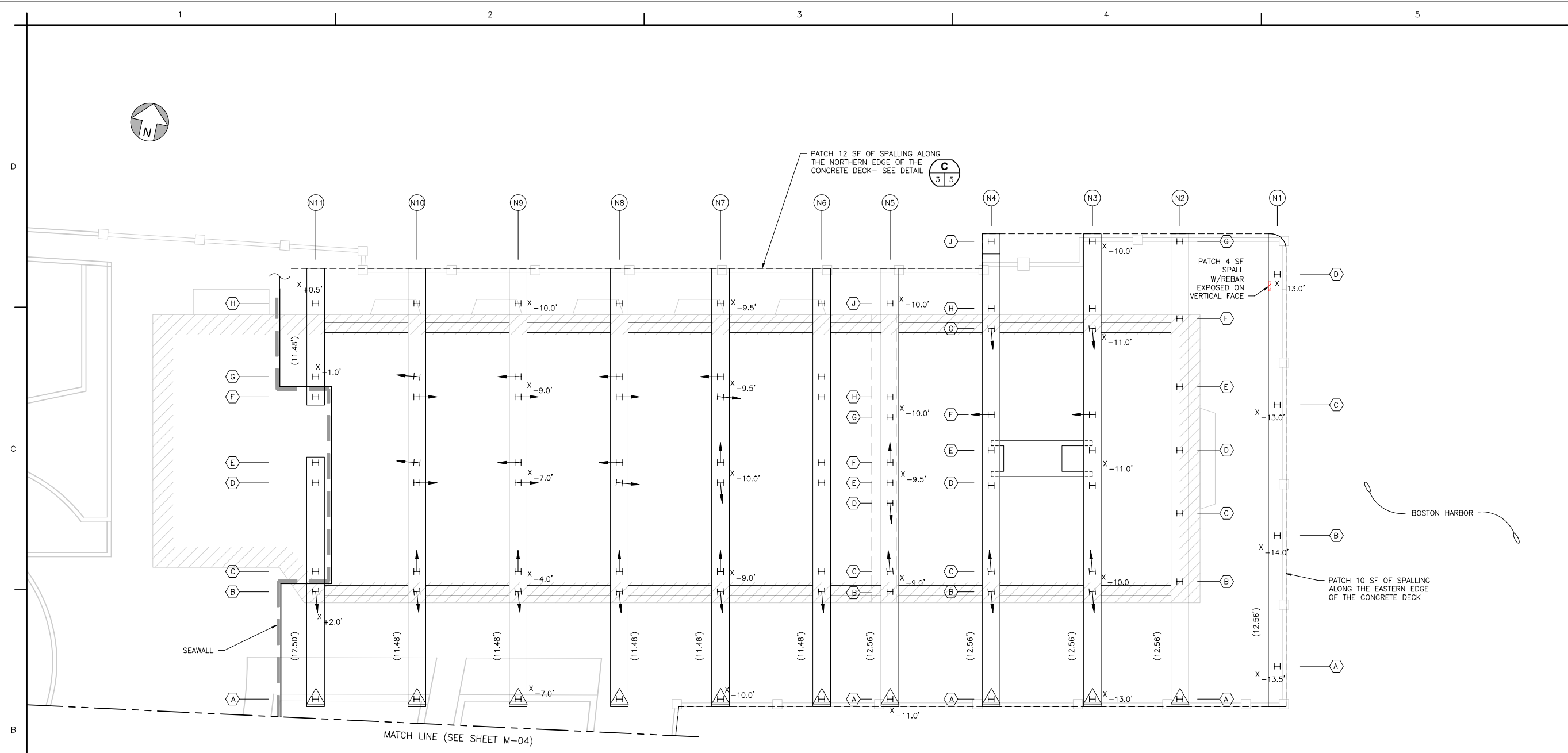
Sheet reference number:
M-02
 Sheet 2 of 8

SITE PLAN
 SCALE: 1"=20'-0"

- NOTES:**
1. CONTRACTOR SHALL NOT INTERFERE WITH OR RESTRICT THE DAILY ACTIVITIES OF THE BOSTON FIRE DEPARTMENT AND BURROUGHS MARINA IN ANY WAY.
 2. CONTRACTOR STAGING/LAYDOWN AREA SHALL BE COORDINATED WITH THE OWNER.
 3. BATHYMETRIC CONTOURS SHOWN ARE FROM A 2018 SURVEY DONE BY CHILDS ENGINEERING CORP. AND ARE IN REFERENCE TO MEAN LOW WATER (MLW)=0.0'.



YOUNGER K:\2974-21.00 FILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-03_M-04 PLANS.DWG Mar 29, 2022 - 2:58pm



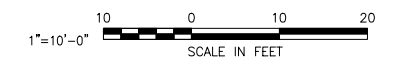
- NOTES:**
- FENDER SYSTEM AND FLOATING DOCKS NOT SHOWN FOR CLARITY.
 - RECOMMENDED REPAIRS BASED ON INSPECTION PERFORMED BY CHILDS ENGINEERING CORPORATION ON NOVEMBER 17, 2021.

PLAN - NORTH WHARF
SCALE: 1"=10'-0"

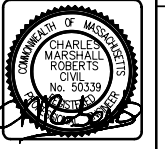
DATUM: BOSTON CITY BASE EL.= 0.0', MLW EL.= 1.14'

REFERENCE DRAWINGS:
MARINE STRUCTURAL DRAWINGS, SHEET NUMBER: MS 400 THROUGH MS 418, FOR BURROUGHS WHARF, BY PARSONS BRINKERHOFF, DATED AUGUST 3, 1988.

- LEGEND:**
- (N3) PILE BENT DESIGNATION
 - (D) PILE ROW DESIGNATION
 - H HP 14X117 STEEL BEARING PILES- TO BE JACKETED
 - HP 14X117 STEEL BATTER PILES- TO BE JACKETED
 - (A) HP 14X89 STEEL BEARING PILES- TO BE JACKETED
 - (10.56') ELEVATION IN FEET, BOTTOM OF CONCRETE PILE CAP IN REFERENCE TO MLW=0.0'
 - (Hatched) CONCRETE CAP/BEAM REPAIR LOCATION SEE DETAIL (B)
 - X_{-9.0'} APPROXIMATE MUDLINE ELEVATION IN REFERENCE TO MLW=0.0'



CHILDS ENGINEERING
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Phone: (508) 966-8992
E-mail: mail@childsendg.com



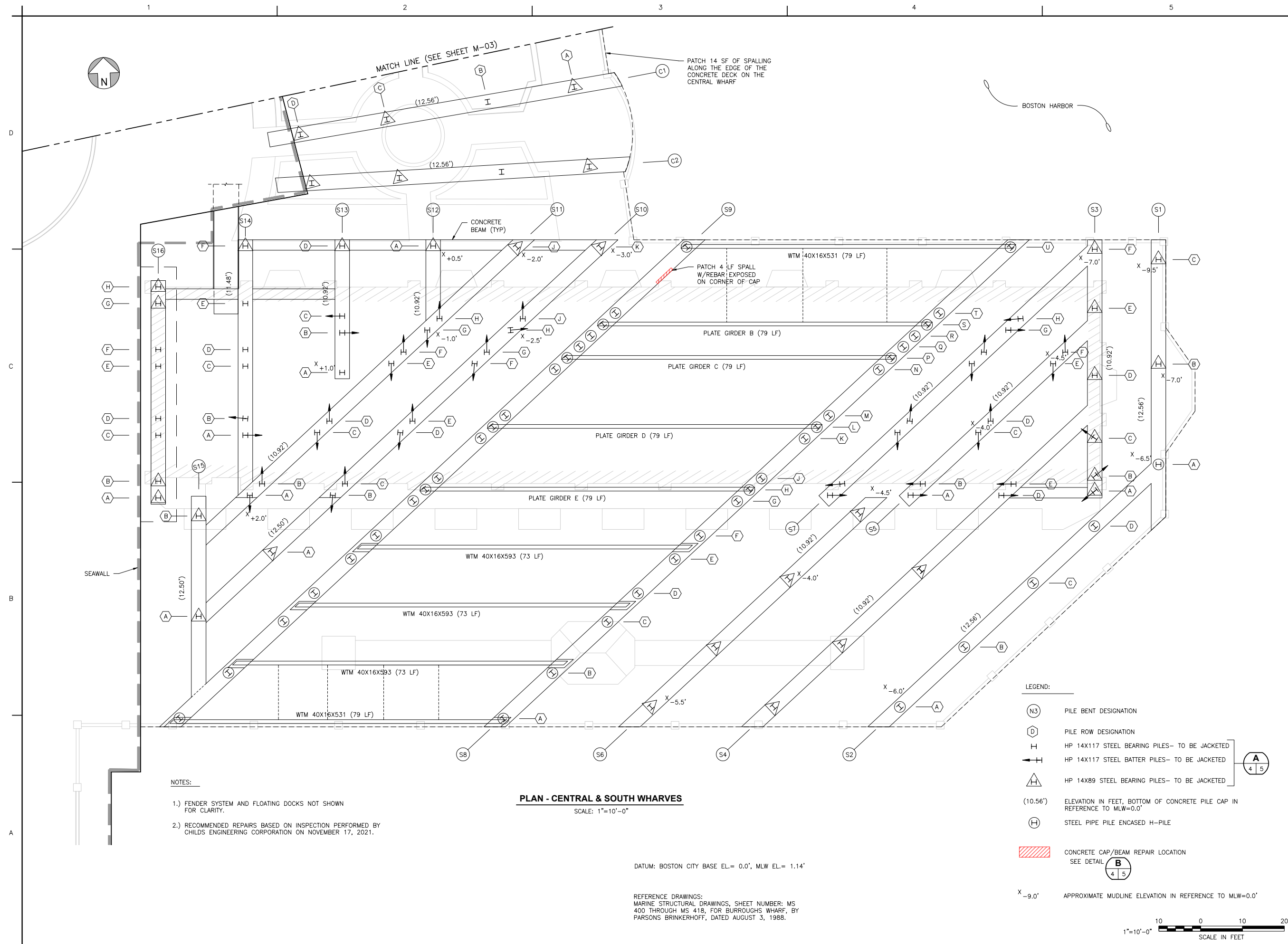
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Designed by:	RPY	Date:	02/07/22
Drawn by:	TEQ	Design file no.:	297421 M-03
Reviewed by:	CMR	Scale:	1"=10'-0"

BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA
NORTH WHARF
REPAIR PLAN

Sheet reference number:
M-03
Sheet 3 of 8

YOUNGER K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-03_M-04 PLANS.DWG Mar 29, 2022 - 3:31pm



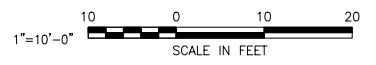
- NOTES:**
- 1.) FENDER SYSTEM AND FLOATING DOCKS NOT SHOWN FOR CLARITY.
 - 2.) RECOMMENDED REPAIRS BASED ON INSPECTION PERFORMED BY CHILDS ENGINEERING CORPORATION ON NOVEMBER 17, 2021.

PLAN - CENTRAL & SOUTH WHARVES
SCALE: 1"=10'-0"

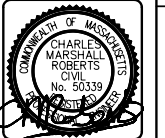
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REFERENCE DRAWINGS:
MARINE STRUCTURAL DRAWINGS, SHEET NUMBER: MS
400 THROUGH MS 418, FOR BURROUGHS WHARF, BY
PARSONS BRINKERHOFF, DATED AUGUST 3, 1988.

- LEGEND:**
- (N3) PILE BENT DESIGNATION
 - (D) PILE ROW DESIGNATION
 - H HP 14X117 STEEL BEARING PILES- TO BE JACKETED
 - H HP 14X117 STEEL BATTER PILES- TO BE JACKETED
 - H HP 14X89 STEEL BEARING PILES- TO BE JACKETED
 - (10.56') ELEVATION IN FEET, BOTTOM OF CONCRETE PILE CAP IN REFERENCE TO MLW=0.0'
 - (H) STEEL PIPE PILE ENCASED H-PILE
 - (Hatched box) CONCRETE CAP/BEAM REPAIR LOCATION SEE DETAIL (B)
 - X -9.0' APPROXIMATE MUDLINE ELEVATION IN REFERENCE TO MLW=0.0'



CHILDS ENGINEERING
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Phone: (508) 966-8992
E-mail: mail@childsendg.com

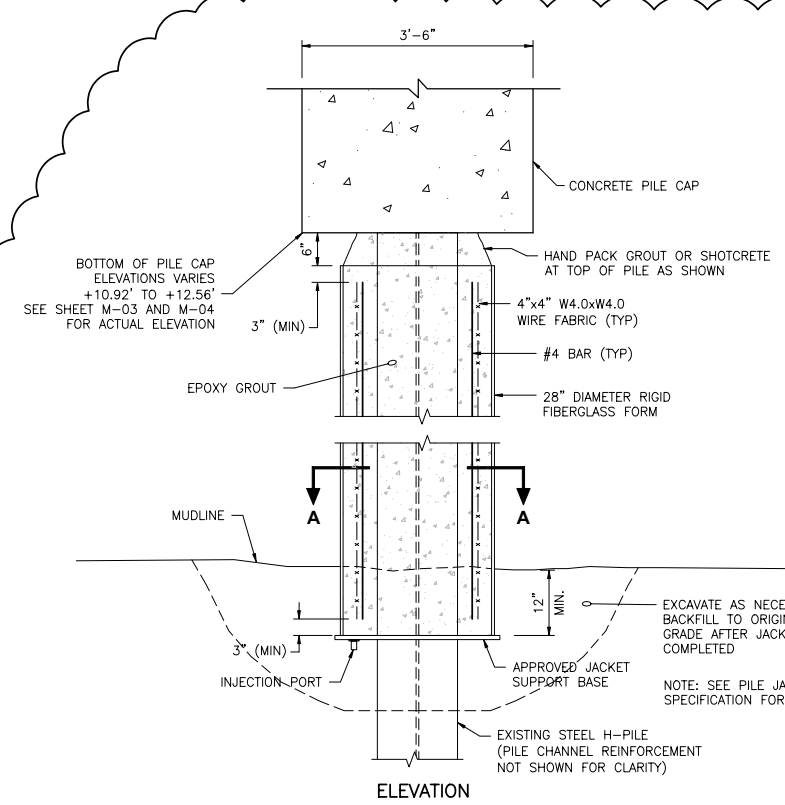


Mark	Description	Date	Appr.

