

HANCOCK ASSOCIATES

Notice of Intent

For
Proposed Residential Building

59 Gove Street
Boston, Massachusetts

Prepared By:
HANCOCK ASSOCIATES

Prepared for:
Pine-Grove Construction, LLC

November 3, 2021

Hancock Job Number: 25194

DANVERS, MA
185 Centre Street
Danvers, MA 01923
Phone: 978-777-3050
Fax: 978-774-7816

MARLBOROUGH, MA
315 Elm Street
Marlborough, MA 01752
Phone: 508-460-1111
Fax: 508-460-1121

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Chelmsford, MA 01824
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PRINCETON, MA
P.O. Box 97
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SALEM, NH
P.O. Box 205
403 Main Street, Unit 202
Salem, NH 03079
Phone: 603-898-4701

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Project Description

HANCOCK ASSOCIATES

Surveyors | Engineers | Scientists

59 GOVE STREET
EAST BOSTON, MA

Project Overview

The purpose of this Notice of Intent filing is to request that the Boston Conservation Commission issue an Order of Conditions to permit the development on a vacant lot to a 4-unit dwelling. The site is within the 100-year coastal flood plain according to the site Firmette. Therefore, this site is classified as “Land Subject to coast Storm Flowage” so work on this site is governed by the Massachusetts Wetland Protection Act and the Boston Wetland Ordinance. The project is located at 59 Gove Street (Property ID 103848000). The Site Plan identifies the location of the proposed work.

Wetland Jurisdiction

As stated above the site is within the 100-year coastal flood plain according to the site Firmette. Therefore, this site is classified as “Land Subject to coast Storm Flowage.” Which is defined as:

“land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater.”

Thus, work on this site is governed by the Massachusetts Wetland Protection Act and the Boston Wetland Ordinance. The project is also within the 10% Annual Coastal Flood Event Zone according to the Climate Ready Boston Map for year 2050 and 2070.

Priority Habitats and Estimated Habitats of Rare Wildlife are not mapped on this parcel. The edge of Boston Harbor is approximately 1,600 ft from the parcel.

Again, this work is subject to the MA Wetlands Protection Act and the newly promulgated local wetland ordinance.

Existing Conditions

The project site is located on a 1,032 square foot parcel bounded by Gove Street to the northeast; the property of 61 Gove Street to the southeast; a rear alleyway to the southwest; and a shared drive and the property of 53 Chelsea Street to the northwest. A long slender parcel, the site is presently a vacant lot with approximately 19 ft of frontage on Gove Street.

The site slopes from northeast to southwest away from Gove Street. The high elevation onsite is along the Gove Street property line at 16± (Boston City Base), and 13.4± (BCC) is the low elevation

25194-Boston-Project Description 2021-11-03.docx

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BOSTON, CHELMSFORD, DANVERS, MARLBOROUGH, NEWBURYPORT, PRINCETON, MA | SALEM, NH

onsite at the southwest property line. Land cover on the parcel is gravel with some vegetation growing in the rear of the site.

Proposed Conditions

The Applicant proposes to construct a 4-unit brownstone development in the East Boston neighborhood on a vacant lot. The proposed development will also include a subsurface stormwater recharge system on the southwest side of the proposed building which will capture the stormwater runoff from all impervious areas on-site. The proposed recharge system is designed to recharge 1-inch-acre of rainfall for each acre of impervious area on-site as per BWSC requirement.

Climate Resiliency

The effect that projected sea level rise, changes in storm intensity and frequency, and other consequences of climate change may have on resource areas and the activities proposed in the permit application

The project site, like all sites in the City of Boston will be impacted by climate change in many ways. Sea level rise, extreme weather events, rising surface temperatures, and droughts all impact the design considerations for the project.

In particular, Land Subject to Coastal Storm Flowage are most susceptible to sea level rise, extreme weather events, and a combination of both. The project site is subject to the 1% annual coastal flood event according to the current FEMA flood map for the area. It can be assumed that sea level rise will have further impacts to the project site. The Climate Ready Boston Map indicates there will be coastal flooding of the project site in the 2030's 1% Annual Coastal Flood Event; and 2050's, or 2070's 10% Annual Coastal Flood Event.

As global temperatures continue to rise, storm intensity and frequency will accordingly increase. Therefore, living spaces are designed to be one foot above the flood plain. No basement is proposed due to the flood plain elevation. Also, all mechanical equipment will be located in the units themselves – above the 100-year flood elevation.

As a rowhouse project, there is virtually no space for landscaping or pervious land cover such as pervious pavers. All stormwater onsite from impervious areas is directed to the onsite stormwater infiltration system that provides storm and flood water volume equal to 1-inch per impervious area from the project site. The infiltration system is designed with inspection ports for maintenance access and the operation and maintenance plan includes a cleaning schedule for the system. This will minimize the chance of failure in the long term.

Composed of modular units, the infiltration system has been designed such that it can be expanded in the future to meet new design considerations caused by climate change.

The project is a small 4-unit brownstone that takes up almost the entire lot. To minimize the heat island effect, the architect is proposing a roof deck with lighter colored pavers in lieu of a conventional black roof. The architectural plan also calls for small potted juniper trees along the edge of the roof line.

Means and Methods

Although the means and methods of construction will be finalized by the contractor, the anticipated schedule would be to first install the erosion control and contact the Conservation Commission prior to any excavation. The proposed footings will be excavated and constructed along with the foundation walls. The building would be backfilled with clean fill to the proposed bottom of slab elevation. Utilities will be installed from the street and backfilled (provided no heavy rains occurred or are forecasted within 3 days of the excavation). The structure will continue to be built followed by the interior finishes and final permit closeout requirements.

For climate resiliency, the first-floor elevation is set one foot above the flood plain and the subsurface infiltration system, the project will incorporate interior mitigation methods into the project design. No basement is proposed due to the flood plain elevation.

Performance Standards

Land Subject to Coastal Storm Flowage

As noted in the wetland resource area section, the site is Land Subject to Coastal Storm Flowage (elevation 16.46 BCB). The first-floor elevation was set one foot above the flood elevation at elevation 17.50 BCB.

Land Subject to Coastal storm Flowage comes under the Jurisdiction of Massachusetts Department of Environmental Protection (310 CMR 10.02(1)(d)) and the City of Boston Conservation Commission (M.G.L. c. 131, § 40). It should be noted that there are few performance standards for Land Subject to storm flowage under the MassDEP regulations and this project will comply with the more stringent City of Boston Wetland Ordinance standards.

MassDEP Standards

10.02 (2)(a) *Activities Within the Areas Subject to Protection under M.G.L. c. 131, § 40. Any activity proposed or undertaken within an area specified in 310 CMR 10.02(1), which will remove, fill, dredge or alter that area, is subject to Regulation under M.G.L. c. 131, § 40 and requires the filing of a Notice of Intent.*

As required, this Notice of intent was created because the 59 Gove Street property occupies Land Subject to Coastal Storm Flowage, an area subject to protection under M.G.L. c. 131 § 40.

10.05(6)(k) *No Area Subject to Protection under M.G.L. c. 131, § 40 other than bordering land subject to flooding, isolated land subject to flooding, land subject to coastal storm flowage, or riverfront area may be altered or filled for the impoundment or detention of stormwater, the control of sedimentation or the attenuation of pollutants in stormwater discharges, and the applicable performance standards shall apply to any such alteration or fill.*

As stated above, Land Subject to Coastal Storm Flowage is not subject to restrictions to alteration of land with regards to the impact flood water displacement.

10.05(6)(l)(3) *The Stormwater Management Standards shall not apply to: Multi-family housing development and redevelopment projects, with four or fewer units, including condominiums, cooperatives, apartment buildings and townhouses, Effective 10/24/2014 310 CMR: DEPARTMENT OF ENVIRONMENTAL PROTECTION provided that there are no stormwater discharges that may potentially affect a critical area;*

This project will include four units. Therefore, the compliance with the MassDEP stormwater management standards is not required. The project will incorporate a subsurface stormwater management system and maintenance plan for compliance with City of Boston standards

10.21 Introduction *310 CMR 10.21 through 10.37 apply to all work subject to M.G.L. c. 131, § 40, M.G.L. c. 131, § 40, which will alter, dredge, fill, or remove any coastal beach, coastal dune, tidal flat, coastal wetland, land subject to coastal storm flowage, coastal bank, land subject to tidal action, or land under an estuary, under a salt pond, under the ocean or under certain streams, ponds, rivers, lakes or creeks within the coastal zone that are anadromous/catadromous fish runs... The proponent of the work must submit sufficient information to enable the issuing authority to determine whether the proposed work will comply with 310 CMR 10.21 through 10.37.*

MassDEP does not include a separate section for performance standards for Land Subject to Storm Flowage. Therefore, Boston Wetlands Ordinance Standards for Land Subject to Storm Flowage will be followed.

Boston Wetlands Ordinance Standards

Section XVIII. Land Subject to Coastal Storm Flowage

B. Special Considerations for Sea Level Rise and other Impacts of Climate Change.

See the Climate Resiliency section.

WPA Form 3 - Notice of Intent



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number
Document Transaction Number
Boston
City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>59 Gove Street</u> a. Street Address	<u>East Boston</u> b. City/Town	<u>02128</u> c. Zip Code
<u>Latitude and Longitude:</u>	<u>42.3710</u> d. Latitude	<u>71.0369</u> e. Longitude
<u>f. Assessors Map/Plat Number</u>	<u>0103848000</u> g. Parcel /Lot Number	

2. Applicant:

<u>Adam</u> a. First Name	<u>Cutter</u> b. Last Name	
<u>59 Gove Street, LLC</u> c. Organization		
<u>46 Pine Gove St.</u> d. Street Address		
<u>Needham</u> e. City/Town	<u>MA</u> f. State	<u>02494</u> g. Zip Code
<u>781-690-2720</u> h. Phone Number	<u>i. Fax Number</u>	<u>adamcutter1@gmail.com</u> j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

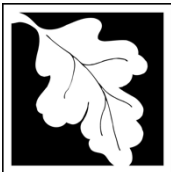
<u>a. First Name</u>	<u>b. Last Name</u>	
<u>c. Organization</u>		
<u>d. Street Address</u>		
<u>e. City/Town</u>	<u>f. State</u>	<u>g. Zip Code</u>
<u>h. Phone Number</u>	<u>i. Fax Number</u>	<u>j. Email address</u>

4. Representative (if any):

<u>David</u> a. First Name	<u>White</u> b. Last Name	
<u>Hancock Associates, Inc.</u> c. Company		
<u>121 East Berkeley Street</u> d. Street Address		
<u>Boston</u> e. City/Town	<u>MA</u> f. State	<u>02118</u> g. Zip Code
<u>617-357-8145</u> h. Phone Number	<u>i. Fax Number</u>	<u>dwhite@hwmoore.com</u> j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$2015.50</u> a. Total Fee Paid	<u>\$512.50</u> b. State Fee Paid	<u>\$1500.00 + \$550.00 =</u> <u>\$2,050.00</u>
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A. General Information (continued)

6. General Project Description:

The purpose of this Notice of Intent filing is to request that the Boston Conservation Commission issue an Order of Conditions to permit the development on a vacant lot to a 4-unit dwelling in that is within the 100-year flood plain under Wetland Protection Act and Boston Wetland Ordinance. The Site Plan identifies the location of the proposed work.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other 4 Unit Brownstone

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk	
a. County	b. Certificate # (if registered land)
55982	155
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	1,032	

	1. square feet	

4. Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- b. Date of map _____

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:
- (a) within wetland Resource Area _____ percentage/acreage
- (b) outside Resource Area _____ percentage/acreage
2. Assessor's Map or right-of-way plan of site
2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
- (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).
 Make check payable to “Commonwealth of Massachusetts - NHESP” and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
 Include copy of NHESP “no Take” determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP’s Boston Office. For coastal towns in the Southeast Region, please contact MassDEP’s Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC

- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan, 59 Gove Street, East Boston, MA

a. Plan Title

Hancock Associates

b. Prepared By

11/3/21

d. Final Revision Date

David White, P.E.

c. Signed and Stamped by

1"=10'

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

270

2. Municipal Check Number

203

4. State Check Number

Adam

6. Payor name on check: First Name

8/4/21

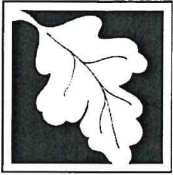
3. Check date

8/4/21

5. Check date

Cutter

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

<i>Adam Cutter</i>	dotloop verified 11/19/21 7:37 AM EST WE1P-USPV-HZVX-GSNE
--------------------	---

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

David Whit

11/17/21

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant	 <div data-bbox="1214 663 1370 709" style="float: right; font-size: small;"> dotloop verified 08/04/21 10:17 AM EDT 06EE-FFSU-74PL-TXNW </div>
3. Signature of Property Owner (if different)	 <div data-bbox="1214 732 1370 779" style="float: right; font-size: small;"> dotloop verified 08/04/21 10:00 AM EDT 5ZBF-D2HL-SWUO-HKMH </div>
5. Signature of Representative (if any)	 <div data-bbox="1187 785 1263 810" style="float: right;">4. Date</div> <div data-bbox="1187 814 1263 840" style="float: right;">8/9/21</div>
	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Boston Notice of Intent Form



A. GENERAL INFORMATION

1. Project Location

59 Gove Street	Boston	02128
_____	_____	_____
a. Street Address	b. City/Town	c. Zip Code
	0103848000	
_____	_____	_____
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

Adam	Cutter	59 Gove Street, LLC
_____	_____	_____
a. First Name	b. Last Name	c. Company
46 Pine Gove St.		

d. Mailing Address		
Needham	Massachusetts	02494
_____	_____	_____
e. City/Town	f. State	g. Zip Code
781-690-2720	adamcutter1@gmail.com	
_____	_____	_____
h. Phone Number	i. Fax Number	j. Email address

3. Property Owner

Adam	Cutter	59 Gove Street, LLC
_____	_____	_____
a. First Name	b. Last Name	c. Company
46 Pine Gove St.		

d. Mailing Address		
Needham	Massachusetts	02494
_____	_____	_____
e. City/Town	f. State	g. Zip Code
781-690-2720	adamcutter1@gmail.com	
_____	_____	_____
h. Phone Number	i. Fax Number	j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

David	White	Hancock Associates, Inc.
_____	_____	_____
a. First Name	b. Last Name	c. Company
121 East Berkeley Street		

d. Mailing Address		
Boston	Massachusetts	02118
_____	_____	_____
e. City/Town	f. State	g. Zip Code
617-357-8145	dwhite@hwmoore.com	
_____	_____	_____
h. Phone Number	i. Fax Number	j. Email address



5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

The purpose of this Notice of Intent filing is to request that the Boston Conservation Commission issue an Order of Conditions to permit the development on a vacant lot to a 4-unit dwelling in that is within the 100-year flood plain under Wetland Protection Act and Boston Wetland Ordinance. The Site Plan identifies the location of the proposed work

7. Project Type Checklist

- a. Single Family Home
- b. Residential Subdivision
- c. Limited Project Driveway Crossing
- d. Commercial/Industrial
- e. Dock/Pier
- f. Utilities
- g. Coastal Engineering Structure
- h. Agriculture – cranberries, forestry
- i. Transportation
- j. Other 4-Unit Residential Building

8. Property recorded at the Registry of Deeds

Suffolk	155
_____ a. County	_____ b. Page Number
55982	
_____ c. Book	_____ d. Certificate # (if registered land)

9. Total Fee Paid

_____ a. Total Fee Paid	_____ b. State Fee Paid	_____ c. City Fee Paid
----------------------------	----------------------------	---------------------------

B. BUFFER ZONE & RESOURCE AREA IMPACTS

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes No

1,032

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input checked="" type="checkbox"/> Coastal Flood Resilience Zone	1,032	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Isolated Wetlands	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

C. OTHER APPLICABLE STANDARDS & REQUIREMENTS

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

BWSC Site Plan #21346 Approved 8/26/21



2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.

- Yes No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

A. Submit Supplemental Information for Endangered Species Review

Percentage/acreage of property to be altered:

(1) within wetland Resource Area _____
percentage/acreage

(2) outside Resource Area _____
percentage/acreage

Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

- Yes No

If yes, provide the name of the ACEC: _____

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.

- Applying for a Low Impact Development (LID) site design credits
- A portion of the site constitutes redevelopment
- Proprietary BMPs are included in the Stormwater Management System

No. Check below & include a narrative as to why the project is exempt

- Single-family house
- Emergency road repair
- Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

- Yes No



City of Boston
Environment

NOTICE OF INTENT APPLICATION FORM
Boston Wetlands Ordinance
City of Boston Code, Ordinances, Chapter 7-1.4

Boston File Number

MassDEP File Number

D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

Adam Cutter dotloop verified
11/19/21 7:37 AM EST
RAKB-ATZH-UGMA-RYAO

Signature of Applicant

Date

Signature of Property Owner (if different)

Date

Samuel L. Smith

11/17/2021




Signature of Representative (if any)

Date



D. SIGNATURES AND SUBMITTAL REQUIREMENTS

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

	 <small>dotloop verified 08/04/21 10:17 AM EDT PQRE-UKI3-C8UF-CCNT</small>	
Signature of Applicant		Date
	 <small>dotloop verified 08/04/21 10:00 AM EDT JQAJ-9ZXU-LQUC-GQCG</small>	
Signature of Property Owner (if different)		Date
		11/3/21
Signature of Representative (if any)		Date

Climate Resiliency Report Summary

Boston Planning & Development Agency Climate Resiliency Report Summary



Submitted: 07/28/2021 15:56:32

A.1 - Project Information

Project Name:	59 Gove Street		
Project Address:	59 Gove Street, Boston, MA 02128		
Filing Type:	Design / Building Permit (prior to final design approval)		
Filing Contact:	David White	Hancock Associates	dwhite@hwmoore.com 617-357-8145
Is MEPA approval required?	No	MEPA date:	

A.2 - Project Team

Owner / Developer:	59 Gove Street, LLC
Architect:	D.F. Valente
Engineer:	Hancock Associates
Sustainability / LEED:	N/A
Permitting:	Hancock Associates
Construction Management:	Pinegrove Construction, LLC

A.3 - Project Description and Design Conditions

List the principal Building Uses:	Residential Units Only
List the First Floor Uses:	Residential
List any Critical Site Infrastructure and or Building Uses:	None

Site and Building:

Site Area (SF):	1032	Building Area (SF):	893
Building Height (Ft):	37.5	Building Height (Stories):	4
Existing Site Elevation – Low (Ft BCB):	12.41	Existing Site Elevation – High (Ft BCB):	15.60
Proposed Site Elevation – Low (Ft BCB):	12.5	Proposed Site Elevation – High (Ft BCB):	15.60
Proposed First Floor Elevation (Ft BCB):	17.50	Below grade spaces/levels (#):	0

Article 37 Green Building:

LEED Version - Rating System:	n/a	LEED Certification:	No
Proposed LEED rating:		Proposed LEED point score (Pts.):	n/a

Boston Planning & Development Agency Climate Resiliency Report Summary



Building Envelope:

When reporting R values, differentiate between R discontinuous and R continuous. For example, use “R13” to show R13 discontinuous and use R10c.i. to show R10 continuous. When reporting U value, report total assembly U value including supports and structural elements.

Roof:	67	Exposed Floor :	15
Foundation Wall:	15	Slab Edge (at or below grade):	15
Vertical Above-grade Assemblies (%’s are of total vertical area and together should total 100%):			
Area of Opaque Curtain Wall & Spandrel Assembly:	0.0	Wall & Spandrel Assembly Value:	n/a
Area of Framed & Insulated / Standard Wall:	84.0	Wall Value:	21+
Area of Vision Window:	10.0	Window Glazing Assembly Value:	.2
		Window Glazing SHGC:	.23
Area of Doors:	6.0	Door Assembly Value :	.18

Energy Loads and Performance

For this filing – describe how energy loads & performance were determined	N/A - Energy Study not prepared for a project of this magnitude.		
Annual Electric (kWh):		Peak Electric (kW):	
Annual Heating (MMbtu/hr):		Peak Heating (MMbtu):	
Annual Cooling (Tons/hr):		Peak Cooling (Tons):	
Energy Use - Below ASHRAE 90.1 - 2013 (%):		Have the local utilities reviewed the building energy performance?:	No
Energy Use - Below Mass. Code (%):		Energy Use Intensity (kBtu/SF):	

Back-up / Emergency Power System

Electrical Generation Output (kW):		Number of Power Units:	
System Type (kW):		Fuel Source:	

Emergency and Critical System Loads (in the event of a service interruption)

Electric (kW):		Heating (MMbtu/hr):	
		Cooling (Tons/hr):	

B – Greenhouse Gas Reduction and Net Zero / Net Positive Carbon Building Performance

Reducing greenhouse gas emissions is critical to avoiding more extreme climate change conditions. To achieve the City’s goal of carbon-neutrality by 2050 the performance of new buildings will need to progressively improve to carbon net zero and net positive.

B.1 – GHG Emissions - Design Conditions

For this filing - Annual Building GHG Emissions (Tons): 0

For this filing - describe how building energy performance has been integrated into project planning, design, and engineering and any supporting analysis or modeling:

No study prepared but building will be equipped with new mechanicals utilizing the current, more efficient technology that will minimize emissions and heat generation.

Describe building specific passive energy efficiency measures including orientation, massing, building envelop, and systems:

n/a

Describe building specific active energy efficiency measures including high performance equipment, controls, fixtures, and systems:

Units will be equipped with the latest energy efficient appliances and LED light bulbs.

Describe building specific load reduction strategies including on-site renewable energy, clean energy, and storage systems:

Units will be equipped with the latest energy efficient appliances and LED light bulbs.

Describe any area or district scale emission reduction strategies including renewable energy, central energy plants, distributed energy systems, and smart grid infrastructure:

n/a

Describe any energy efficiency assistance or support provided or to be provided to the project:

Units will be equipped with the latest energy efficient appliances and LED light bulbs.

B.2 - GHG Reduction - Adaptation Strategies

Describe how the building and its systems will evolve to further reduce GHG emissions and achieve annual carbon net zero and net positive performance (e.g. added efficiency measures, renewable energy, energy storage, etc.) and the timeline for meeting that goal (by 2050):

n/a

C - Extreme Heat Events

Annual average temperature in Boston increased by about 2 °F in the past hundred years and will continue to rise due to climate change. By the end of the century, the average annual temperature could be 56° (compared to 46° now) and the number of days above 90° (currently about 10 a year) could rise to 90.

C.1 - Extreme Heat - Design Conditions

Temperature Range - Low (Deg.):

Temperature Range - High (Deg.):

Annual Heating Degree Days:

Annual Cooling Degree Days:

What Extreme Heat Event characteristics will be / have been used for project planning

Days - Above 90° (#):

Days - Above 100° (#):

Number of Heatwaves / Year (#):

Average Duration of Heatwave (Days):

Describe all building and site measures to reduce heat-island effect at the site and in the surrounding area:

The project is a small 4-unit brownstone development that takes up almost the entirety of the lot. In lieu of a black roof, the architect is proposing a roof deck with lighter colored pavers. The architectural plan also calls for small potted juniper trees along the edge of the roof line

C.2 - Extreme Heat - Adaptation Strategies

Describe how the building and its systems will be adapted to efficiently manage future higher average temperatures, higher extreme temperatures, additional annual heatwaves, and longer heatwaves:

n/a

Describe all mechanical and non-mechanical strategies that will support building functionality and use during extended interruptions of utility services and infrastructure including proposed and future adaptations:

n/a

D - Extreme Precipitation Events

From 1958 to 2010, there was a 70 percent increase in the amount of precipitation that fell on the days with the heaviest precipitation. Currently, the 10-Year, 24-Hour Design Storm precipitation level is 5.25". There is a significant probability that this will increase to at least 6" by the end of the century. Additionally, fewer, larger storms are likely to be accompanied by more frequent droughts.

D.1 - Extreme Precipitation - Design Conditions

What is the project design precipitation level? (In. / 24 Hours)

3.1

Describe all building and site measures for reducing storm water run-off:

A proposed subsurface stormwater recharge system composed of HDPE R-tank chambers surrounded by crushed stone and enveloped by filter fabric will provide stormwater mitigation for the site.

D.2 - Extreme Precipitation - Adaptation Strategies

Describe how site and building systems will be adapted to efficiently accommodate future more significant rain events (e.g. rainwater harvesting, on-site storm water retention, bio swales, green roofs):

The proposed stormwater recharge system proves 50% more stormwater storage than the BWSC requirement. This additional stormwater storage will accommodate future more significant storm events.

E – Sea Level Rise and Storms

Under any plausible greenhouse gas emissions scenario, the sea level in Boston will continue to rise throughout the century. This will increase the number of buildings in Boston susceptible to coastal flooding and the likely frequency of flooding for those already in the floodplain.

Is any portion of the site in a FEMA Special Flood Hazard Area? Yes

What Zone: AE

What is the current FEMA SFHA Zone Base Flood Elevation for the site (Ft BCB)? 16.46

Is any portion of the site in the BPDA Sea Level Rise Flood Hazard Area (see [SLR-FHA online map](#))? Yes

If you answered YES to either of the above questions, please complete the following questions. Otherwise you have completed the questionnaire; thank you!