Date:	02/07/22	Scale:	1"=10'-0"
Designed by:	RPY	Drawn by:	TEQ
Checked by:	TEQ	Reviewed by:	CMR
Project No.:	297421 M-04	Sheet:	4 of 8

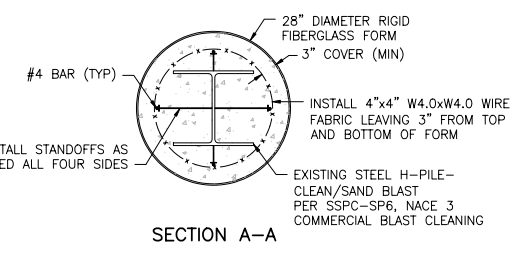
BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA
**CENTRAL AND SOUTH WHARF
REPAIR PLAN**

Sheet reference number:
M-04
Sheet 4 of 8

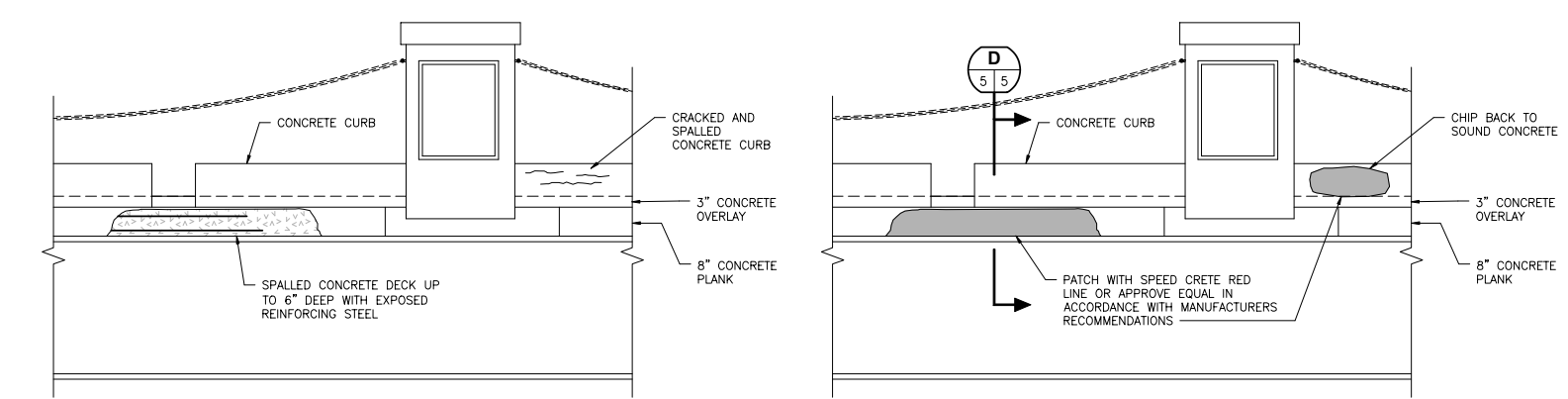


A H-PILE JACKETING DETAILS
SCALE: 3/4"=1'-0"

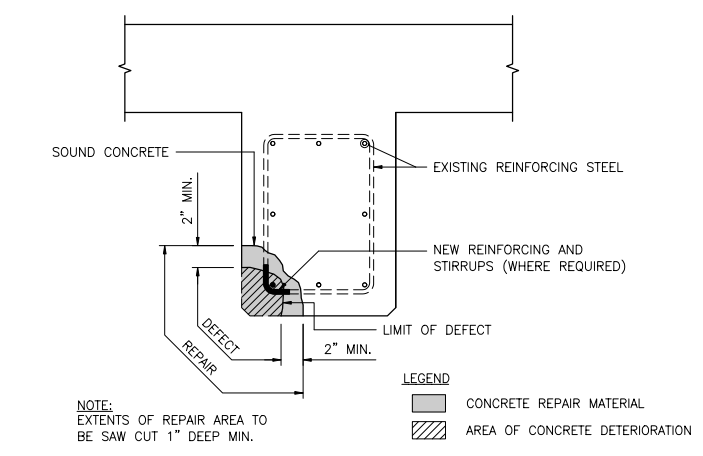
- NOTES**
1. REMOVE ALL LOOSE COATING, MARINE GROWTH, AND CORROSION FROM SURFACE OF PILE.
 2. SURFACE OF EXISTING STEEL PILE SHALL BE THOROUGHLY CLEANED TO PROVIDE SURFACE PROFILE NECESSARY TO MEET BONDING REQUIREMENTS.
 3. WHERE APPLICABLE, REMOVE EXISTING ANODES AND ANY OTHER HARDWARE THAT MAY INTERFERE OR PUNCTURE THE JACKET SHELL.
 4. THICKNESS OF JACKET AND EPOXY GROUT SHALL BE BASE ON THE MANUFACTURER'S RECOMMENDATIONS AND SHALL BE NO LESS THAN SHOWN ON THESE PLANS.
 5. LOCATION AND SPACING OF STANDOFFS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
 6. SIZE AND SPACING OF CONNECTION HARDWARE FOR THE FIBERGLASS JACKETS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.



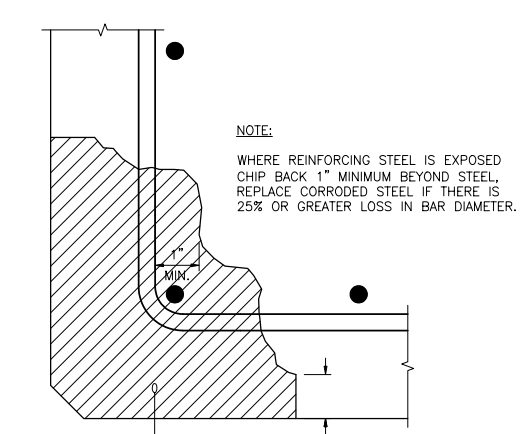
SECTION A-A



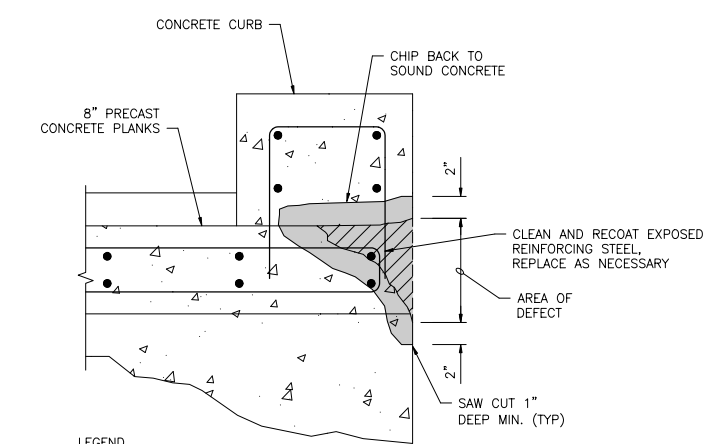
C ELEVATION @ DECK AND CURB SPALLS
SCALE: 1/2"=1'-0"



B EDGE SPALL REPAIR
SCALE: 1 1/2"=1'-0"



TYPICAL REPAIR DETAIL
SCALE: 6"=1'-0"



D SECTION
SCALE: 1 1/2"=1'-0"



Mark	Description	Date	Appr.
1	AMENDMENT	5/04/22	CMR

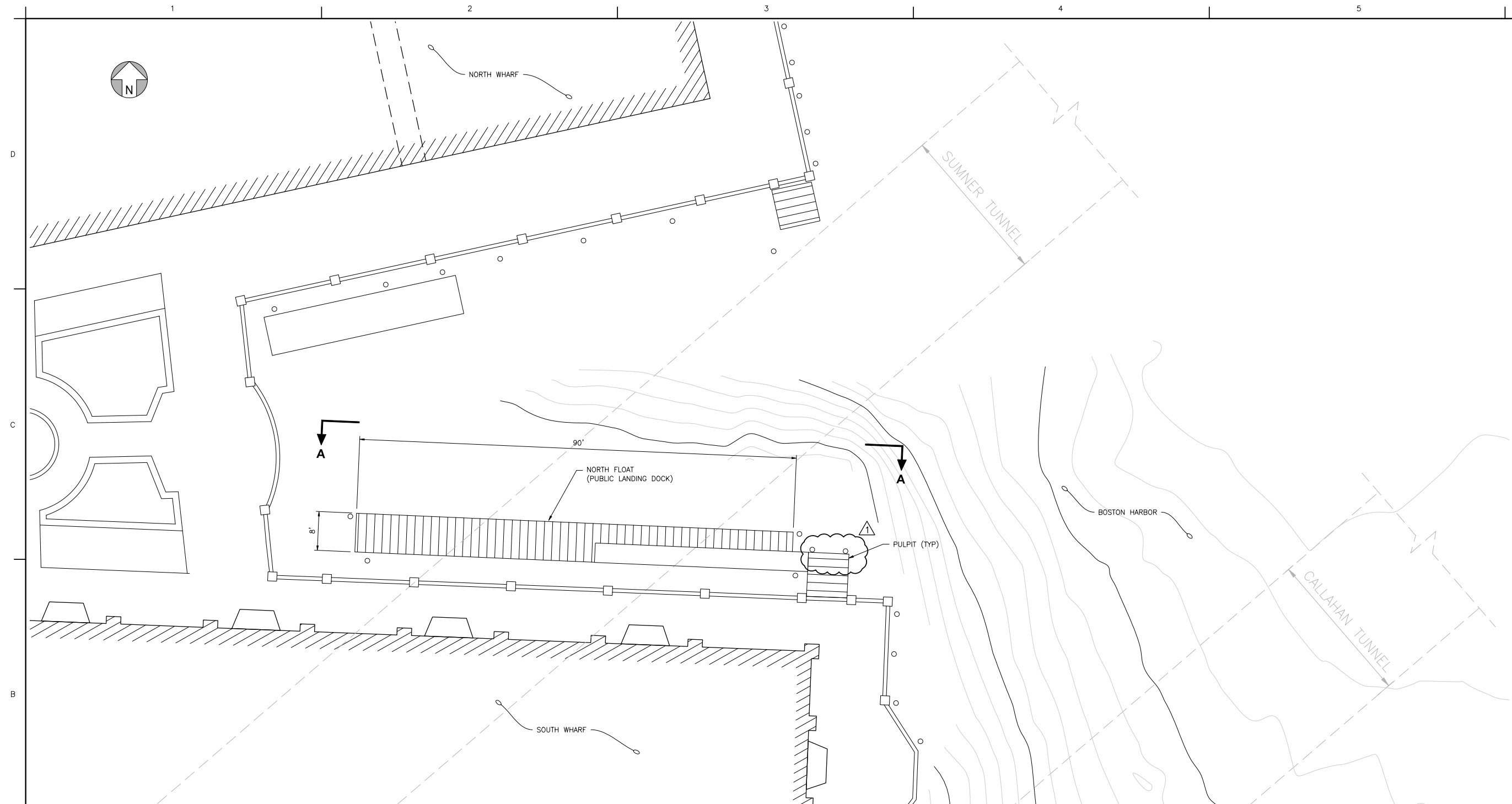
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Drawn by:	TEQ	Check by:	RPY
Reviewed by:	CMR	Scale:	AS NOTED