E.1 – Sea Level Rise and Storms – Design Conditions

Proposed projects should identify immediate and future adaptation strategies for managing the flooding scenario represented by the Sea Level Rise Flood Hazard Area (SLR-FHA), which includes 3.2’ of sea level rise above 2013 tide levels, an additional 2.5” to account for subsidence, and the 1% Annual Chance Flood. After using the SLR-FHA to identify a project’s Sea Level Rise Base Flood Elevation, proponents should calculate the Sea Level Rise Design Flood Elevation by adding 12” of freeboard for buildings, and 24” of freeboard for critical facilities and infrastructure and any ground floor residential units.

What is the Sea Level Rise - Base Flood Elevation for the site (Ft BCB)?	16.46	
What is the Sea Level Rise - Design Flood Elevation for the site (Ft BCB)?	19.5	First Floor Elevation (Ft BCB): 17.50
What are the Site Elevations at Building (Ft BCB)?	15.60	What is the Accessible Route Elevation (Ft BCB)? 15.60

Describe site design strategies for adapting to sea level rise including building access during flood events, elevated site areas, hard and soft barriers, wave / velocity breaks, storm water systems, utility services, etc.:

Subsurface stormwater recharge system

Describe how the proposed Building Design Flood Elevation will be achieved including dry / wet flood proofing, critical systems protection, utility service protection, temporary flood barriers, waste and drain water back flow prevention, etc.:

n/a

Describe how occupants might shelter in place during a flooding event including any emergency power, water, and waste water provisions and the expected availability of any such measures:

n/a

Describe any strategies that would support rapid recovery after a weather event:

n/a

E.2 – Sea Level Rise and Storms – Adaptation Strategies

Describe future site design and or infrastructure adaptation strategies for responding to sea level rise including future elevating of site areas and access routes, barriers, wave / velocity breaks, storm water systems, utility services, etc.:

n/a

Describe future building adaptation strategies for raising the Sea Level Rise Design Flood Elevation and further protecting critical systems, including permanent and temporary measures:

n/a

Thank you for completing the Boston Climate Change Checklist!

For questions or comments about this checklist or Climate Change best practices, please contact:
John.Dalzell@boston.gov

Filing Fee Information

- **Fee Transmittal Form**
- **Copy of Checks**

Boston Conservation Commission Fee Breakdown

- \$25.00 for projects with the fair cost of \$1,000.00 or less.
- \$50.00 for projects with the fair cost of more than 1,000.00 but not more than \$50,000.00
- . \$75.00 for projects with a fair cost of more than 50,000.00 but not more than \$100,000.00.

For projects with a fair cost of more than 100,000.00 the fee shall be .075% of the fair cost provided, however, in no case shall the fee be more than \$1,500.00.

Fair Cost for 59 Gove Street Project = \$2,500,000

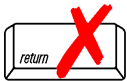
$\$2,500,000 \times 0.075\% = \$1,875$

\$1,875 is greater than \$1,500. Therefore, the filing fee is \$1,500.00



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

59 Gove Street Boston MA
 a. Street Address b. City/Town
 \$512.50
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Adam Cutter
 a. First Name b. Last Name
 59 Gove Street, LLC
 c. Organization
 46 Pine Gove Street
 d. Mailing Address
 Needham MA 02494
 e. City/Town f. State g. Zip Code
 781-690-2720 adamcutter1@gmail.com
 h. Phone Number i. Fax Number j. Email Address

3. Property Owner (if different):

a. First Name b. Last Name
 c. Organization
 t
 d. Mailing Address
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
3b.) Building Including Site	1	\$1,050	\$1,050
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	<u>\$2,012.50</u>
State share of filing Fee:	a. Total Fee from Step 5 <u>\$512.50</u>
City/Town share of filing Fee:	b. 1/2 Total Fee less \$12.50 <u>\$2,050 (Local Bylaw)</u>
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

Abutter Information

- **Abutters List**
- **Abutter Notification**
- **Affidavit of Service**
- **Abutters Map**

PID	FULL_ADDRESS	CITY	ZIPCODE	OWNER	ADDRESSEE	MAIL_ADDRESS	MAIL_CS	STATE	MAIL_ZIPCODE
105704000	26 CHELSEA ST	EAST BOSTON	02128	EB WHITE DIAMOND LLC		50 FRANKLIN ST SUITE 400	BOSTON	MA	02110
103885000	35 CHELSEA ST 3	EAST BOSTON	02128	SULLIVAN DANIELLE		35 CHELSEA ST #3	EAST BOSTON	MA	02128
103850000	63 GOVE ST	EAST BOSTON	02128	SHARPE SIXTY THREE GOVE LLC		1055 TRUMAN PW	BOSTON	MA	02136
103894010	150 ORLEANS ST 104	EAST BOSTON	02128	GOLDIE FAMILY 2003 TRUST	JAMES & ELLEN GOLDIE	150 ORLEANS ST #104	EAST BOSTON	MA	02128
105803000	70 CHELSEA ST	EAST BOSTON	02128	SEVENTY CHELSEA STREET		70 CHELSEA	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 407	EAST BOSTON	02128	O'REILLY JANE		150 ORLEANS ST #407	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 401	EAST BOSTON	02128	CONSOLU BENJAMIN W		37 LYONS FARM RD	BRADFORD	MA	01835
103894010	150 ORLEANS ST 305	EAST BOSTON	02128	ROSA ULISES A		150 ORLEANS ST #305	E BOSTON	MA	02128
105800000	76 CHELSEA ST	EAST BOSTON	02128	GRICCI DARIO ETAL		76 CHELSEA ST	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 406	EAST BOSTON	02128	ZANTAL-WIENER AMANDA		70 BREMEN ST UNIT 406	EAST BOSTON	MA	02128
103820000	59 CHELSEA ST	EAST BOSTON	02128	SOLSKINN PROPERTIES LLC		40 EVERETT ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 604	EAST BOSTON	02128	YE XING		150 ORLEANS ST #604	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 703	EAST BOSTON	02128	NELSON FREDERICK A		150 ORLEANS ST #703	EAST BOSTON	MA	02128
103856000	84 BREMEN ST	EAST BOSTON	02128	RECUPERO GIUSEPPE JR		84 BREMEN ST	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 308	EAST BOSTON	02128	SNIVELY CARLY		70 BREMEN ST UNIT 308	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 201	EAST BOSTON	02128	MAHONEY PAUL C		80 A ST #2	SOUTH BOSTON	MA	02127
103852020	88 BREMEN ST	EAST BOSTON	02128	SHARPE MAVERICK BREMEN LLC		1055 TRUMAN PKWY	BOSTON	MA	02136
103885000	35 CHELSEA ST	EAST BOSTON	02128	35 CHELSEA STREET	C/O PUTTHERAM PROPERTIES LLC	187 GREEN ST	JAMAICA PLAIN	MA	02130
103894010	150 ORLEANS ST 101	EAST BOSTON	02128	CLARKE SUSAN		150 ORLEANS ST #101	E BOSTON	MA	02128
105803000	70 CHELSEA ST 3	EAST BOSTON	02128	MACKAY JERARUL C		70 CHELSEA ST, UNIT 3	EAST BOSTON	MA	02128
103816000	60 62 GOVE ST 201	EAST BOSTON	02128	GOPAL ACHALA C	C/O ACHALA KOVURU	716 MAIN ST APT-3W	EVANSTON	MA	60202
103859000	70 BREMEN ST 302	EAST BOSTON	02128	WELLS JENNA M		70 BREMEN ST UNIT 302	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 404	EAST BOSTON	02128	DUNN LUCAS		150 ORLEANS ST #404	EAST BOSTON	MA	02128
103827000	73 CHELSEA ST	EAST BOSTON	02128	CIRUOLO DAVID A		21 THURSTON ST	EAST BOSTON	MA	02128
103859000	70 BREMEN ST	EAST BOSTON	02128	70 BREMEN DEVELOPMENT	C/O 70 BREMEN DEV PARTNERS LLC	PO BOX 1046	BROOKLINE	MA	02446
103894010	150 ORLEANS ST 302	EAST BOSTON	02128	DEMARTINI NICOLE LYNN		150 ORLEANS ST #302	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 607	EAST BOSTON	02128	BROOKFIELD PARKER		150 ORLEANS ST, UNIT 607	EAST BOSTON	MA	02128
103892000	49 CHELSEA ST	EAST BOSTON	02128	PARKSIDE LANDING MAVERICK LL MASS LLC	C/O PAUL MARKS	PO BOX 1046	BROOKLINE	MA	02446
105710000	7 EMMONS ST	EAST BOSTON	02128	TOBALINO PAULA	C/O CESAR ALARCON	7 EMMONS ST	EAST BOSTON	MA	02128
105801000	72 74 CHELSEA ST 6	EAST BOSTON	02128	HUANG GUANG DENG		72-74 CHELSEA ST #6	EAST BOSTON	MA	02128
105801000	74 72 CHELSEA ST	EAST BOSTON	02128	SEVENTY 2-74 CHELSEA STREET		74 CHELSEA	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 403	EAST BOSTON	02128	CALLAHAN BRENN A O		70 BREMENT ST UNIT 403	EAST BOSTON	MA	02128
103823000	65 CHELSEA ST	EAST BOSTON	02128	CIRUOLO GENEROSO		65 CHELSEA ST	EAST BOSTON	MA	02128
103877000	19 CHELSEA ST	EAST BOSTON	02128	19 CHELSEA STREET CONDOMINIUM TRUST		187 GREEN ST	JAMAICA PLAIN	MA	02130
103885000	35 CHELSEA ST 1	EAST BOSTON	02128	MORABITO MATTHEW T		35 CHELSEA ST #1	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 401	EAST BOSTON	02128	XIONG QI		70 BREMEN ST UNIT 401	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 303	EAST BOSTON	02128	WONG BEN LEUNG		70 BREMEN ST, UNIT 303	EAST BOSTON	MA	02128
105811000	42 GOVE ST	EAST BOSTON	02128	42 GOVE LLC		10 ST JAMES AVE 11TH FLOOR	BOSTON	MA	02166
103894010	150 ORLEANS ST 102	EAST BOSTON	02128	JAMUIAN KRISTEN		150 ORLEANS ST # 102	EAST BOSTON	MA	02128
103852030	86 BREMEN ST	EAST BOSTON	02128	WOOHOO HOLDINGS LLC		326 A STREET UNIT 1A	BOSTON	MA	02210
103894010	150 ORLEANS ST 204	EAST BOSTON	02128	SCHNEIDER VERA S		150 ORLEANS ST # 204	EAST BOSTON	MA	02128
105711000	9 EMMONS ST	EAST BOSTON	02128	EMOND MATTHEW W		9 EMMONS ST	EAST BOSTON	MA	02128
103880000	25 CHELSEA ST	EAST BOSTON	02128	MAVERICK SQUARE MGMT LLC	C/O MAVERICK SQ MGMT LLC	8 ALTON PLACE	BROOKLINE	MA	02446
103879000	23 CHELSEA ST	EAST BOSTON	02128	HEFFERNAN KEVIN	C/O KEVIN P HEFFERNAN	23 CHELSEA ST #3	BOSTON	MA	02128
103894010	150 ORLEANS ST 303	EAST BOSTON	02128	EBDC INC		72 MARGINAL ST	E BOSTON	MA	02128
103859000	70 BREMEN ST 504	EAST BOSTON	02128	MCAIR KEITH JR		70 BREMENT ST UNIT 504	EAST BOSTON	MA	02128
105801000	72 74 CHELSEA ST 7	EAST BOSTON	02128	SILVA MARILIA	C/O MARILIA SILVA	269 SUMNER ST #1	EAST BOSTON	MA	02128
105809000	56 58 CHELSEA ST	EAST BOSTON	02128	OLDING BENJAMIN PERDUE	C/O BENJAMIN OLDING	63 LUBEC ST APT 302	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 701	EAST BOSTON	02128	PELLETIER DAVID		150 ORLEANS ST, UNIT 701	EAST BOSTON	MA	02128
103825000	69 CHELSEA ST	EAST BOSTON	02128	SOLSKINN PROPERTIES LLC		40 EVERETT STREET LLC	BOSTON	MA	02128
103859000	70 BREMEN ST 208	EAST BOSTON	02128	CO JANE		70 BREMEN ST UNIT 208	EAST BOSTON	MA	02128
105728000	48 CHELSEA ST 1	EAST BOSTON	02128	PARDUE TYRONE		48 CHELSEA ST, UNIT 1	EAST BOSTON	MA	02128
105801000	74 74 CHELSEA ST 1	EAST BOSTON	02128	KARUNARATHINE YOHAN		72- 74 CHELSEA ST #1	EAST BOSTON	MA	02128
103849000	61 GOVE ST	EAST BOSTON	02128	HARTFORD NORMAN Z		61 GOVE ST #1	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 602	EAST BOSTON	02128	NAAS MEGHAN		150 ORLEANS ST #602	EAST BOSTON	MA	02128
105803000	70 CHELSEA ST 4	EAST BOSTON	02128	CAPPUCCIO MARYANN		70 CHELSEA ST #4	EAST BOSTON	MA	02128
103883000	31 CHELSEA ST	EAST BOSTON	02128	EAST BOSTON MANAGEMENT &	C/O E BOSTON MGMT & DEV LLC	8 ALTON PL	BROOKLINE	MA	02446
105705000	24 CHELSEA ST	EAST BOSTON	02128	CALLEIAS JOSE ARNULFO		24 CHELSEA ST	EAST BOSTON	MA	02128
103821000	61 CHELSEA ST	EAST BOSTON	02128	DONIS FERNANDO U		15 BOARDMAN U	EAST BOSTON	MA	02128
103877000	19 CHELSEA ST 3	EAST BOSTON	02128	MCGUFFIN ASHER SCOTT		19 CHELSEA ST, UNIT 3	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 503	EAST BOSTON	02128	QUIMBY TROY		150 ORLEANS ST #503	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 306	EAST BOSTON	02128	ISINGAZIEV ALEKSEI		70 BREMENT ST UNIT 306	EAST BOSTON	MA	02128
103816000	60 62 GOVE ST 101	EAST BOSTON	02128	HALL MICHAEL M		62 60 GOVE ST, UNIT 101	EAST BOSTON	MA	02128
105803000	70 CHELSEA ST 1	EAST BOSTON	02128	IBEX REALTY AND ASSET MANAGEMENT LLC		1 CURTIS ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 402	EAST BOSTON	02128	CRESTA RICHARD J		150 ORLEANS ST #402	E BOSTON	MA	02128
103894010	150 ORLEANS ST 207	EAST BOSTON	02128	SULLIVAN KAREN TS		150 ORLEANS ST #207	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 306	EAST BOSTON	02128	MU YU		150 ORLEANS ST #306	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 205	EAST BOSTON	02128	COPPER FORGE PARTNERS LLC		7 COLUMBIA TERRACE, UNIT 2	BROOKLINE	MA	02446
103859000	70 BREMEN ST 507	EAST BOSTON	02128	PIANTEDOSI LAURA		70 BREMEN ST UNIT 507	EAST BOSTON	MA	02128
105801000	72 74 CHELSEA ST 4	EAST BOSTON	02128	GARCIA BLANCA		72 CHELSEA ST	EAST BOSTON	MA	02128
103878000	21 CHELSEA ST	EAST BOSTON	02128	TWENTY ONE CHELSEA ST CONDO		21 CHELSEA ST	E BOSTON	MA	02128
105814000	36 GOVE ST	EAST BOSTON	02128	MARTINEZ MIGUEL A		36 GOVE ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 506	EAST BOSTON	02128	WANG DER HSIUNG		34 MOHAWK ROAD	MARBLEHEAD	MA	01945
103894010	150 ORLEANS ST 704	EAST BOSTON	02128	BARLOW DOUGLAS		150 ORLEANS ST #704	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 501	EAST BOSTON	02128	TRUESDALE DAVID		70 BREMEN ST UNIT 501	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 605	EAST BOSTON	02128	SCHNEIDER MICHAEL J		150 ORLEANS ST # 605	EAST BOSTON	MA	02128
105804000	68 CHELSEA ST	EAST BOSTON	02128	HARTFORD NORMAN Z		61 GOVE ST #1	EAST BOSTON	MA	02128
103812000	104 BREMEN ST	EAST BOSTON	02128	COGLIANO MARY LOU		104 BREMEN ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 504	EAST BOSTON	02128	WILLIAMS KENNETH A		150 ORLEANS ST #504	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 202	EAST BOSTON	02128	BELKAD LLC	C/O IRM LLC	PO BOX 53	EAST BOSTON	MA	02128
105803000	70 CHELSEA ST 2	EAST BOSTON	02128	CEPEDA GLORIA		70 CHELSEA ST #2	EAST BOSTON	MA	02128
103816000	60 62 GOVE ST 202	EAST BOSTON	02128	GAGNE ANDREA		60-62 GOVE ST #202	E BOSTON	MA	02128
103894010	150 ORLEANS ST 405	EAST BOSTON	02128	PETTY GAIL C		150 ORLEANS ST #405	E BOSTON	MA	02128
105724000	43 GOVE ST	EAST BOSTON	02128	EAST BOSTON MGMT AND DEVELOP LLC	C/O EAST BOSTON MGMT & DEV LLC	8 ALTON PL #2	BROOKLINE	MA	02446
103859000	70 BREMEN ST C1	EAST BOSTON	02128	HONG REALTY LLC		70 BREMEN ST UNIT C1	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 301	EAST BOSTON	02128	YOUNG GRACE		150 ORLEANS ST NO 301	E BOSTON	MA	02128
103859000	70 BREMEN ST 206	EAST BOSTON	02128	TRABUCCO LAUREN		70 BREMEN ST, UNIT 206	EAST BOSTON	MA	02128
103811000	106 BREMEN ST	EAST BOSTON	02128	FORINA JOSEPH A		106 BREMEN ST	E BOSTON	MA	02128
103859000	70 BREMEN ST 508	EAST BOSTON	02128	LURIE SAMUEL A		70 BREMEN ST, UNIT 508	EAST BOSTON	MA	02128
103920002	164 ORLEANS ST	EAST BOSTON	02128	EAST BOSTON NEIGHBORHOOD		10 GROVE ST	E BOSTON	MA	02128
105801000	72 74 CHELSEA ST 5	EAST BOSTON	02128	FANNIE MAE		72-74 CHELSEA ST #5	EAST BOSTON	MA	02128
103807000	114 BREMEN ST	EAST BOSTON	02128	YANES JOSE		114 BREMEN ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 507	EAST BOSTON	02128	TOMMASINI LIVING TRUST		33 STILL RIVER RD	BOLTON	MA	01740
105730000	42 CHELSEA ST 3	EAST BOSTON	02128	CANTO ZACHARY		42 CHELSEA ST, UNIT 3	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 404	EAST BOSTON	02128	SHETH PRATIK		70 BREMEN ST UNIT 404	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 502	EAST BOSTON	02128	SERNA PEREZ LUDER		70 BREMEN ST UNIT 502	EAST BOSTON	MA	02128
103918000	BREMEN ST	EAST BOSTON	02128	E BOSTON NEIGHBORHOOD HEALTH		10 GROVE ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 606	EAST BOSTON	02128	POLLOCK OWEN M		150 ORLEANS ST, UNIT 606	EAST BOSTON	MA	02128
103877000	19 CHELSEA ST 1	EAST BOSTON	02128	HOPKINS THOMAS W		13 SHADOW FARM LN	ROCHESTER	MA	02770
103885000	35 CHELSEA ST 2	EAST BOSTON	02128	ETCHIN JULIA		35 CHELSEA ST #2	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 105	EAST BOSTON	02128	BOSTON COMMUNITY PROPERTIES LLC		231 EAST MAIN STREET	WESTBORO	MA	01581
103893000	51 CHELSEA ST	EAST BOSTON	02128	PARKSIDE LANDING MAVERICK LL MASS LLC	C/O PAUL MARKS	PO BOX 1046	BROOKLINE	MA	02446
103806000	116 BREMEN ST	EAST BOSTON	02128	WHISTLER PARTNERS LLC	C/O BERMAN CO.	164 POINT OF PINES AVE	CENTERVILLE	MA	02632
103859000	70 BREMEN ST 304	EAST BOSTON	02128	SHANG JINGYAN		70 BREMEN ST UNIT 304	EAST BOSTON	MA	02128