REPAIR DETAILS
BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF COMMODORIUM TRUST
BOSTON, MA

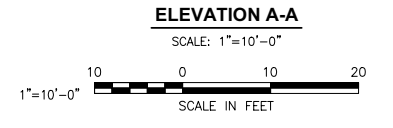
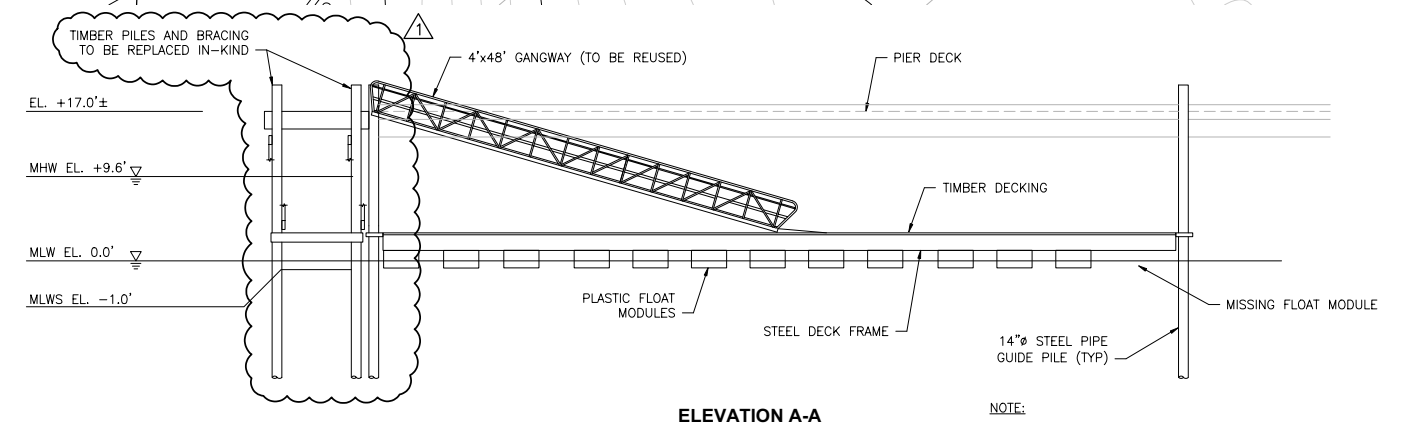
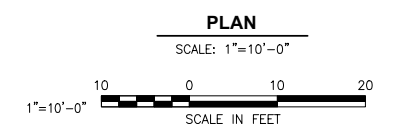
Sheet reference number:
M-05
Sheet 5 of 8

QUINT K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-05 DETAILS.DWG May 04, 2022 - 3:26pm

QUINNT K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-06 MARINA.DWG May 04, 2022 - 3:31pm



- NOTES:**
- CONTRACTOR SHALL NOT INTERFERE WITH OR RESTRICT THE DAILY ACTIVITIES OF THE BOSTON FIRE DEPARTMENT AND PUBLIC LANDING DOCK IN ANY WAY.
 - CONTRACTOR STAGING/LAYDOWN AREA SHALL BE COORDINATED WITH THE OWNER.



NOTE:
GUIDE PILES AND FLOATING DOCK TO BE REPLACED IN-KIND.

CHILDS ENGINEERING

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Mark	Description	Date	Appr.
1	AMENDMENT	5/04/22	CMR

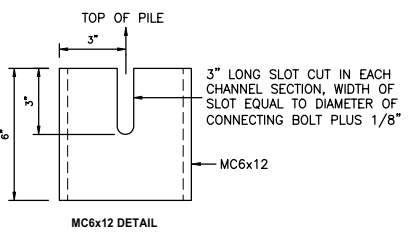
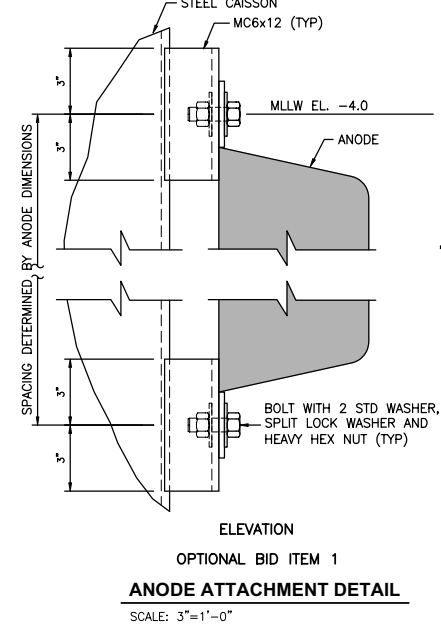
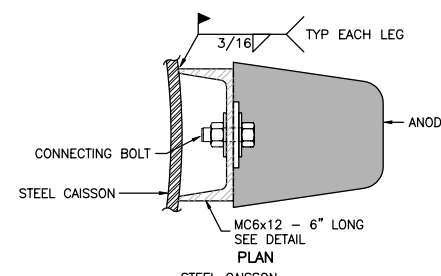
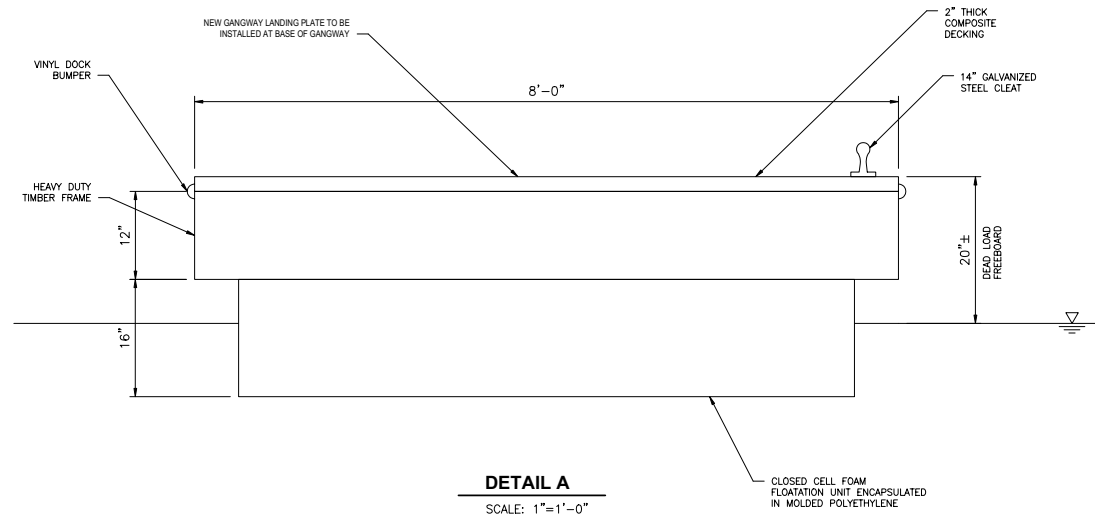
Designed by:	RPY	Date:	02/07/22
Checked by:	TEQ	Design No.:	297421 M-06
Reviewed by:	CMR	Scale:	AS NOTED

BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA

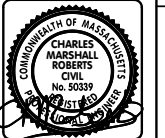
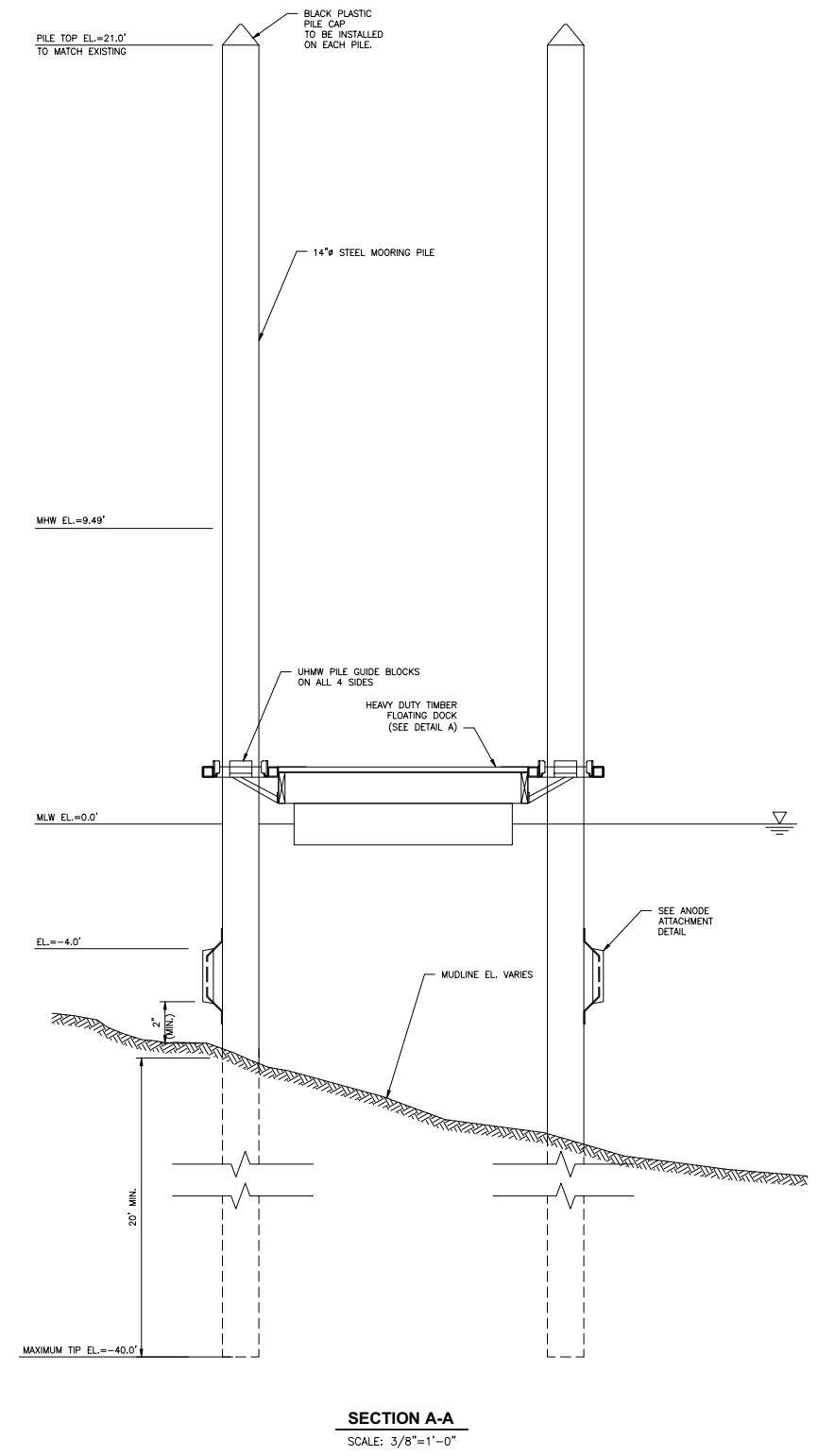
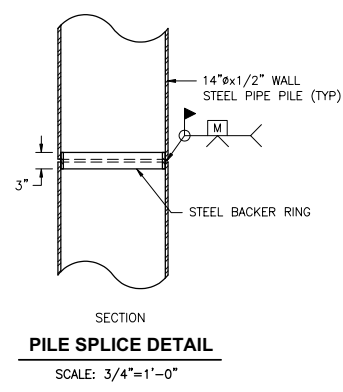
FLOATING DOCK REPLACEMENT

Sheet reference number:
M-06
Sheet 6 of 8

QUINNT K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-07 FLOATING DOCK DETAILS.DWG Feb 18, 2022 - 12:43pm



- NOTES:**
1. ALIGN CHANNEL WITH SLOT TOWARDS TOP OF PILE.
 2. CHANNEL SECTIONS TO BE UNCOATED.
 3. 2 ANODES REQUIRED PER CAISSON LOCATED ON OPPOSITE SIDES.
 4. CONNECTING BOLT AS REQUIRED BY MANUFACTURER, TACK WELD TO PREVENT LOOSENING.
 5. FOR DESCRIPTION OF ANODE SEE PROJECT SPECIFICATIONS.
 6. THE CONTRACTOR MAY USE EXISTING ANODE CONNECTION CHANNEL, IF AVAILABLE AND WHERE POSSIBLE.



Mark	Description	Date	Appr.

Designed by:	RPY	Date:	02/07/22
Drawn by:	TEQ	Design No.:	297421 M-07
Reviewed by:	CMR	Scale:	AS NOTED

BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA
**PROPOSED
SECTION AND DETAILS**

Sheet reference number:
M-07
Sheet 7 of 8

Project Description

A. General Information

6. *General Project Description:*

The proposed project involves jacketing the existing steel piles and making localized repairs to the concrete superstructure and deck under the North, Central, and South Wharf, as well as, replacing (in kind) the floating dock located between the North and South Wharfs. These repairs are to take place at Burroughs Wharf at 50 Battery Street, Boston, MA. The steel pile jacketing will consist of installing leave-in-place concrete filled fiberglass jackets on 153 steel H piles supporting the North, Central, and South Wharf. These jackets will extend from the top of the piles down to the mudline. Additionally, there are a few areas on the concrete beams, pile caps, and deck that require repairing. The spall and disintegration repairs will be made by chipping and removing unsound concrete and exposed reinforcing steel and repairing the areas with new concrete. These repairs are regular maintenance and typical with this type of structure in this location. Similar repairs have been done over the life of the structure with the last set of these repairs completed in 2017.

In addition, the existing floating dock located between the North and South Wharfs will be replaced in kind. This dock consists of a roughly 8 foot wide by 90 foot long floating dock anchored by four steel pipe guide piles. The floating dock is utilized by Boston water taxis as well as other small crafts and is accessed by a gangway extending down from the South Wharf.