103894010	150 ORLEANS ST 501	EAST BOSTON	2128 DUFF CHRISTOPHER	150 ORLEANS ST #501	EAST BOSTON	MA	02128
105805000	66 CHELSEA ST	EAST BOSTON	2128 CRISTALLO GUARINO ETAL	66 CHELSEA ST	EAST BOSTON	MA	02128
103808000	112 BREMEN ST	EAST BOSTON	2128 CIAVATTONE VITTORIO ETAL	112 BREMEN	EAST BOSTON	MA	02128
105729000	46 CHELSEA ST	EAST BOSTON	2128 DOMINIC P ROZZI REVOCABLE TRUST OF 2019	46 CHELSEA ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 205	EAST BOSTON	2128 DEROSA RICHARD	150 ORLEANS ST #205	EAST BOSTON	MA	02128
103809000	110 BREMEN ST	EAST BOSTON	2128 LONGRIVER INVESTMENT LLC	88 BRIDGE ST	LEXINGTON	MA	02421
105723000	35 37 GOVE ST	EAST BOSTON	2128 CITY OF BOSTON	35 GOVE	EAST BOSTON	MA	02128
105730000	42 CHELSEA ST	EAST BOSTON	2128 42 CHELSEA STREET CONDOMINIUM TRUST	42 CHELSEA ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 304	EAST BOSTON	2128 SUSAN A ZAMOS TRUST	150 ORLEANS ST	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 203	EAST BOSTON	2128 LIN JANE	70 BREMENT ST UNIT 203	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 505	EAST BOSTON	2128 BENNETT ZACHARY J	70 BREMEN ST UNIT 505	EAST BOSTON	MA	02128
103882000	29 CHELSEA ST	EAST BOSTON	2128 ANAEL WILLIAM P	29 CHELSEA ST	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 301	EAST BOSTON	2128 MACEACHERN TAYLA	70 BREMEN ST UNIT 301	EAST BOSTON	MA	02128
103889000	43 CHELSEA ST	EAST BOSTON	2128 ZARELLA JAMES V	1 ROBIN HILL RD	DANVERS	MA	01923
103813000	102 BREMEN ST	EAST BOSTON	2128 RAMOS WALTER M JR	20 PLYMOUTH RD	PEABODY	MA	01960
105801000	72 74 CHELSEA ST 2	EAST BOSTON	2128 MOSQUERA JOAQUIN	640 WILLARD ST	QUINCY	MA	02169
103916000	170 172 MAVERICK ST	EAST BOSTON	2128 GREENWAY APARTMENTS LLC MASS LLC	72 MARGINAL ST	EAST BOSTON	MA	02128
105702000	8 EMMONS ST	EAST BOSTON	2128 SCIMEMI LIBERATA	8 EMMONS ST	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 603	EAST BOSTON	2128 GRIECI JEAN N	150 ORLEANS ST #603	EAST BOSTON	MA	02128
103877000	19 CHELSEA ST 4	EAST BOSTON	2128 TAYLOR SAMUEL	19 CHELSEA ST, UNIT 4	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 407	EAST BOSTON	2128 WEISSER PAUL	70 BREMEN ST UNIT 407	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 106	EAST BOSTON	2128 DOLIBER PETER R	150 ORLEANS ST #106	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 502	EAST BOSTON	2128 LONG CATHERINE	150 ORLEANS ST #502	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 307	EAST BOSTON	2128 MURPHY LAURA	70 BREMEN ST UNIT 307	EAST BOSTON	MA	02128
103847000	53 53A CHELSEA ST	EAST BOSTON	2128 PARKSIDE LANDING MAVERICK LL MASS LLC	PO BOX 1046	BROOKLINE	MA	02446
103816000	60 62 GOVE ST 102	EAST BOSTON	2128 CHIVERS LAURA L	60-62 GOVE ST #102	E BOSTON	MA	02128
103894010	150 ORLEANS ST 206	EAST BOSTON	2128 LOCK REBECCA B	150 ORLEANS ST # 206	E BOSTON	MA	02128
103894010	150 ORLEANS ST 403	EAST BOSTON	2128 BRESNAHAN MARK W	150 ORLEANS STREET #403	EAST BOSTON	MA	02128
105808000	60 CHELSEA ST	EAST BOSTON	2128 SIXTY CHELSEA LLC	50 FRANKLIN ST #400	BOSTON	MA	02110
105730000	42 CHELSEA ST 1	EAST BOSTON	2128 PAIK DANIEL	42 CHELSEA ST, UNIT 1	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 204	EAST BOSTON	2128 GENNERMAN HEDI MARIE	32 TRAVELER ST UNIT#501	BOSTON	MA	02118
103894010	150 ORLEANS ST 307	EAST BOSTON	2128 MALIONEK THERESA	150 ORLEANS ST #307	EAST BOSTON	MA	02128
103878000	21 CHELSEA ST 1	EAST BOSTON	2128 SVED ARJA	21 CHELSEA ST #1	E BOSTON	MA	02128
105708000	3 EMMONS ST	EAST BOSTON	2128 REYES BRIANDA PAOLA	3 EMMONS ST	EAST BOSTON	MA	02128
103805000	118 BREMEN ST	EAST BOSTON	2128 PANZINI JOSEPH M	118 BREMEN ST	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 408	EAST BOSTON	2128 FINN DOUGLAS	70 BREMENT ST UNIT 408	EAST BOSTON	MA	02128
103848000	59 GOVE ST	EAST BOSTON	2128 59 GOVE STREET LLC	163 MARLBOROUGH ST	BOSTON	MA	02116
103859000	70 BREMEN ST 402	EAST BOSTON	2128 DAI LICHEN	70 BREMENT ST UNIT 402	EAST BOSTON	MA	02128
105709000	5 EMMONS ST	EAST BOSTON	2128 MORALES JOSE C	5 EMMONS ST	E BOSTON	MA	02128
103894010	150 ORLEANS ST 505	EAST BOSTON	2128 DIFRISCO JOHN L	24 BREMEN ST #3	E BOSTON	MA	02128
103894010	150 ORLEANS ST 103	EAST BOSTON	2128 PINEDA ANTONIO	150 ORLEANS ST #103	E BOSTON	MA	02128
103894010	150 ORLEANS ST 406	EAST BOSTON	2128 VASINGTON JENNIFER L	150 ORLEANS ST, UNIT 406	EAST BOSTON	MA	02128
105812000	40 GOVE ST	EAST BOSTON	2128 HOLLINGSWORTH LORREEN	59 STANDISH RD	WELLESLEY	MA	02481
103814000	66 GOVE ST	EAST BOSTON	2128 CHAN REALTY LLC	67 RIDGE AVE	NEWTON	MA	02459
103816000	60 62 GOVE ST 301	EAST BOSTON	2128 KNAPP ADELE C	60-62 GOVE ST #301	E BOSTON	MA	02128
103894010	150 ORLEANS ST 203	EAST BOSTON	2128 DUNEGAN JESSICA D	1674 FOLLY RD #1029	CHARLESTON	SC	19412
103859000	70 BREMEN ST 201	EAST BOSTON	2128 ZHANG YIYUAN	70 BREMEN ST, UNIT 201	EAST BOSTON	MA	02128
105712000	11 EMMONS ST	EAST BOSTON	2128 ALARCON CESAR	11 EMMONS ST	E BOSTON	MA	02128
103878000	21 CHELSEA ST 4	EAST BOSTON	2128 BOORAS MARY P	21 CHELSEA ST #4	E BOSTON	MA	02128
105801000	72 74 CHELSEA ST 8	EAST BOSTON	2128 CYNHIA ANNE ALBA ESQUIRE TRUST	600 GOVERNERS DR APT 22	WINTHROP	MA	02152
103891000	47 CHELSEA ST	EAST BOSTON	2128 CHELSEA DEVELOP PARTNERS I LLC	21 PO BOX 1046	BROOKLINE	MA	02446
103859000	70 BREMEN ST 503	EAST BOSTON	2128 LOIC AMANS & ZHANARA AMANS REVOCABLE TRUST	3822 22ND STREET	SAN FRANCISCO	CA	94114
103851000	65 GOVE ST	EAST BOSTON	2128 GOVE ON THE GREEN LLC	1055 TRUMAN PARKWAY	BOSTON	MA	02136
103894010	150 ORLEANS ST 702	EAST BOSTON	2128 PERLERA SAUL	150 ORLEANS ST #702	E BOSTON	MA	02128
105728000	48 CHELSEA ST 2	EAST BOSTON	2128 HICKS ANDREW LLOYD	48 CHELSEA ST, UNIT 2	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 207	EAST BOSTON	2128 GUNNING CHRISTIN L	70 BREMEN ST UNIT 207	EAST BOSTON	MA	02128
105813000	38 GOVE ST	EAST BOSTON	2128 RAIMONDA DEPASQUALE IRREVOCABLE TRUST	38 GROVE ST	EAST BOSTON	MA	02128
103894010	120 150 ORLEANS ST	EAST BOSTON	2128 EBCDC INC	72 MARGINAL STREET	EAST BOSTON	MA	02128
103894010	150 ORLEANS ST 601	EAST BOSTON	2128 LAPORTE LORI A	150 ORLEANS ST #601	EAST BOSTON	MA	02128
105707000	1 EMMONS ST	EAST BOSTON	2128 MEJIA-HERRERA LUIS FERNANDO	1 EMMONS ST	EAST BOSTON	MA	02128
103859000	70 BREMEN ST 405	EAST BOSTON	2128 HOUPIS GERASIMOS	70 BREMEN ST UNIT 405	EAST BOSTON	MA	02128
103818000	55 CHELSEA ST	EAST BOSTON	2128 CIRUOLO DAVID	21 THURSTON ST	EAST BOSTON	MA	02128
103877000	19 CHELSEA ST 2	EAST BOSTON	2128 KUPPUSWAMY VENKAT	19 CHELSEA ST, UNIT 2	EAST BOSTON	MA	02128
103824000	67 CHELSEA ST	EAST BOSTON	2128 CIRUOLO CAROLINA	65 CHELSEA ST	EAST BOSTON	MA	02128
103919001	135 B BREMEN ST	EAST BOSTON	2128 EAST BOSTON NEIGHBORHOOD	10 GOVE ST	EAST BOSTON	MA	02128
103828000	75 CHELSEA ST	EAST BOSTON	2128 AGUIRRE ASDRUBAL	75 CHELSEA ST	EAST BOSTON	MA	02128
103826000	71 CHELSEA ST	EAST BOSTON	2128 SOLSKINN PROPERTIES LLC	40 EVERETT ST	BOSTON	MA	02128
103804000	120 BREMEN ST	EAST BOSTON	2128 ONE TWENTY BREMEN LLC	50 FRANKLIN ST SUITE 400	BOSTON	MA	02110
105726000	52 CHELSEA ST	EAST BOSTON	2128 FIFTY-2-54 CHELSEA ST LLC MASS LLC	15 HAUMAN ST	REVERE	MA	02151
103810000	108 BREMEN ST	EAST BOSTON	2128 QUINTERO JOHN	164 SOUTH ST	RANDOLPH	MA	02368
103857000	82 BREMEN ST	EAST BOSTON	2128 EIGHTY 2 BREMEN LLC MASS LLC	193 HARVARD ST	BROOKLINE	MA	02446
103890000	45 CHELSEA ST	EAST BOSTON	2128 CHELSEA DEVELOPMENT PTN LLC	7 COLUMBIA TERRACE #2	BROOKLINE	MA	02446
103918055	MAVERICK ST	EAST BOSTON	2128 CITY OF BOSTON PARKS AND	MAVERICK ST	E BOSTON	MA	02128
103829000	CHELSEA ST	EAST BOSTON	2128 CRISTALLO GUERINO	66 CHELSEA ST	EAST BOSTON	MA	02128
103918002	BREMEN ST	EAST BOSTON	2128 CITY OF BOSTON	BREMEN	EAST BOSTON	MA	02128
103815000	64 66 GOVE ST	EAST BOSTON	2128 CHAN REALTY LLC	10 THOMPSON SQUARE	CHARLESTOWN	MA	02129
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103878000	21 CHELSEA ST 3	EAST BOSTON	2128 GOMEZ ANA M	21 CHELSEA ST #3	EAST BOSTON	MA	02128
105703000	28 CHELSEA ST	EAST BOSTON	2128 70 BREMEN LLC	15 CAROL ST	STONEHAM	MA	02180
103863000	62 BREMEN ST	EAST BOSTON	2128 BEACHCITIES LLC	20 BONAIR AVENUE	WAKEFIELD	MA	01880
105731000	40 CHELSEA ST	EAST BOSTON	2128 STAR PROPERTY HOLDINGS LLC	319 MASSACHUSETTS AVE	ARLINGTON	MA	02474
103884000	33 CHELSEA ST	EAST BOSTON	2128 MY3SONS LLC	8 ALTON PLACE	BROOKLINE	MA	02446
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105728000	48 CHELSEA ST	EAST BOSTON	2128 48 CHELSEA STREET CONDOMINIUM TRUST	123 NARRAGANSETT BAY AVE	WARWICK	RI	02889
103881000	27 CHELSEA ST	EAST BOSTON	2128 ANAEL WILLIAM P	27 CHELSEA ST	EAST BOSTON	MA	02128
105730000	42 CHELSEA ST 2	EAST BOSTON	2128 KLAUS STEPHEN	1 FRANKLIN ST #PH3B	BOSTON	MA	02110
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103819000	57 CHELSEA ST	EAST BOSTON	2128 PICALHO RONNIE V	57 CHELSEA ST	E BOSTON	MA	02128
103862000	64 BREMEN ST	EAST BOSTON	2128 64 BREMEN STREET LLC	12 WALTHAM ST	LEXINGTON	MA	02421
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105801000	72 74 CHELSEA ST 9	EAST BOSTON	2128 SORDA JOSE	72 CHELSEA ST #9	EAST BOSTON	MA	02128
105801000	72 74 CHELSEA ST 3	EAST BOSTON	2128 CYNTHIA ANNE ALBA ESQUIRE TRUST	600 GOVERNERS DR, UNIT 22	WINTHROP	MA	02152
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103816000	60 62 GOVE ST	EAST BOSTON	2128 KINGSON CONDOMINIUM TRUST	62 GOVE ST	EAST BOSTON	MA	02128
103861000	66 BREMEN ST	EAST BOSTON	2128 ANAEL WILLIAM P	66 BREMEN ST	E BOSTON	MA	02128
103886000	37 CHELSEA ST	EAST BOSTON	2128 CHELSEA DEVELOPMENT	7 COLUMBIA TE # 2	BROOKLINE	MA	02446
105806000	64 CHELSEA ST	EAST BOSTON	2128 64 CHELSEA LLC	678 MASSACHUSETTS AVE	CAMBRIDGE	MA	02139