Project Completion Methods

A contractor has not been selected as of this application submittal date, but the project management team will ensure that a qualified marine contractor with extensive experience with similar projects is selected. The contractor will likely determine the best procedure for construction. It is anticipated that they will be able to conduct much of the work to install the pile jackets and perform the concrete repairs using floating work platforms and stage most of the repairs from a barge. The jacketing of the piles will consist of cleaning the existing piles using typical water blasting methods, installing of the cylindrical fiberglass jacket and a welded wire mesh within, and filling the void between the pile and jacket with concrete. The filling of the void with concrete will be done through ports in the fiberglass jackets. Prior to pumping grout, all gaskets and seams will be checked to ensure a tight fit and prevent material from leaving the jackets. The concrete repairs on the pile caps and edge of deck will be performed using typical concrete restoration methods. This will include removal of unsound concrete, exposure to reinforcing steel where applicable, proper cleaning and preparation methods, and forming of new concrete within these areas. Concrete removal depths will be done in accordance with project plans and other documents including standards for concrete restoration. Containment will be used to ensure no material is dropped into the waterway in both the removal of existing material and the installation of new concrete. The work to replace the floating dock (removal of the existing guide piles and dock, and installing the new floating dock and guide piles) as well as replacing the timber landing will likely be done using a barge mounted crane. The four existing steel pipe guide piles of the floating dock and the two existing timber piles of the landing will be pulled using the barge mounted crane, and the existing floating dock removed. The four new steel pipe guide piles will be driven, using most

likely a vibratory hammer if needed, to anchor the new floating dock and the new floating dock will be brought to the site and attached to the new guide piles. Once the new floating dock has been anchored to the guide piles, the existing gangway will then be re-installed from the deck of the wharf to the dock. The proposed replacement guide piles and floating dock will be installed within the same footprint as the existing dock. An additional barge will likely be required to aid in the storing of the materials. In addition to the barges and floating work platforms, the contractor will likely use a small tugboat and small utility boat. The float can most likely be fabricated offsite and brought to the site. The contractor will be required to abide by all necessary local, state, and federal construction regulations as well as all conditions applied to the project by the Order of Conditions. They will also be held to all necessary safety regulations and navigational regulations set forth by the U.S. Coast Guard.

Statement on Climate Resiliency

In consideration of climate change and sea level rise. This project will help improve the pier's ability to withstand the increase in storm intensity and frequency by helping rehabilitate the deck, pile caps, and piles and prevent further deterioration that will only be exacerbated by sea level rise and storms. The pier is already established and has enough height in its current construction to be able to withstand some sea level rise. Raising the elevation of the pier is not a reasonable undertaking. The scope of the repairs is relatively minor in regards to the costs associated with elevating the pier. The scope of the repair is also isolated to the piles and underdeck so changing other aspects of the pier was not considered during this project. In the future, as repairs on other areas of the pier become required, other alternatives can be examined.

This project will also not alter the pier's ability to manage stormwater, runoff, or flooding. The repairs are confined to the underside of the pier and will not alter the pier's ability to drain water off of or through it.

The project being mainly below the high tide line means there will be no adverse heat effects and will not alter the ground cover or the water temperature.

The engineering team has utilized all available best management practices to ensure that the project meets the projected life cycle and will not unnecessarily change or impede navigation to the surrounding area or impacts to the resource areas.

B. Buffer Zone and Resource Area Impacts (temporary & permanent)

3. Coastal Resource Areas:

1.0 Land Under Ocean

Land Under Water Bodies and Waterways is defined in 310 CMR 10.25(2) as "land extending from the mean low water line seaward to the boundary of the municipality's jurisdiction and includes land under estuaries". The Nearshore Area is defined as "land under the ocean means that land extending from the mean low water line to the seaward limit of a municipality's

jurisdiction, but in no case beyond the point where the land is 80 feet below the level of the ocean at mean low water”.

1.1 Performance Standards

This project falls is significant to storm damage prevention under the following statement:

“When land under the ocean or nearshore areas of land under the Ocean are found to be significant to the protection of marine Fisheries, protection of wildlife habitat, storm damage prevention or flood control, 310 CMR 10.25(3) through (7) shall apply”.

- 3) *Improvement dredging for navigational purposes affecting land under the ocean shall be designed and carried out using the best available measures so as to minimize adverse effects on such interests caused by changes in:*
 - (a) *bottom topography which will result in increased flooding or erosion caused by an increase in the height or velocity of waves impacting the shore;*
 - (b) *sediment transport processes which will increase flood or erosion hazards by affecting the natural replenishment of beaches;*
 - (c) *water circulation which will result in an adverse change in flushing rate, temperature, or turbidity levels; or*
 - (d) *marine productivity which will result from the suspension or transport of pollutants, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.*

These regulations do not apply as the project does not include maintenance dredging.

- 4) *Maintenance dredging for navigational purposes affecting land under the ocean shall be designed and carried out using the best available measures so as to minimize adverse effects on such interests caused by changes in marine productivity which will result from the suspension or transport of pollutants, increases in turbidity, the smothering of bottom organisms, the accumulation of pollutants by organisms, or the destruction of marine fisheries habitat or wildlife habitat.*

These regulations do not apply as the project does not include maintenance dredging for navigational purposes.

- 5) *Projects not included in 310 CMR 10.25(3) or (4) which affect nearshore areas of land under the ocean shall not cause adverse effects by altering the bottom topography so as to increase storm damage or erosion of coastal beaches, coastal banks, coastal dunes, or salt marshes.*

This project includes affecting the nearshore area of the land under ocean. The proposed pile jackets will have an impact of approximately 450 square feet. However, it will not adversely or significantly affect the bottom topography in Boston Harbor. The floating dock and adjacent timber landing are being replaced in kind and therefore

should not have any additional impact. The footprint of the project is minimal and will not increase storm damage, erosion of coastal beaches, coastal banks, coastal dunes, or salt marshes.

6) *Projects not included in 310 CMR 10.25(3) which affect land under the ocean shall if water-dependent be designed and constructed, using best available measures, so as to minimize adverse effects, and if non-water-dependent, have no adverse effects, on marine fisheries habitat or wildlife habitat caused by:*

(a) alterations in water circulation;

The project will not alter the water circulation of Boston Harbor. The footprint is as minimal as possible, and the floating dock will not alter the water circulation in the harbor.

(b) destruction of eelgrass (Zostera marina) or widgeon grass (Rupia maritima) beds;

This does not apply because there is no eelgrass in the area of the project.

(c) alterations in the distribution of sediment grain size;

This does not apply because the project will not add any or alter the distribution of sediment grain size. The bottom will remain larger untouched except within the footprint and that area is minimal.

(d) changes in water quality, including, but not limited to, other than natural fluctuations in the level of dissolved oxygen, temperature or turbidity, or the addition of pollutants; or

The project will not affect the water quality in any way. The proposed mitigation measures to reduce impacts to water quality due to the construction activities will be to have the Contractor deploy a floating debris boom and turbidity curtain around the proposed repair areas. This will prevent dispersal of debris material during construction work from migrating into the river. Additionally, the contractor shall be required to have hazardous materials spill prevention and clean up kits available on site for any waterborne equipment. The steel piles will not alter the temperature, dissolved oxygen, turbidity, and will not add pollutants.

(e) alterations of shallow submerged lands with high densities of polychaetes, mollusks or macrophytic algae.

The project location does not have high densities of polychaetes, mollusks, or macrophytic algae.

- 7) *Notwithstanding the provisions of 310 CMR 10.25(3) through (6), no project may be permitted which will have any adverse effect on specified habitat sites of rare vertebrate or invertebrate species, as identified by procedures established under 310 CMR 10.37.*

The project does not have any adverse effects on specified habitat sites of rare vertebrate or invertebrate species. There are no species listed in this area. See the attached map.

2.0 Land Subject to Coastal Storm Flowage

Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRM) for the city of Boston FEMA Community Panel Map Number 25025C0081J was reviewed. As per review of the FIRM map, the project is located in Zone AE (EL. 10.0 in reference to NAVD88) of this resource area.

Land Subject to Coastal Storm Flowage is defined in 310 CMR 10.04 as the “land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater”. The project falls into the AE Zone, meaning the elevation of water will be, as noted on the FEMA map, EL. 10.0 in reference to NAVD88. The entire project falls below this elevation. The project does not alter or affect, in any way, the ability of the seawall, or waterfront area, to control coastal flooding or impede its ability to prevent coastal storm damage. The CZM Coastal Manual states “may deflect, reflect, and redirect storm waves, affecting adjacent properties, landward areas, and the subject property with wave energy, overwash, and flood waters”.

This project involves typical maintenance repairs and the jacketing of existing piles. The project has had no adverse effects on the neighboring properties or the channel as a whole in regards to wave action or coastal flooding.

The CZM Coastal Manual also states “When Commissions determine that land subject to coastal storm flowage overlays other resource areas listed in the Regulations, the applicable performance standards for each resource area should be applied and the project should be appropriately conditioned to protect all stated interests”. This project, as noted above, meets all of the performance standards for the resource areas.

3.0 Waterfront Area

Waterfront Area is defined in the Boston Wetlands Ordinance as started below:

The portion of the buffer zone which extends twenty-five (25) feet horizontally from the edge of the following wetland resource areas:

1. Any coastal beach, dune, bank, tidal flats, rocky intertidal shores, salt marshes or land containing shellfish; or

2. Any inland bank, lake, pond, intermittent stream, brook, creek or riverfront area.

In this case, the Waterfront Area applies to the area that extends 25 feet horizontally from the edge of the coastal bank that is the seawall under the piers.

3.1 Performance Standards

There are not set performance standards listed in the Boston Wetlands Ordinance. However, there is the requirement that public access to the waterfront is maintained. This project should not impede public access to the waterfront.

C. Other Applicable Standards and Requirements

7. *Is this project subject to provisions of the MADEP Stormwater Management Standards?*

This project is not subject to the provisions of the MADEP Stormwater Management Standards. The Standards are not applicable to this project since no stormwater is generated and the project will not alter or have any impact to any resource area.

D. Additional Information

1. *USGS Map is included in Appendices.*
2. *A site plan with proposed activities is included in the submitted drawing set.*
3. *Method for BVM:*

BVM and other resource area boundary delineations were identified by visual observation.

4. *Plan Information:*

<u>Plan Title</u>	<u>Date</u>
M-01 Site Plan	2022
M-02 North Wharf Repair Plan	2022
M-03 Central and South Wharf Repair Plan	2022
M-04 Repair Details	2022
M-05 Floating Dock Replacement	2022
SK-01 Alt Pile Jacket	2022
SK-02 New Gangway Landing	2022

**Abutters List, Affidavit of Service
and Abutter Notification**

2012 IRREVOCABLE TRUST FOR
357 COMMERCIAL #106
BOSTON, MA 02109

257 COMMERCIAL STREET UNIT
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357 SANCOMM 414 LLC
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357-5 COMMERCIAL FOTI REALTY TRUST
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604 LINCOLN WHARF REALTY TRUST
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DE PALMA LUIGI
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DECHRISTOFORO JANINE TS
C/O JANINE DECHRISTOFORO
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C/O SALVATORE DIECIDUE
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343 COMMERCIAL ST #405
BOSTON, MA 02109

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C/O PAUL W DIMAURA
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**AFFIDAVIT OF SERVICE
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act
and Boston Wetlands Ordinance**

I, _____, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A _____ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by _____ for _____ located at _____.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Name

Date



City of Boston
Environment



City of Boston
Mayor Martin J. Walsh

NOTIFICATION TO ABUTTERS BOSTON CONSERVATION COMMISSION

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. **Burroughs Wharf** has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is **50 Battery Street, Boston, MA.**

C. We are requesting the Order of Conditions be Amended to change the jacketing method from form fitting H-pile shaped jackets with a 1 inch (min) epoxy fill to cylindrical jackets with 3 inch (min) concrete fill beyond the edges of the pile. The pile jackets themselves will remain fiberglass. Additionally, it has been decided that the piles will extend full length down to the mudline. In our original NOI Application, we presented two length options for the jackets; one extending down to the mudline, and one down to -4' (MLW).

An additional change to the project is the addition of replacing an existing timber landing located at the top of the gangway for the floating dock to be replaced. This replacement will be in-kind except for the material type to be used for the decking which will be a composite decking material rather than timber like the existing structure. As part of this repair the two existing timber piles supporting the timber landing will be removed and replaced in-kind.

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at CC@boston.gov.

E. Copies of the Notice of Intent may be obtained from **Ryan Young (Representative) at youngr@childseng.com** between the hours of **8am to 4pm, Monday through Friday.**

F. In accordance with the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205- 6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing CC@boston.gov or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday.**

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald.**

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on www.boston.gov/public-notice and in Boston City Hall not less than forty-eight (48) hours in advance.

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201.

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

CITY of BOSTON

1 CITY HALL SQUARE BOSTON, MA 02201-2021 | ROOM 709 | 617-635-3850 | ENVIRONMENT@BOSTON.GOV



BABEL NOTICE

English:

IMPORTANT! This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at cc@boston.gov or 617-635-3850.

Spanish:

¡IMPORTANTE! Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico cc@boston.gov o llamando al 617-635-3850.

Haitian Creole:

AVI ENPÒTAN! Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan cc@boston.gov oswa 617-635-3850.

Traditional Chinese:

非常重要！這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 cc@boston.gov 電話# 617-635-3850..

Vietnamese:

QUAN TRỌNG! Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ cc@boston.gov hoặc số điện thoại 617-635-3850.

Simplified Chinese:

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Cape Verdean Creole:

INPURTANTI! Es dukumentu ó aplikason ten **informason inpurtanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na cc@boston.gov ó 617-635-3850.

Arabic:

مهم! يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائده. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على cc@boston.gov أو 617-635-3850.

Russian:

ВАЖНО! В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты cc@boston.gov, либо по телефону 617-635-3850.

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IMPORTANTE! Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: cc@boston.gov ou 617-635-3850.

French:

IMPORTANT ! Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à cc@boston.gov ou au 617-635-3850.





**NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES
COMISIÓN DE CONSERVACIÓN DE BOSTON**

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. **BURROUGHS WHARF CONDOMINIUM TRUST** ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es **50 Battery Street, Boston, MA 02109**.

C. Solicitamos que se modifique el Pliego de Condiciones para cambiar el método de encamisado, pasando de encamisados en forma de H con un relleno de epoxi de 1 pulgada (como mínimo) a encamisados cilíndricos con un relleno de hormigón de 3 pulgadas (como mínimo) que sobrepase los bordes del pilote. Las camisas de los pilotes seguirán siendo de fibra de vidrio. Además, se ha decidido que los pilotes se extenderán en toda su longitud hasta el lecho marino. En nuestra solicitud original de NOI, presentamos dos opciones de longitud para las camisas: una que se extiende hasta el lecho marino y otra hasta -4' (MLW).

Un cambio adicional en el proyecto es la adición de la sustitución del rellano de madera existente situado en la parte superior de la pasarela para el muelle flotante que se va a sustituir. Esta sustitución se hará tal cual, a excepción de la clase de material que se utilizará para el entarimado, que será un material de entarimado compuesto y no de madera como la estructura existente. Como parte de esta reparación, se retirarán los dos pilotes de madera existentes que soportan el rellano de madera y se sustituirán por otros de la misma clase.

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en CC@boston.gov.

E. Las copias de la notificación de intención pueden obtenerse en **Ryan Yo n Re resentat e yo n r ldsen . o** entre las **a to** , Monday through Friday.

F. De acuerdo con el Decreto Ejecutivo de le Mancomunidad de Massachusetts que suspende ciertas disposiciones de la Ley de reuniones abiertas, la audiencia pública se llevará a cabo virtualmente en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 y usar como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Co s n de Conser a n de Boston** por correo electrónico a CC@boston.gov o llamando al **1 5 1** entre las **9 AM y las 5 PM, de l nes a ernes**.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en www.boston.gov/public-notices y en el Ayuntamiento de Boston con no menos de cuarenta y ocho (48) horas de antelación. Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.

NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en CC@boston.gov antes de las 12 PM del día anterior a la audiencia.

TRANSLATION CERTIFICATE

I, Muneebur Rahman, certify to the best of my knowledge and belief that the following is a true and accurate translation of the below-mentioned document(s) from English to Spanish completed under my supervision this 4th day of May, 2022.

Description of document(s): Burroughs Wharf Amendment

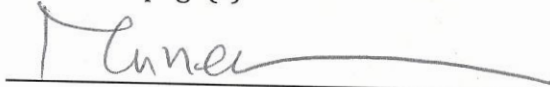
Number of pages: 3

Including --

Translation certificate: 1 page

Translation: 1 page(s)

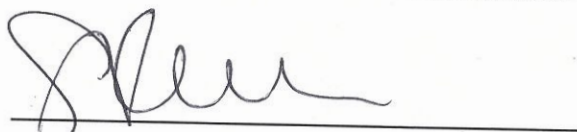
Source: 1 page(s)



SIGNATURE



On this 4th day of May, 2022, before me, the undersigned notary public, personally appeared Muneebur Rahman who proved to me through satisfactory evidence of identification, which was Massachusetts driver's license, to be the person who signed the above statement in my presence.



NOTARY PUBLIC'S SIGNATURE & SEAL



Solicitamos que se modifique el Pliego de Condiciones para cambiar el método de encamisado, pasando de encamisados en forma de H con un relleno de epoxi de 1 pulgada (como mínimo) a encamisados cilíndricos con un relleno de hormigón de 3 pulgadas (como mínimo) que sobrepase los bordes del pilote. Las camisas de los pilotes seguirán siendo de fibra de vidrio. Además, se ha decidido que los pilotes se extenderán en toda su longitud hasta el lecho marino. En nuestra solicitud original de NOI, presentamos dos opciones de longitud para las camisas: una que se extiende hasta el lecho marino y otra hasta -4' (MLW).

Un cambio adicional en el proyecto es la adición de la sustitución del rellano de madera existente situado en la parte superior de la pasarela para el muelle flotante que se va a sustituir. Esta sustitución se hará tal cual, a excepción de la clase de material que se utilizará para el entarimado, que será un material de entarimado compuesto y no de madera como la estructura existente. Como parte de esta reparación, se retirarán los dos pilotes de madera existentes que soportan el rellano de madera y se sustituirán por otros de la misma clase.



We are requesting the Order of Conditions be Amended to change the jacketing method from form fitting H-pile shaped jackets with a 1 inch (min) epoxy fill to cylindrical jackets with 3 inch (min) concrete fill beyond the edges of the pile. The pile jackets themselves will remain fiberglass. Additionally, it has been decided that the piles will extend full length down to the mudline. In our original NOI Application, we presented two length options for the jackets; one extending down to the mudline, and one down to -4' (MLW).

An additional change to the project is the addition of replacing an existing timber landing located at the top of the gangway for the floating dock to be replaced. This replacement will be in-kind except for the material type to be used for the decking which will be a composite decking material rather than timber like the existing structure. As part of this repair the two existing timber piles supporting the timber landing will be removed and replaced in-kind.



May 20, 2022

Nicholas Moreno
Boston Conservation Commission
1 City Hall Square, Room 709
Boston, MA 02201

Re: Burroughs Wharf – OOC Amendment Application

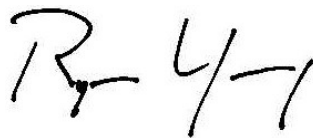
Dear Mr. Moreno,

On behalf of our Client, Burroughs Wharf Condominium Trust, enclosed please find an updated set of plans with the requested changes as well as a check for the application fee. The project location is 50 Battery Street on Burroughs Wharf on Boston Harbor. The project consists of repairing the jacketing of the existing piles on the South, Central, and Northern Wharves with concrete leave-in-place fiberglass jackets; replacing an existing floating dock in-kind; and cleaning and patching spalls on the concrete deck, beams, and pile caps.

If you have any questions or require additional information, please do not hesitate to contact the undersigned at youngr@childseng.com.

Respectfully submitted,

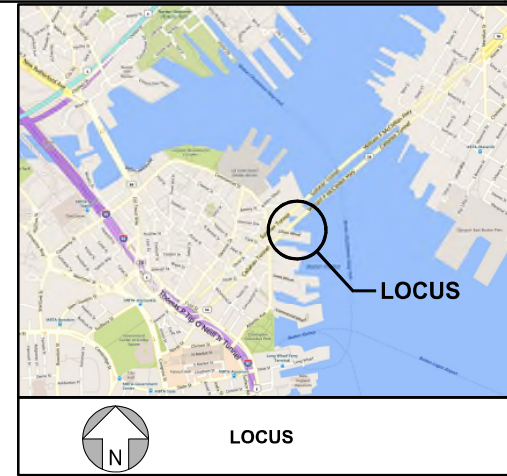
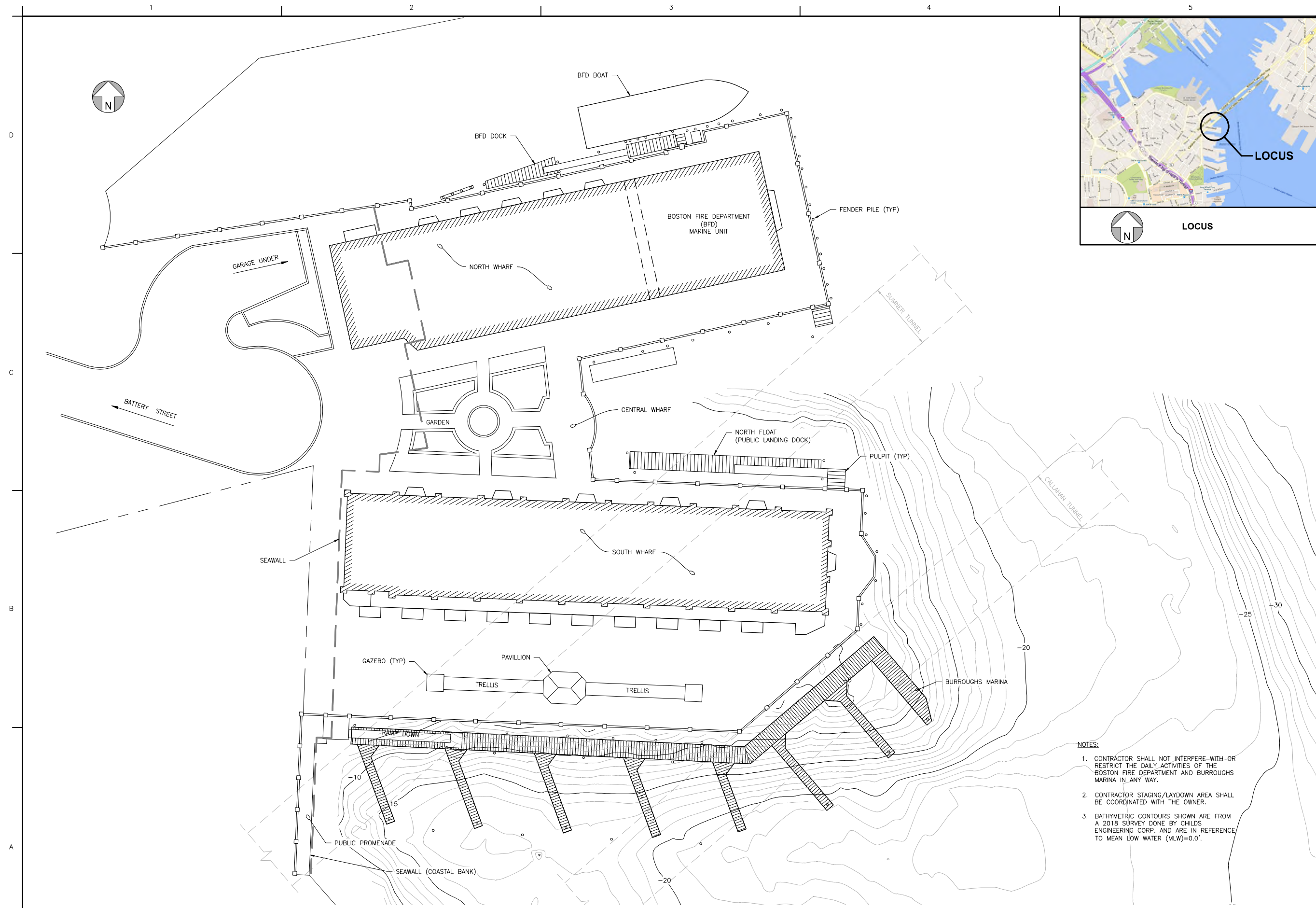
CHILDS ENGINEERING CORPORATION



Ryan P. Young

cc:
DEP Northeast Regional Office
Division of Marine Fisheries

K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-02 SITE PLAN.DWG Feb 18, 2022 - 12:41 pm



CHILDS ENGINEERING
 34 WILLIAM WAY, BELLINGHAM, MA 02018 U.S.A.
 Tel: (508) 548-1000
 Fax: (508) 548-1001
 E-mail: info@childsende.com

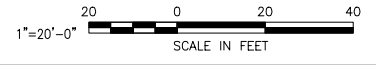


Mark	Description	Date	Appr.

Designed by:	RPY	Date:	02/01/22
Checked by:	TEO	Scale:	1"=20'-0"
Drawn by:	RPY	Project No.:	297421 M-02
Reviewed by:	CMR	Sheet:	2 of 8

- NOTES:**
- CONTRACTOR SHALL NOT INTERFERE WITH OR RESTRICT THE DAILY ACTIVITIES OF THE BOSTON FIRE DEPARTMENT AND BURROUGHS MARINA IN ANY WAY.
 - CONTRACTOR STAGING/LAYDOWN AREA SHALL BE COORDINATED WITH THE OWNER.
 - BATHYMETRIC CONTOURS SHOWN ARE FROM A 2018 SURVEY DONE BY CHILDS ENGINEERING CORP. AND ARE IN REFERENCE TO MEAN LOW WATER (MLW)=0.0'.