103822000 63 CHELSEA ST	EAST BOSTON	2128 CIRUOLO DAVID A		21 THURSTON ST	EAST BOSTON	MA	02128
103887000 39 CHELSEA ST	EAST BOSTON	2128 CHARMOY STANLEY TS	C/O STANLEY CHARMOY TS	71 COMMERCIAL ST #121	BOSTON	MA	02109
103888000 41 CHELSEA ST	EAST BOSTON	2128 CHARMOY STANLEY TS	C/O STANLEY CHARMOY	71 COMMERCIAL ST #121	BOSTON	MA	02109
105745000 PARIS ST	EAST BOSTON	2128 CITY OF BOSTON		PARIS	EAST BOSTON	MA	02128



BABEL NOTICE

English:

IMPORTANT! This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at cc@boston.gov or 617-635-3850.

Spanish:

¡IMPORTANTE! Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico cc@boston.gov o llamando al 617-635-3850.

Haitian Creole:

AVI ENPÒTAN! Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan cc@boston.gov oswa 617-635-3850.

Traditional Chinese:

非常重要！這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 cc@boston.gov 電話# 617-635-3850..

Vietnamese:

QUAN TRỌNG! Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ cc@boston.gov hoặc số điện thoại 617-635-3850.

Simplified Chinese:

非常重要！这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联系我们的邮箱 cc@boston.gov 电话# 617-635-3850.

Cape Verdean Creole:

INPURTANTI! Es dukumentu ó aplikason ten **informason inpurtanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na cc@boston.gov ó 617-635-3850.

Arabic:

مهم! يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدك. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على cc@boston.gov أو 617-635-3850.

Russian:

ВАЖНО! В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты cc@boston.gov, либо по телефону 617-635-3850.

Portuguese:

IMPORTANTE! Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: cc@boston.gov ou 617-635-3850.

French:

IMPORTANT ! Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à cc@boston.gov ou au 617-635-3850.





**NOTIFICATION TO ABUTTERS
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

A. **Pine-Grove Construction** has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.

B. The address of the lot where the activity is proposed is **59 Gove Street**.

C. The project involves **The construction of a four-unit residential building on a vacant lot within the 100-year Storm Event Coastal Floodplain**

D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at CC@boston.gov.

E. Copies of the Notice of Intent may be obtained from **Hancock Associates, (617) 357-8145 between the hours of 8am to 4pm, Monday - Friday**

F. In accordance with the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.

G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing CC@boston.gov or calling **(617) 635-3850** between the hours of **9 AM to 5 PM, Monday through Friday**.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on www.boston.gov/public-notice and in Boston City Hall not less than forty-eight (48) hours in advance.