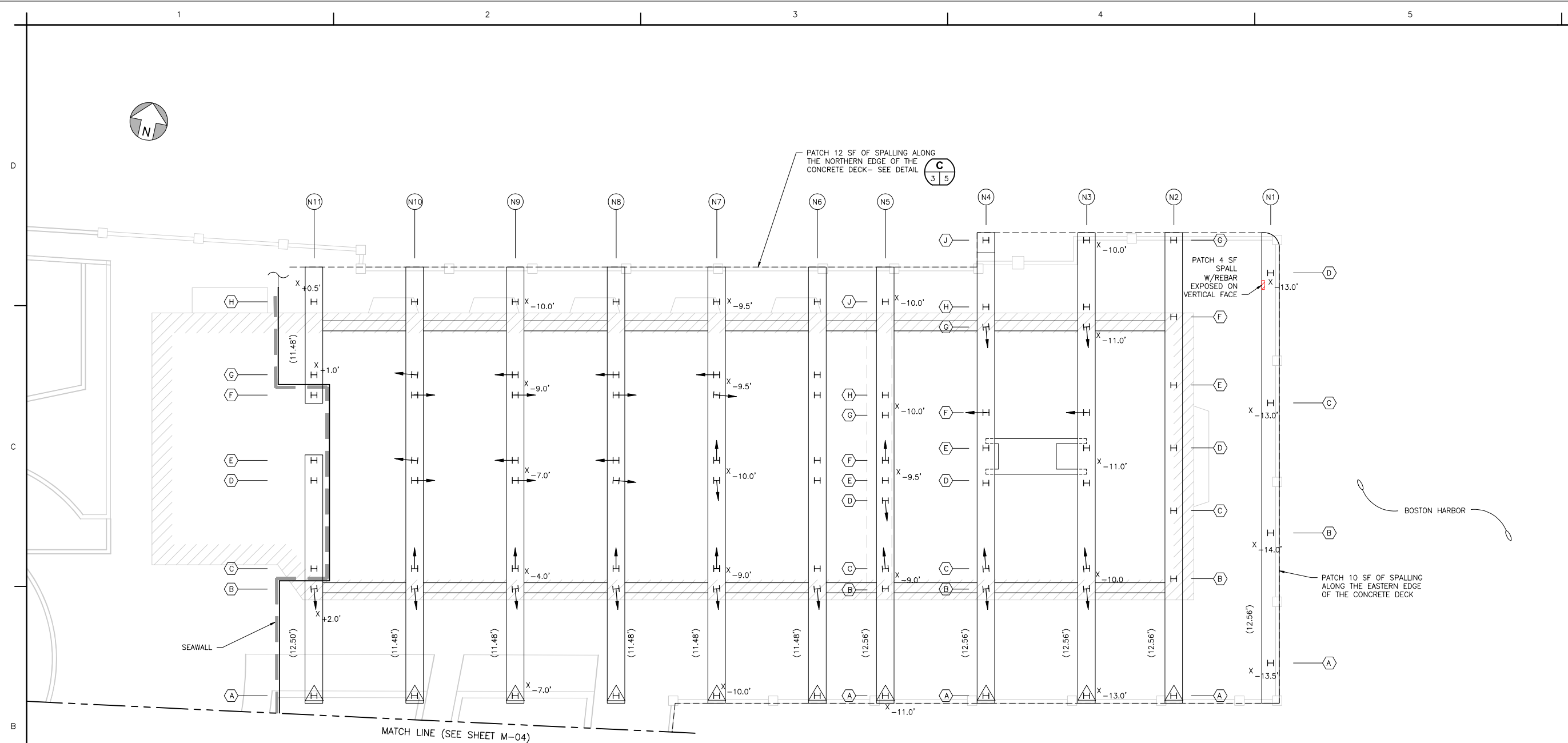
SITE PLAN
 SCALE: 1"=20'-0"



BURROUGHS WHARF WATERFRONT REPAIRS
 BURROUGHS WHARF CONDOMINIUM TRUST
 BOSTON, MA

SITE PLAN
 Sheet 2 of 8

GENERAL K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-03_M-04 PLANS.DWG May 20, 2022 - 11:12am



- NOTES:**
- 1.) FENDER SYSTEM AND FLOATING DOCKS NOT SHOWN FOR CLARITY.
 - 2.) RECOMMENDED REPAIRS BASED ON INSPECTION PERFORMED BY CHILDS ENGINEERING CORPORATION ON NOVEMBER 17, 2021.

PLAN - NORTH WHARF
SCALE: 1"=10'-0"

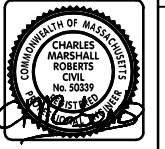
DATUM: BOSTON CITY BASE EL.= 0.0', MLW EL.= 1.14'

REFERENCE DRAWINGS:
MARINE STRUCTURAL DRAWINGS, SHEET NUMBER: MS 400 THROUGH MS 418, FOR BURROUGHS WHARF, BY PARSONS BRINKERHOFF, DATED AUGUST 3, 1988.

- LEGEND:**
- (N3) PILE BENT DESIGNATION
 - (D) PILE ROW DESIGNATION
 - H HP 14X117 STEEL BEARING PILES- TO BE JACKETED
 - ←H HP 14X117 STEEL BATTER PILES- TO BE JACKETED
 - △ HP 14X89 STEEL BEARING PILES- TO BE JACKETED
 - (12.56') ELEVATION IN FEET, BOTTOM OF CONCRETE PILE CAP IN REFERENCE TO BOSTON CITY BASE EL.= 0.0'
 - CONCRETE CAP/BEAM REPAIR LOCATION SEE DETAIL B 3 5
 - X -13.0' APPROXIMATE MUDLINE ELEVATION IN REFERENCE TO BOSTON CITY BASE EL.= 0.0'



CHILDS ENGINEERING
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
(508) 548-1100
E-mail: info@childsend.com



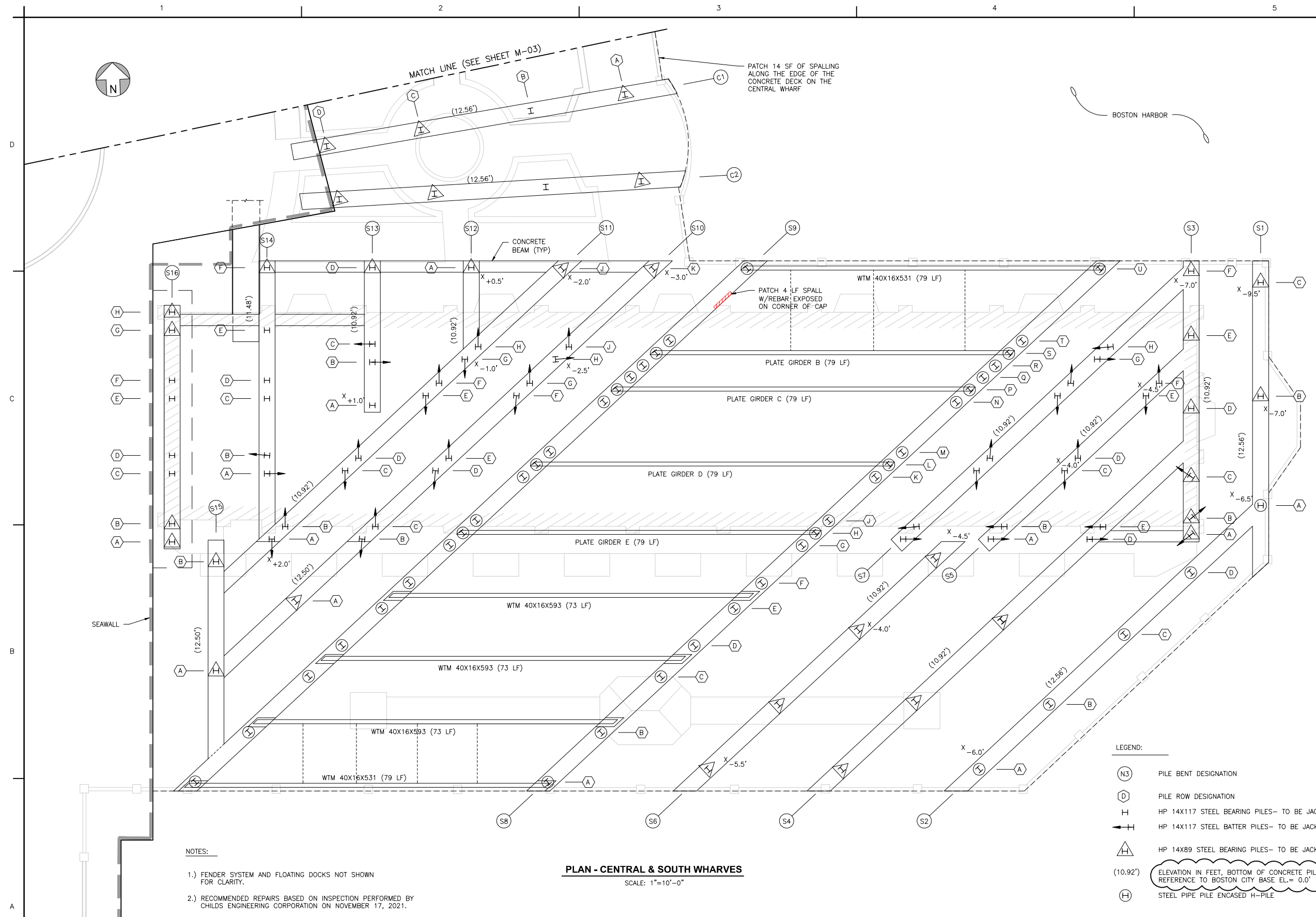
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1	DATA REFERENCE CORRECTION	5/20/22 CMR	

Designed by:	RPY	Date:	02/01/22
Drawn by:	TEO	Scale:	1"=10'-0"
Checked by:	RPY	Sheet No.:	297421 M-03
Reviewed by:	CMR		

BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA
NORTH WHARF REPAIR PLAN

Sheet reference number:
M-03
Sheet 3 of 8

GENERAL K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-03_M-04 PLANS.DWG May 20, 2022 - 11:12am



- NOTES:**
- 1.) FENDER SYSTEM AND FLOATING DOCKS NOT SHOWN FOR CLARITY.
 - 2.) RECOMMENDED REPAIRS BASED ON INSPECTION PERFORMED BY CHILDS ENGINEERING CORPORATION ON NOVEMBER 17, 2021.

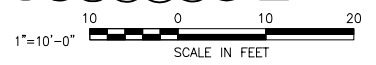
PLAN - CENTRAL & SOUTH WHARVES
SCALE: 1"=10'-0"

DATUM: BOSTON CITY BASE EL. = 0.0', MLW EL. = 1.14'

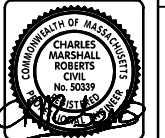
REFERENCE DRAWINGS:
MARINE STRUCTURAL DRAWINGS, SHEET NUMBER: MS 400 THROUGH MS 418, FOR BURROUGHS WHARF, BY PARSONS BRINKERHOFF, DATED AUGUST 3, 1988.

LEGEND:

- (N3) PILE BENT DESIGNATION
- (D) PILE ROW DESIGNATION
- H HP 14X117 STEEL BEARING PILES- TO BE JACKETED
- H HP 14X117 STEEL BATTER PILES- TO BE JACKETED
- H HP 14X89 STEEL BEARING PILES- TO BE JACKETED
- (10.92') ELEVATION IN FEET, BOTTOM OF CONCRETE PILE CAP IN REFERENCE TO BOSTON CITY BASE EL. = 0.0'
- (H) STEEL PIPE PILE ENCASED H-PILE
- Concrete cap/beam repair location SEE DETAIL (B)
- X -8.5' APPROXIMATE MUDLINE ELEVATION IN REFERENCE TO BOSTON CITY BASE EL. = 0.0'



CHILDS ENGINEERING
34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
Tel: (508) 548-1100
E-mail: info@childsend.com



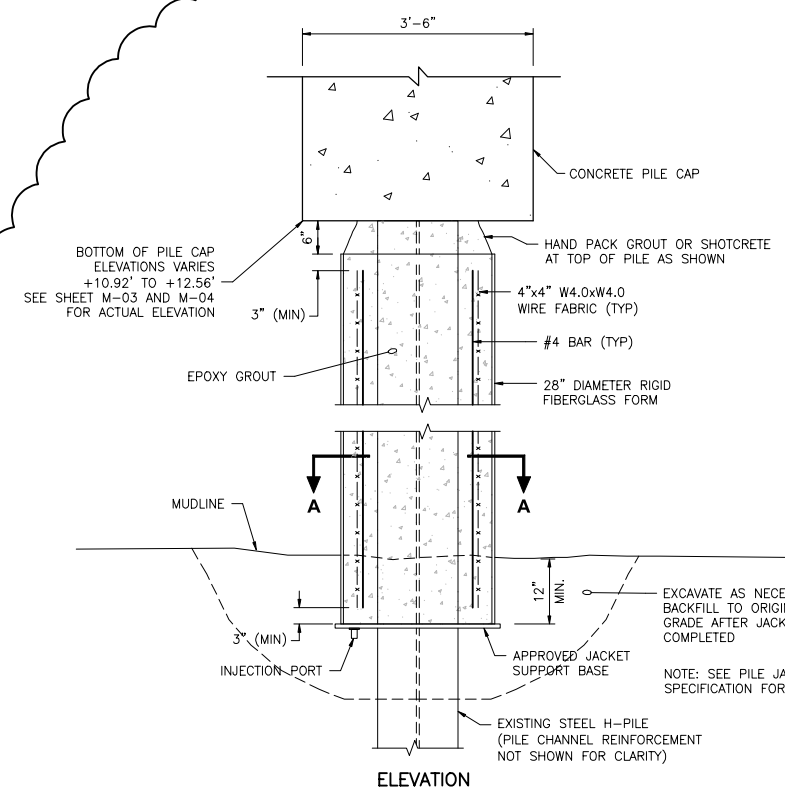
Mark	Description	Date	Appr.
1	DATA REFERENCE CORRECTION	5/20/22 CMR	