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to CC@boston.gov or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.

NOTIFICACIÓN PARA PROPIETARIOS Y/O VECINOS COLINDANTES
COMISIÓN DE CONSERVACIÓN DE BOSTON

De conformidad con la Ley de protección de los humedales de Massachusetts, el Capítulo 131, Sección 40 de las Leyes Generales de Massachusetts y la Ordenanza sobre los humedales de Boston, por la presente queda usted notificado como propietario o vecino colindante de un proyecto presentado ante la Comisión de Conservación de Boston.

A. **PINE GROVE CONSTRUCTION** ha presentado una solicitud a la Comisión de Conservación de Boston pidiendo permiso para modificar una zona sujeta a protección en virtud de la Ley de protección de los humedales (Leyes generales, capítulo 131, sección 40) y la Ordenanza sobre los humedales de Boston.

B. La dirección del lote donde se propone la actividad es **59 Gove Street**.

C. El proyecto consiste en **La construcción de un edificio residencial de cuatro apartamentos en un terreno vacío ubicado en la llanura costera en el área de inundación de cien años**.

D. Se pueden obtener copias del Aviso de Intención comunicándose con la Comisión de Conservación de Boston en CC@boston.gov.

E. Las copias de la notificación de intención pueden obtenerse en **Hancock Associates, (617) 357-8145 entre las horas de 8am a 4pm, lunes a viernes**.

F. De acuerdo con el Decreto Ejecutivo de la Mancomunidad de Massachusetts que suspende ciertas disposiciones de la Ley de reuniones abiertas, la audiencia pública se llevará a cabo **virtualmente** en <https://zoom.us/j/6864582044>. Si no puede acceder a Internet, puede llamar al 1-929-205-6099, ingresar ID de reunión 686 458 2044 # y usar # como su ID de participante.

G. La información relativa a la fecha y hora de la audiencia pública puede solicitarse a la **Comisión de Conservación de Boston** por correo electrónico a CC@boston.gov o llamando al **(617) 635-4416** entre las **9 AM y las 5 PM, de lunes a viernes**.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en el **Boston Herald** con al menos cinco (5) días de antelación.

NOTA: La notificación de la audiencia pública, incluida su fecha, hora y lugar, se publicará en www.boston.gov/public-notice y en el Ayuntamiento de Boston con no menos de cuarenta y ocho

(48) horas de antelación.

NOTA: Si desea formular comentarios, puede asistir a la audiencia pública o enviarlos por escrito a CC@boston.gov o al Ayuntamiento de Boston, Departamento de Medio Ambiente, Sala 709, 1 City Hall Square, Boston, MA 02201.

NOTA: También puede comunicarse con la Comisión de Conservación de Boston o con la Oficina Regional del Noreste del Departamento de Protección Ambiental para obtener más información sobre esta solicitud o la Ley de Protección de Humedales. Para comunicarse con el DEP, llame a la Región Noreste: (978) 694-3200.

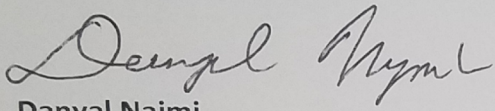
NOTA: si tiene previsto asistir a la audiencia pública y necesita servicios de interpretación, sírvase informar al personal en CC@boston.gov antes de las 12 PM del día anterior a la audiencia.

Translator's Affidavit

I, Danyal Najmi, am a professional translator with Rosetta Languages, fluent in English and Spanish. I hereby certify that I have translated and verified the following document which is attached to this affidavit.

- Abutter Notification, 59 Gove Street, 1 page, August 16, 2021, English>Spanish

I further certify that, to the best of my knowledge, the attached translation written in Spanish is a true and accurate translation of the original document written in English.



Danyal Najmi

Rosetta Languages

617-909-3522

Danyal.Najmi@gmail.com

Rosettalanguages.org



**AFFIDAVIT OF SERVICE
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act
and Boston Wetlands Ordinance**

I, _____, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A _____ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by _____ for _____ located at _____.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Name

Date



ABUTTER MAILING LIST GENERATOR

Search for an address or enter a parcel ID below.

ADDRESS SEARCH

59 Cove Street, Boston, Massachusetts

PARCEL SEARCH

SEARCH

SELECTED PARCEL

0103848000 - undefined

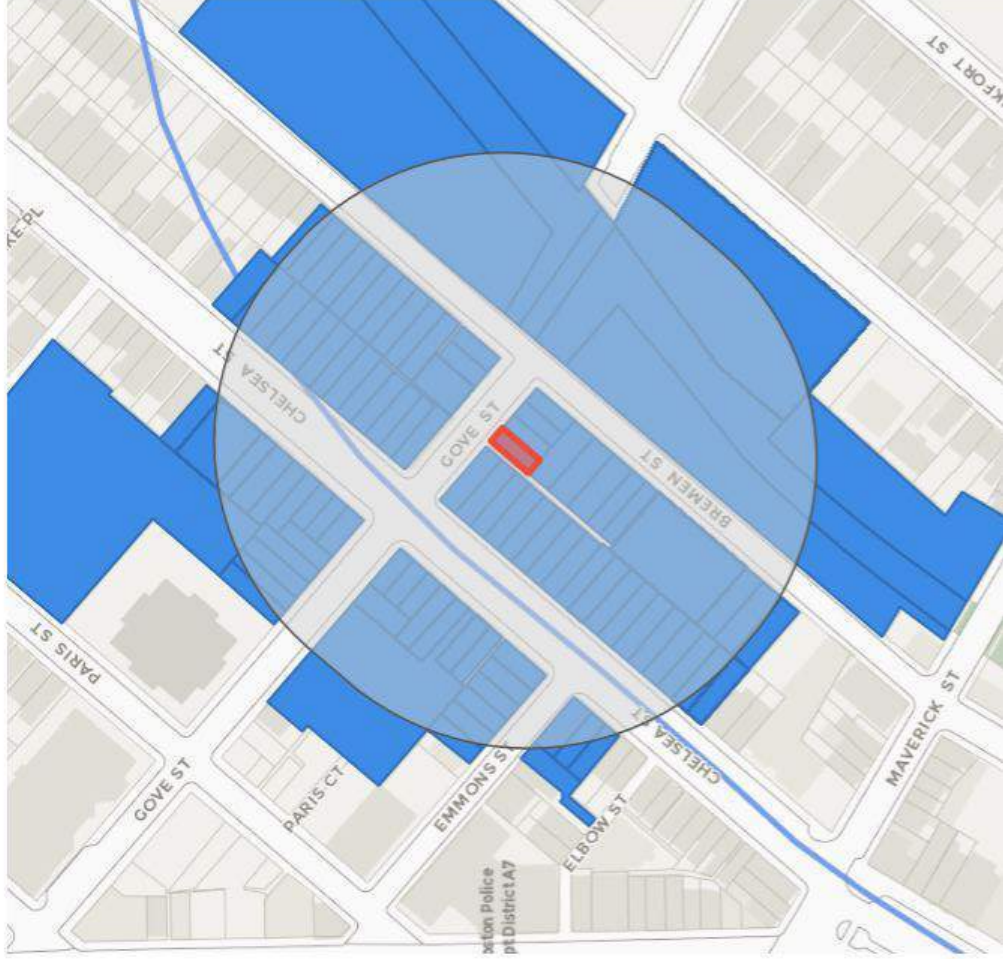
Enter a buffer distance and a the mailing list csv will appear below.

BUFFER DISTANCE (FEET)

300

BUFFER PARCEL

DOWNLOAD MAILING LIST CSV



Locus Map



USGS QUADRANGLE(s): BOSTON NORTH, MASSACHUSETTS
 BOSTON SOUTH, MASSACHUSETTS

Source: Topographic Quadrangle(s) provided by Maptech, Inc.

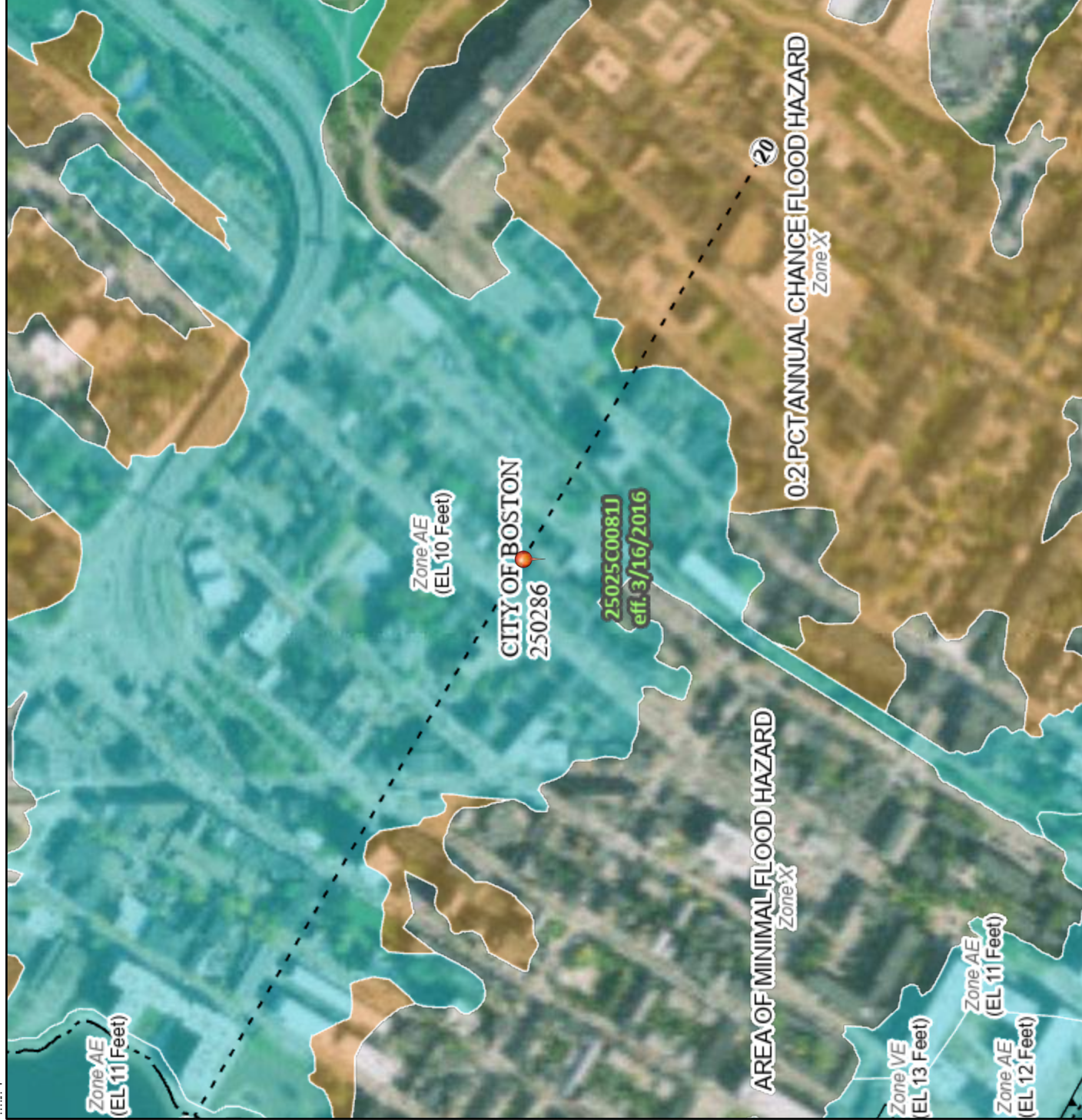
HANCOCK
 ASSOCIATES

Project Title **59 Gove Street**
 Location **East Boston, MA**
 Plan Title **USGS Plan**

Project #: **25194**
 Date: **July 30, 2021**
 Scale: **1" = 2000'**

FIGURE: **1**

FEMA Map



1) 6887 8888 (88) 8888 88

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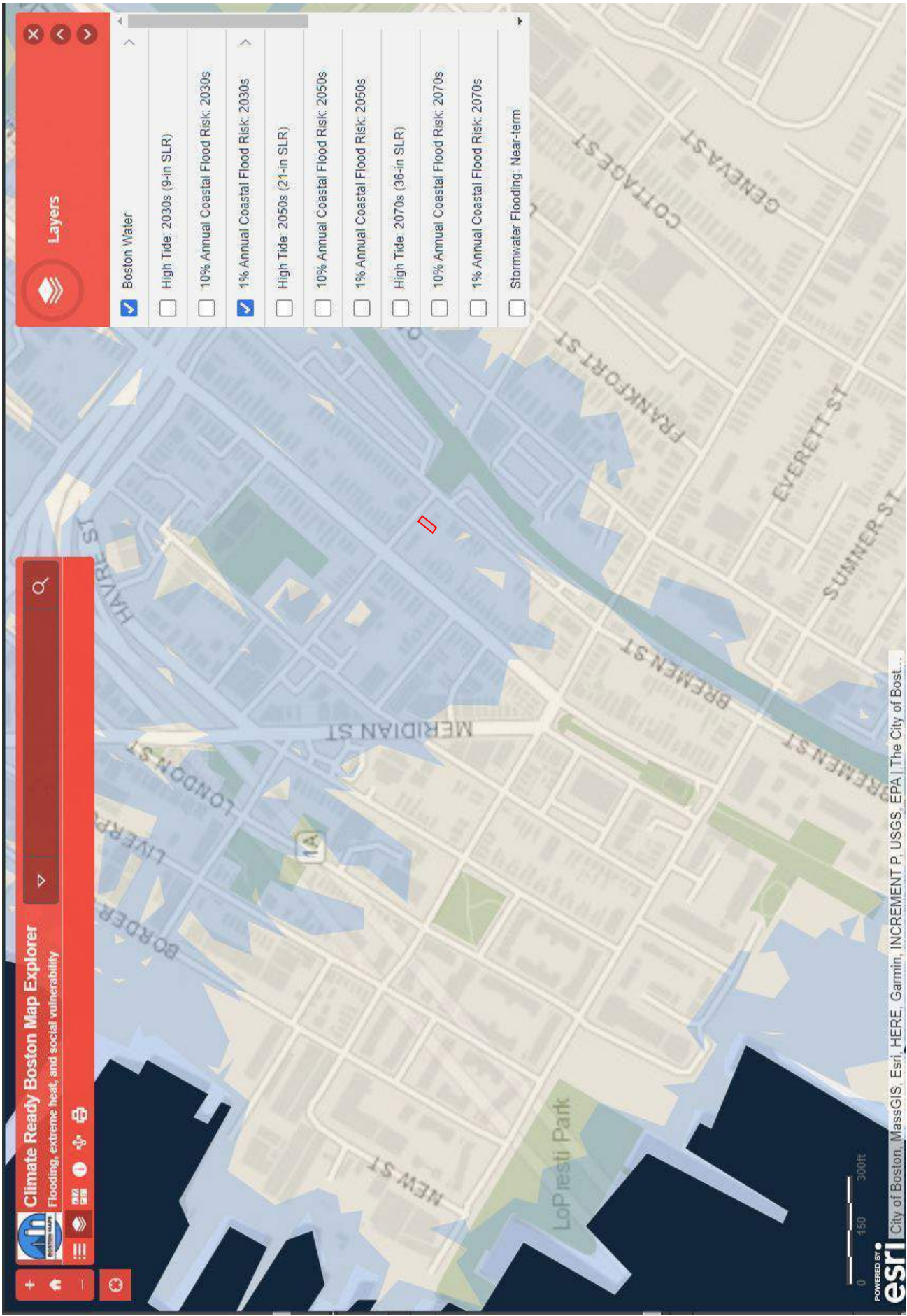
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 UHO.DVRU.SURVAV

Climate Resiliency Maps

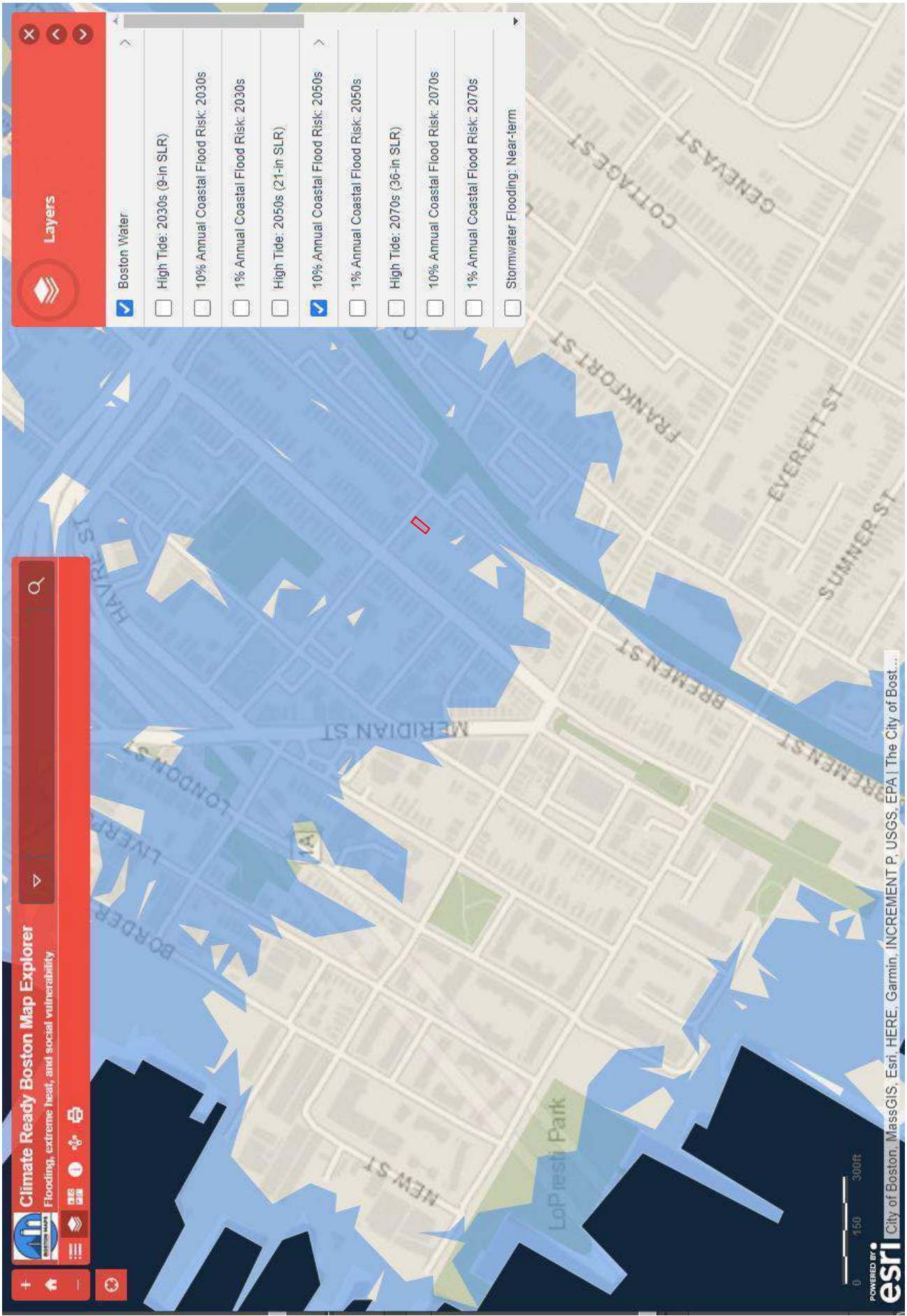


Climate Ready Boston Map Explorer

Flooding, extreme heat, and social vulnerability

Layers

- Boston Water
- High Tide: 2030s (9-in SLR)
- 10% Annual Coastal Flood Risk: 2030s
- 1% Annual Coastal Flood Risk: 2030s
- High Tide: 2050s (21-in SLR)
- 10% Annual Coastal Flood Risk: 2050s
- 1% Annual Coastal Flood Risk: 2050s
- High Tide: 2070s (36-in SLR)
- 10% Annual Coastal Flood Risk: 2070s
- 1% Annual Coastal Flood Risk: 2070s
- Stormwater Flooding: Near-term



Climate Ready Boston Map Explorer

Flooding, extreme heat, and social vulnerability



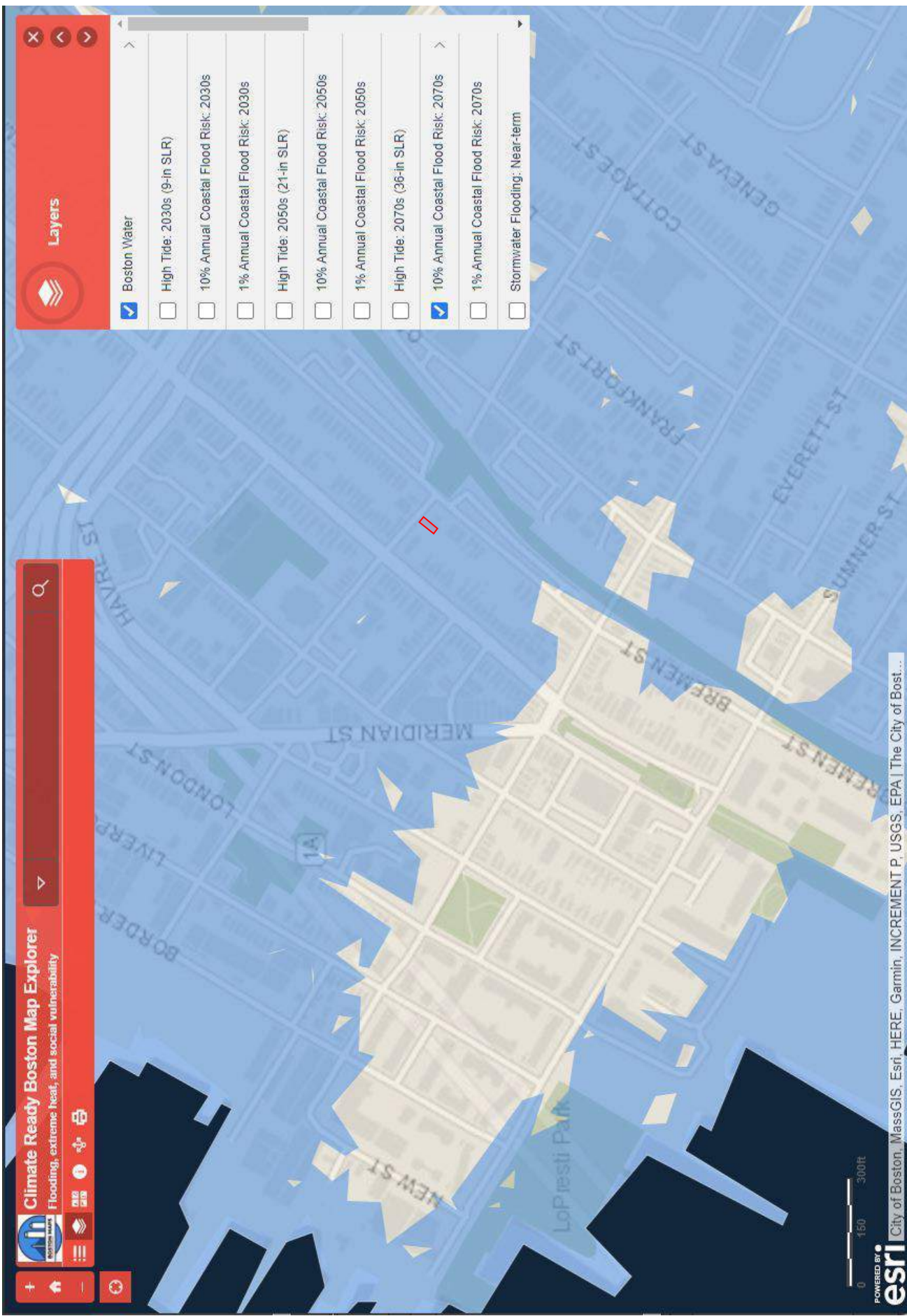
Layers

- Boston Water
- High Tide: 2030s (9-in SLR)
- 10% Annual Coastal Flood Risk: 2030s
- 1% Annual Coastal Flood Risk: 2030s
- High Tide: 2050s (21-in SLR)
- 10% Annual Coastal Flood Risk: 2050s
- 1% Annual Coastal Flood Risk: 2050s
- High Tide: 2070s (36-in SLR)
- 10% Annual Coastal Flood Risk: 2070s
- 1% Annual Coastal Flood Risk: 2070s
- Stormwater Flooding: Near-term

0 150 300ft



City of Boston, MassGIS, Esri, HERE, Garmin, INCREMENT P, USGS, EPA | The City of Bost...