Drawn by:	TEO	Check by:	RPY	Date:	02/01/22
Designed by:	RPY	Scale:	1"=10'-0"	Sheet:	M-04
Reviewed by:	CMR	Project No.:	297421 M-04		

BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA
CENTRAL AND SOUTH WHARF
REPAIR PLAN

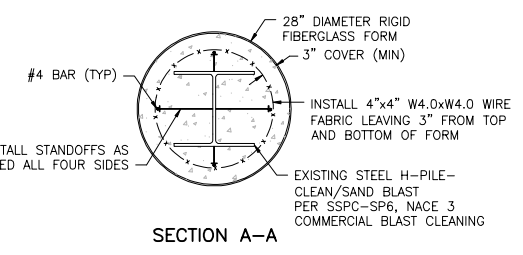
Sheet reference number:
M-04
Sheet 4 of 8

QUINN K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-05 DETAILS.DWG May 04, 2022 - 3:26pm

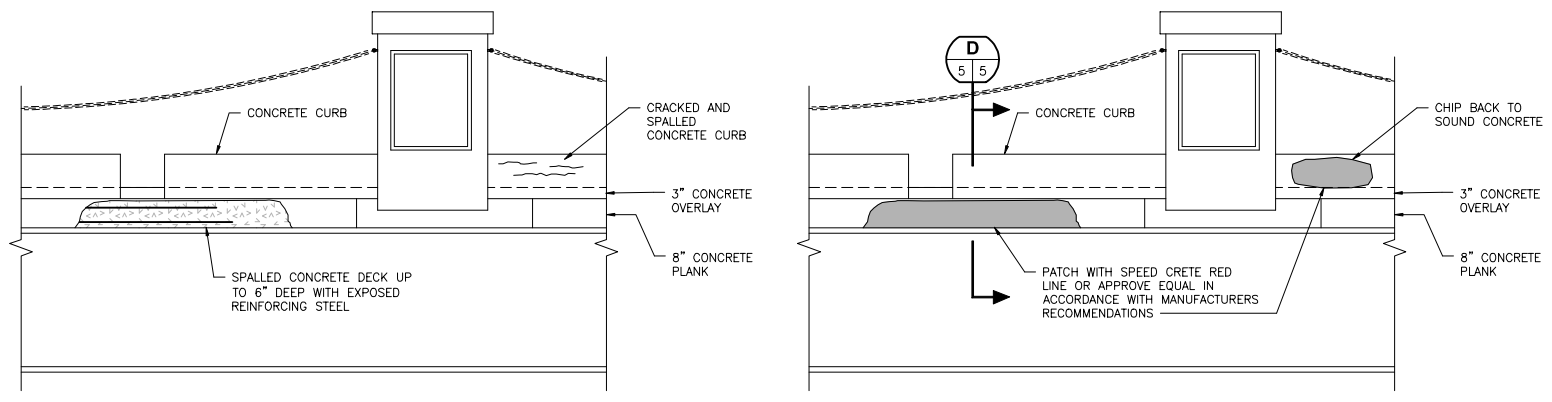


A H-PILE JACKETING DETAILS
SCALE: 3/4"=1'-0"

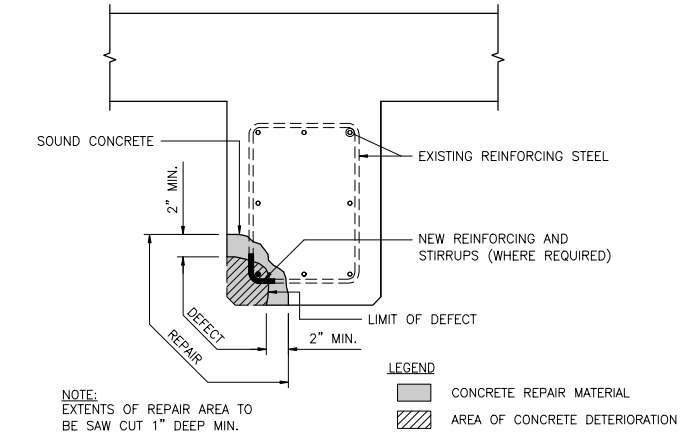
- NOTES**
1. REMOVE ALL LOOSE COATING, MARINE GROWTH, AND CORROSION FROM SURFACE OF PILE.
 2. SURFACE OF EXISTING STEEL PILE SHALL BE THOROUGHLY CLEANED TO PROVIDE SURFACE PROFILE NECESSARY TO MEET BONDING REQUIREMENTS.
 3. WHERE APPLICABLE, REMOVE EXISTING ANODES AND ANY OTHER HARDWARE THAT MAY INTERFERE OR PUNCTURE THE JACKET SHELL.
 4. THICKNESS OF JACKET AND EPOXY GROUT SHALL BE BASE ON THE MANUFACTURER'S RECOMMENDATIONS AND SHALL BE NO LESS THAN SHOWN ON THESE PLANS.
 5. LOCATION AND SPACING OF STANDOFFS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
 6. SIZE AND SPACING OF CONNECTION HARDWARE FOR THE FIBERGLASS JACKETS SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.



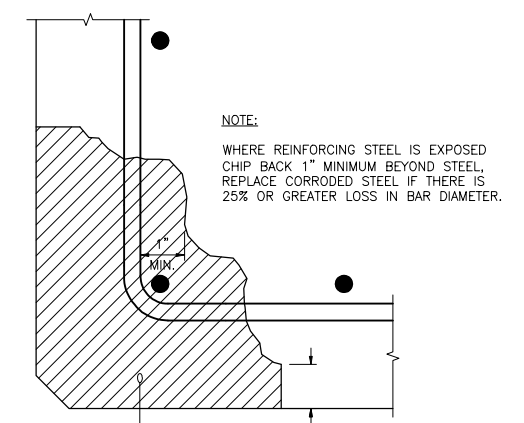
SECTION A-A



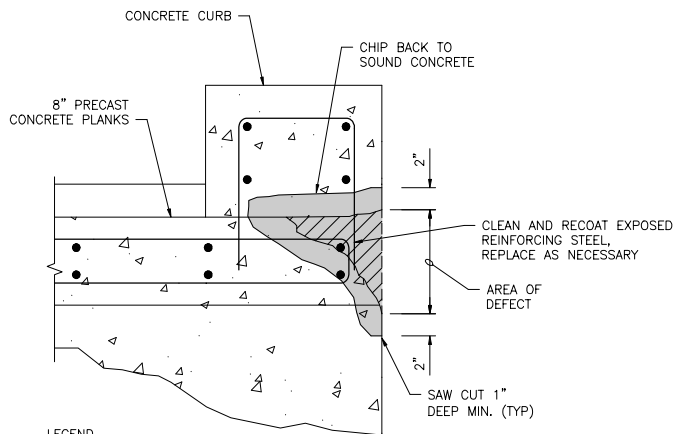
C ELEVATION @ DECK AND CURB SPALLS
SCALE: 1/2"=1'-0"



B EDGE SPALL REPAIR
SCALE: 1 1/2"=1'-0"



D SECTION
SCALE: 1 1/2"=1'-0"



D SECTION
SCALE: 1 1/2"=1'-0"

CHILDS ENGINEERING
34 WILLIAM WAY, BELLINGHAM, MA 02018 U.S.A.
Tel: (508) 548-1100
Fax: (508) 548-1101
E-mail: info@childsende.com

COMMONWEALTH OF MASSACHUSETTS
CHARLES MARSHALL ROBERTS
CIVIL No. 50339
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2025

Rev.	Description	Date	Appr.
1	AMENDMENT	5/04/22 CMR	

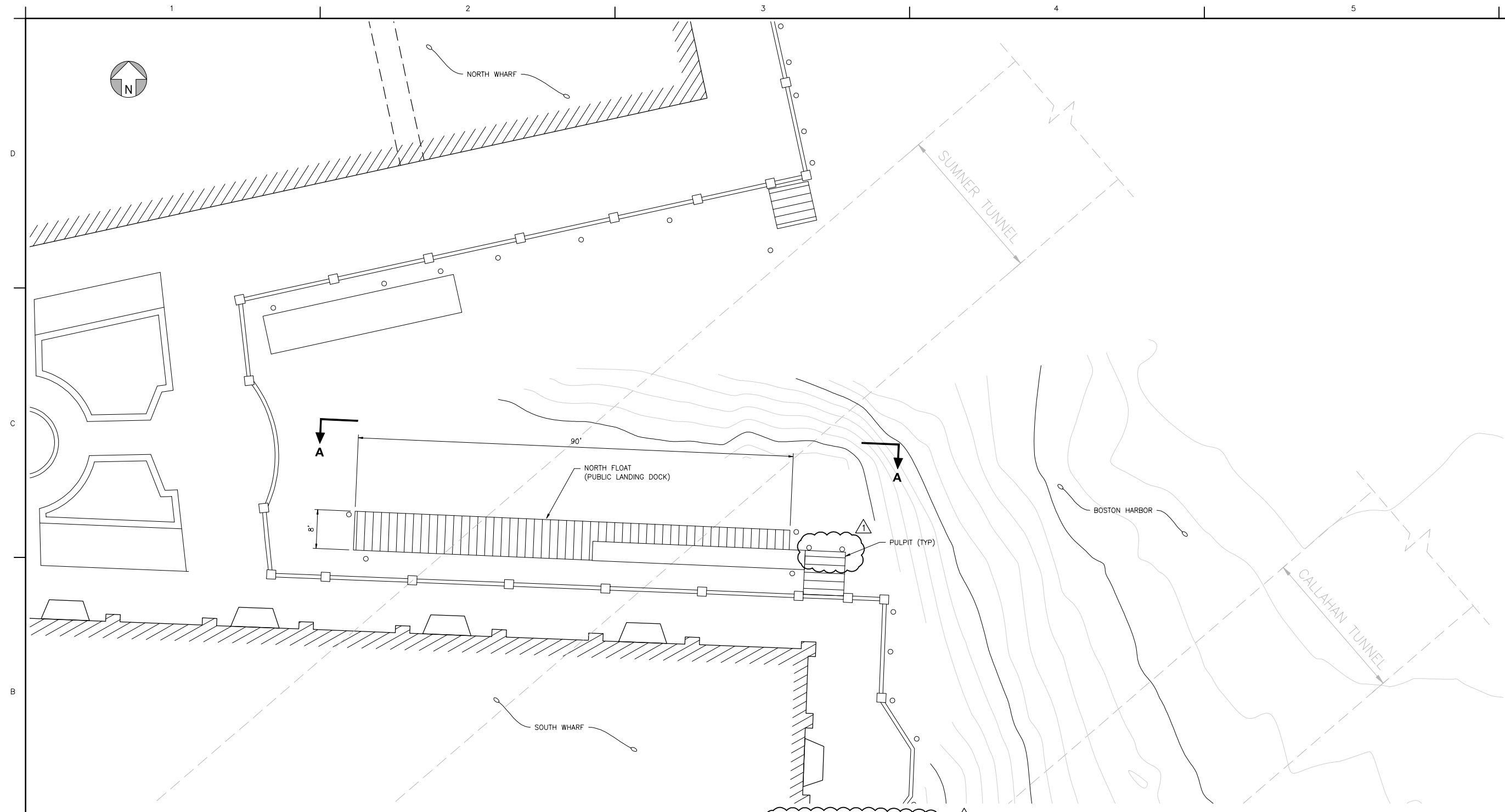
Designed by:	RPY	Date:	02/01/22
Drawn by:	TEO	Checked by:	RPY
Reviewed by:	CMR	Scale:	AS NOTED

BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF COMMONWEALTH TRUST
BOSTON, MA

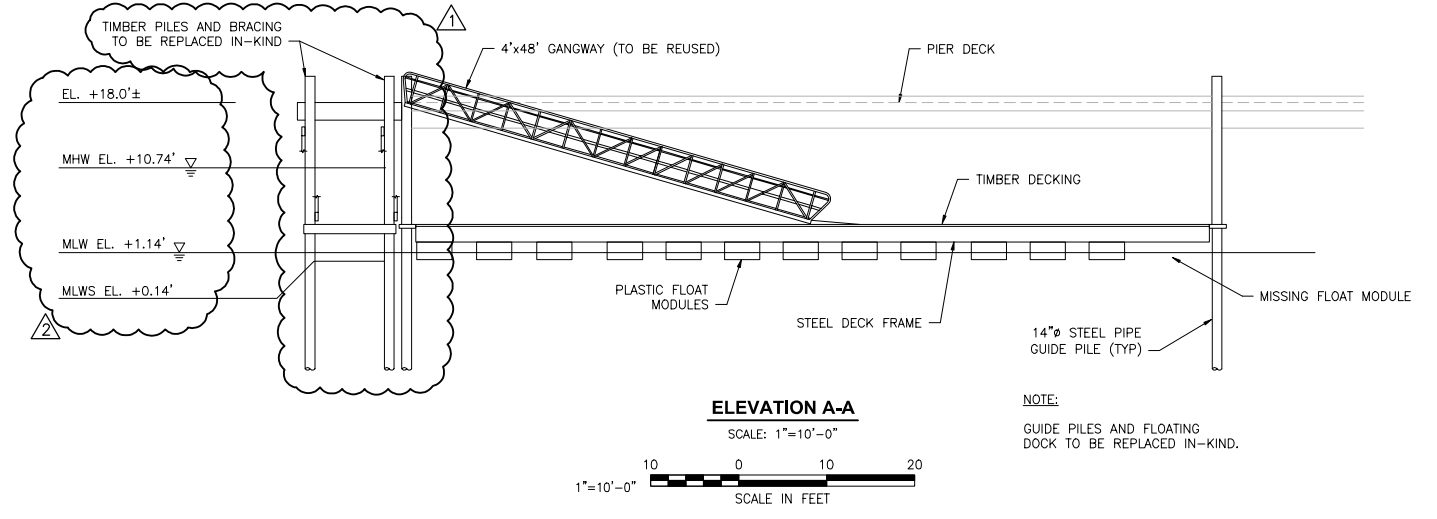
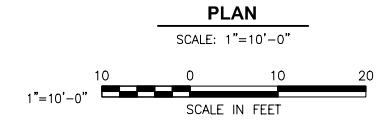
REPAIR DETAILS

Sheet reference number:
M-05
Sheet 5 of 8

QUINNT K:\2974-21.00 FILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-06 MARINA.DWG May 20, 2022 - 11:11am



- NOTES:**
1. CONTRACTOR SHALL NOT INTERFERE WITH OR RESTRICT THE DAILY ACTIVITIES OF THE BOSTON FIRE DEPARTMENT AND PUBLIC LANDING DOCK IN ANY WAY.
 2. CONTRACTOR STAGING/LAYDOWN AREA SHALL BE COORDINATED WITH THE OWNER.
 3. VERTICAL DATUM IS BOSTON CITY BASE (BCB) ELEVATION 0.0'



CHILDS ENGINEERING
34 WILLIAM WAY, BELLINGHAM, WA 98219 U.S.A.
Tel: (360) 738-8800
E-mail: info@childseng.com



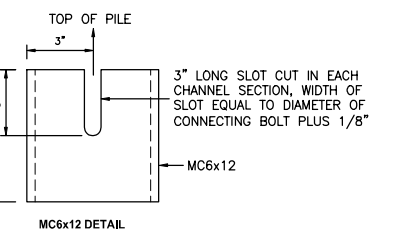
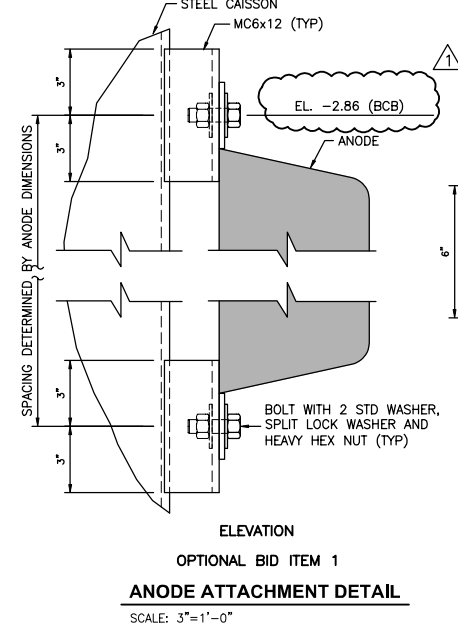
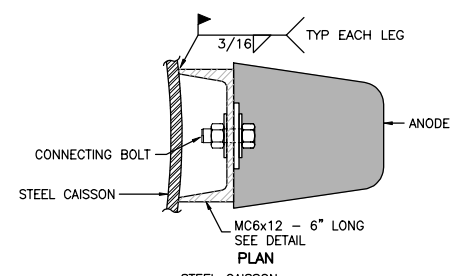
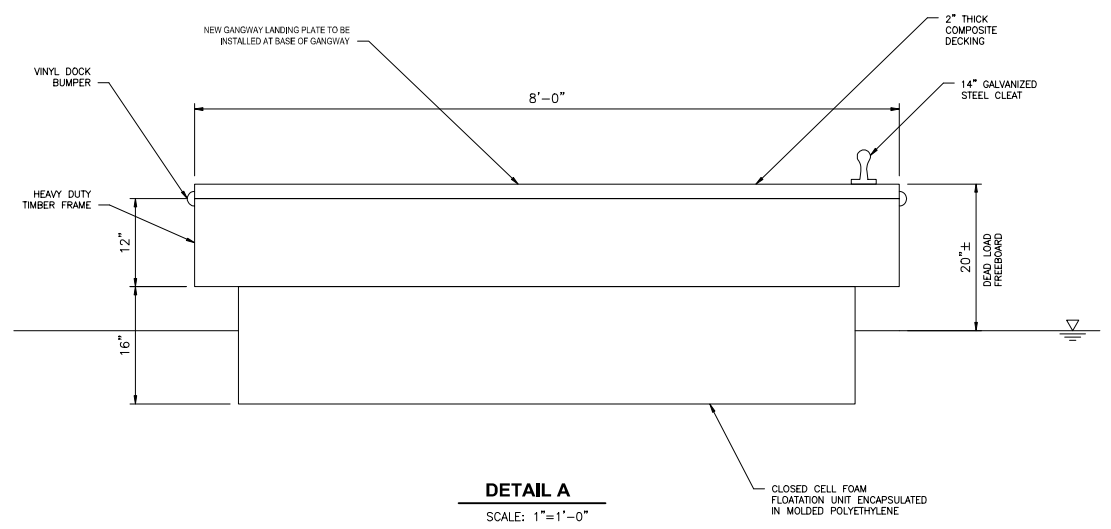
Mark	Description	Date	Appr.
2	DATUM CHANGED TO BOSTON CITY BASE	5/20/22	CMR
1	AMENDMENT	5/04/22	CMR

Drawn by:	RPY	Date:	02/01/22
Check by:	TEO	Scale:	AS NOTED
Reviewed by:	CMR	Project No.:	297421 M-06

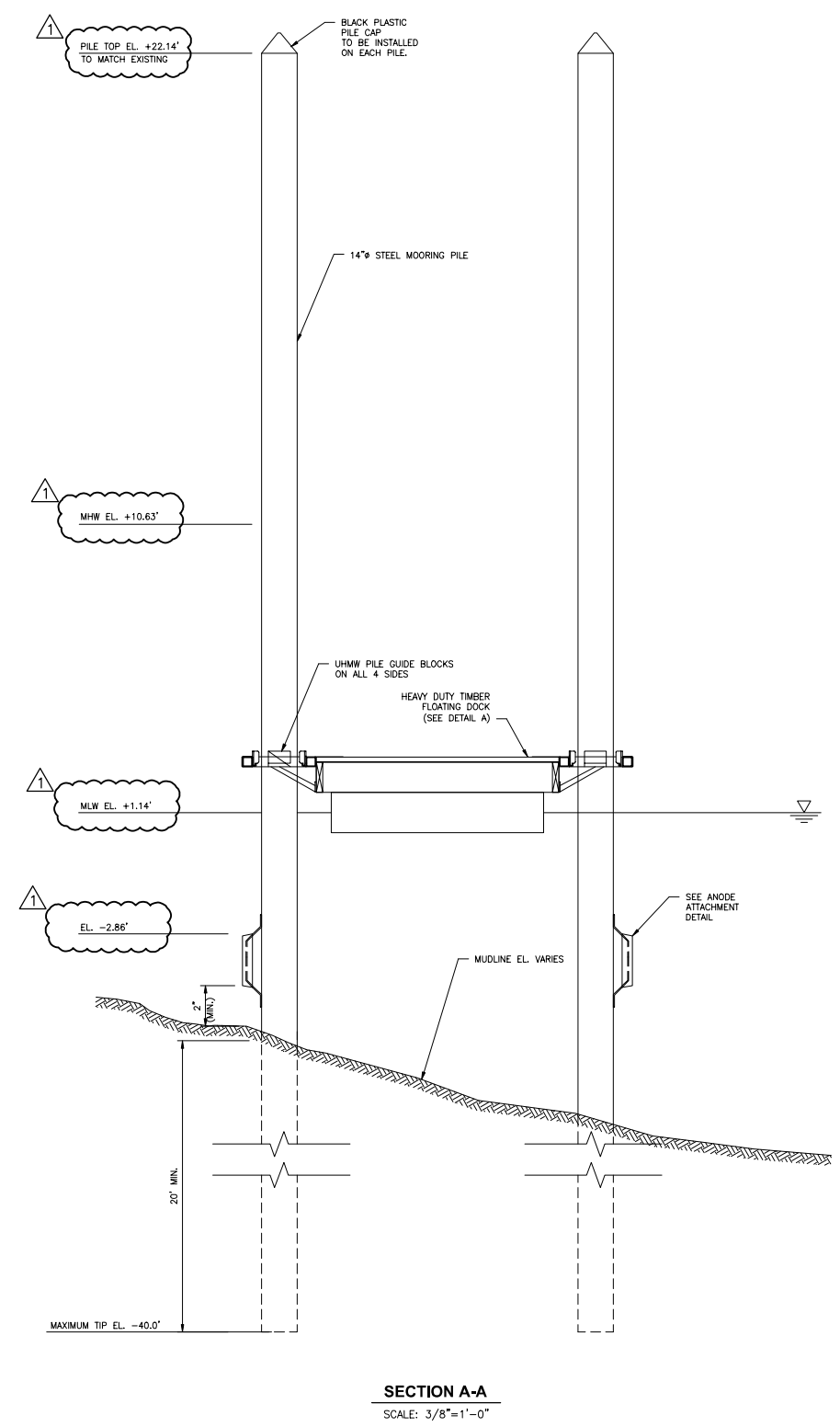
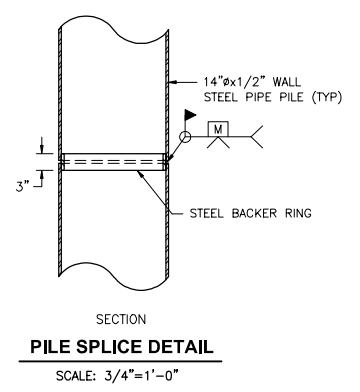
BURROUGHS WHARF WATERFRONT REPAIRS
BURROUGHS WHARF CONDOMINIUM TRUST
BOSTON, MA

FLOATING DOCK REPLACEMENT

QUINNT K:\2974-21.00 PILE JACKETING - BURROUGHS WHARF\CADD\CURRENT WORKING DWGS\297421 M-07 FLOATING DOCK DETAILS.DWG May 20, 2022 - 11:27am

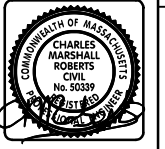


- NOTES:**
1. ALIGN CHANNEL WITH SLOT TOWARDS TOP OF PILE.
 2. CHANNEL SECTIONS TO BE UNCOATED.
 3. 2 ANODES REQUIRED PER CAISSON LOCATED ON OPPOSITE SIDES.
 4. CONNECTING BOLT AS REQUIRED BY MANUFACTURER, TACK WELD TO PREVENT LOOSENING.
 5. FOR DESCRIPTION OF ANODE SEE PROJECT SPECIFICATIONS.
 6. THE CONTRACTOR MAY USE EXISTING ANODE CONNECTION CHANNEL, IF AVAILABLE AND WHERE POSSIBLE.



- NOTES:**
1. VERTICAL DATUM IS BOSTON CITY BASE (BCB) ELEVATION 0.0'

CHILDS ENGINEERING
 34 WILLIAM WAY, BELLINGHAM, MA 02019 U.S.A.
 P: 603.751.1111
 F: 603.751.1112
 E: info@childseng.com



Mark	Description	Date	Appr.
1	DATUM CHANGED TO BOSTON CITY BASE	5/20/22 CMR	

Date: 02/01/22 Checked by: RPY Drawn by: TEQ Scale: AS NOTED	Project No.: 297421 M-07 Revision: CMR
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BURROUGHS WHARF WATERFRONT REPAIRS
 BURROUGHS WHARF CONDOMINIUM TRUST
 BOSTON, MA
PROPOSED SECTION AND DETAILS

Sheet reference number:
M-07
 Sheet 7 of 8