Climate Ready Boston Map Explorer
Flooding, extreme heat, and social vulnerability

Layers

- Boston Water
- High Tide: 2030s (9-in SLR)
- 10% Annual Coastal Flood Risk: 2030s
- 1% Annual Coastal Flood Risk: 2030s
- High Tide: 2050s (21-in SLR)
- 10% Annual Coastal Flood Risk: 2050s
- 1% Annual Coastal Flood Risk: 2050s
- High Tide: 2070s (36-in SLR)
- 10% Annual Coastal Flood Risk: 2070s
- 1% Annual Coastal Flood Risk: 2070s
- Stormwater Flooding: Near-term

Map navigation and search controls including a search bar, zoom in (+) and zoom out (-) buttons, a home button, and a refresh button.

0 150 300ft

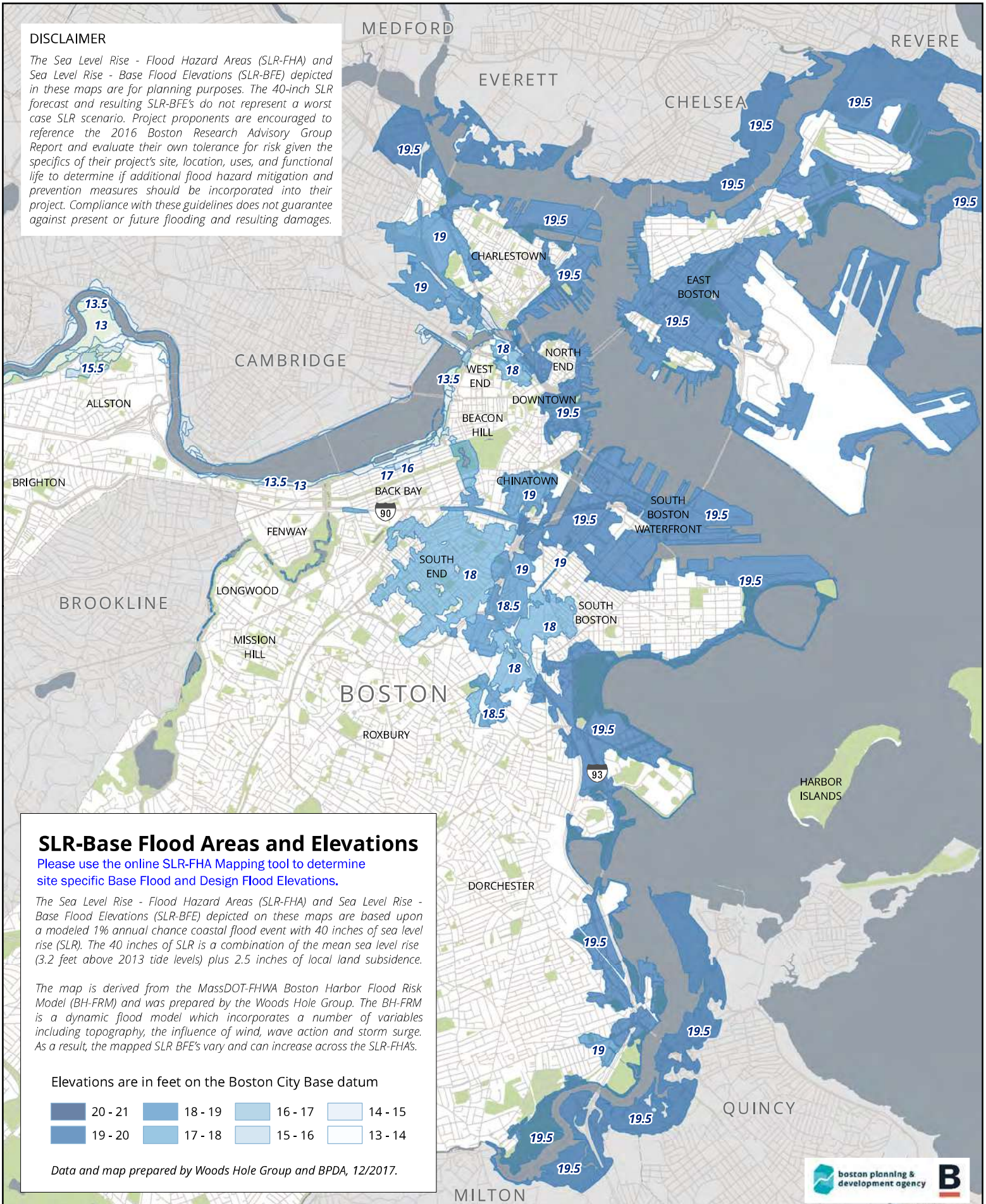


BPDA Sea Level Rise Map

BPDA Sea Level Rise-Flood Hazard Area Map

DISCLAIMER

The Sea Level Rise - Flood Hazard Areas (SLR-FHA) and Sea Level Rise - Base Flood Elevations (SLR-BFE) depicted in these maps are for planning purposes. The 40-inch SLR forecast and resulting SLR-BFE's do not represent a worst case SLR scenario. Project proponents are encouraged to reference the 2016 Boston Research Advisory Group Report and evaluate their own tolerance for risk given the specifics of their project's site, location, uses, and functional life to determine if additional flood hazard mitigation and prevention measures should be incorporated into their project. Compliance with these guidelines does not guarantee against present or future flooding and resulting damages.



SLR-Base Flood Areas and Elevations

Please use the [online SLR-FHA Mapping tool](#) to determine site specific Base Flood and Design Flood Elevations.

The Sea Level Rise - Flood Hazard Areas (SLR-FHA) and Sea Level Rise - Base Flood Elevations (SLR-BFE) depicted on these maps are based upon a modeled 1% annual chance coastal flood event with 40 inches of sea level rise (SLR). The 40 inches of SLR is a combination of the mean sea level rise (3.2 feet above 2013 tide levels) plus 2.5 inches of local land subsidence.

The map is derived from the MassDOT-FHWA Boston Harbor Flood Risk Model (BH-FRM) and was prepared by the Woods Hole Group. The BH-FRM is a dynamic flood model which incorporates a number of variables including topography, the influence of wind, wave action and storm surge. As a result, the mapped SLR BFE's vary and can increase across the SLR-FHAs.

Elevations are in feet on the Boston City Base datum

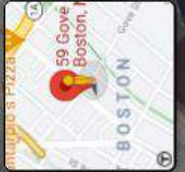
20 - 21	18 - 19	16 - 17	14 - 15
19 - 20	17 - 18	15 - 16	13 - 14

Data and map prepared by Woods Hole Group and BPDA, 12/2017.

Site Photographs



59 Gove St
Boston, Massachusetts
Google
Street View

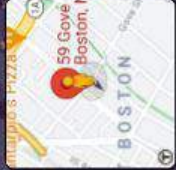


Google





58 Gove St
Boston, Massachusetts
Google
Street View



Google

59 GOVE STREET

Boston, Massachusetts 02128

ASSESSORS:

PARCEL ID: 0103848000

REFERENCES:

DEED BOOK 55982, PAGE 156
 BWSC SITE PLAN NO. 14328
 CITY OF BOSTON HISTORIC SURVEY
 BOOK 1229, PAGES 92-95

RECORD OWNER:

59 GOVE STREET LLC
 163 MARLBOROUGH STREET
 BOSTON, MA 02116

NOTES:

- 1) PROJECT SOURCE BENCHMARK IS BASED ON A PLAN PROVIDED BY BWSC "BWSC SITE PLAN NO. 14238". VERTICAL DATUM: BOSTON CITY BASE
- 2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE BOSTON WATER & SEWER COMMISSION, MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- 3) EVIDENCE OF UNDERGROUND ELECTRIC LINES WAS OBSERVED (LIGHT POLES LOCATED ON THE SIDEWALK). LOCATIONS OF SAID LINES IS UNKNOWN.
- 4) PAVEMENT PATCH LEADING TO PASSAGEWAY MAY INDICATED ADDITIONAL UNDERGROUND UTILITY LINES. NO RECORD OF THIS UTILITY LINE WAS PROVIDED BY PUBLIC OR PRIVATE COMPANIES.

PREPARED FOR:

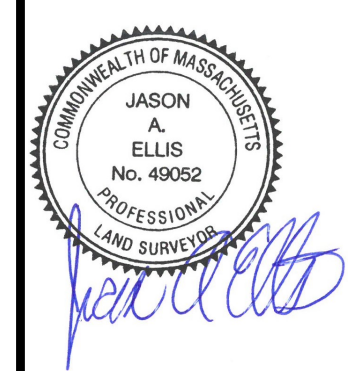
59 GOVE, LLC

59 Gove Street
 Boston, Massachusetts 02128

HANCOCK ASSOCIATES

Civil Engineers
 Land Surveyors
 Wetland Scientists

121 EAST BERKELEY STREET, BOSTON, MA 02118
 VOICE (617) 357-8145, FAX (617) 357-9495
 WWW.HANCOCKASSOCIATES.COM



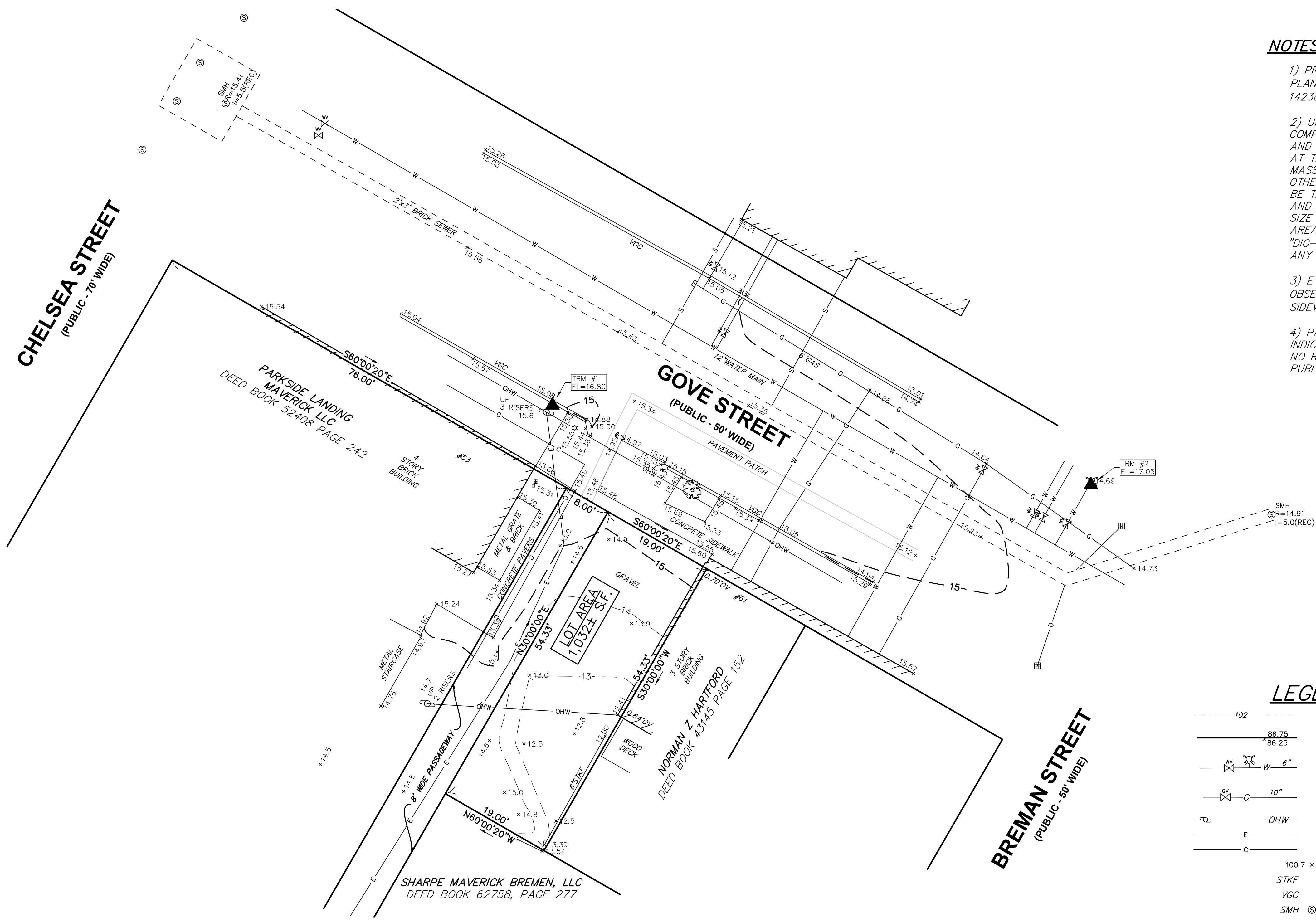
NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

**EXISTING CONDITIONS
 PLAN OF LAND
 IN
 EAST BOSTON, MA**

PLOT DATE: Oct 19, 2021 11:47 am
 PATH: G:\24 3D Projects\25194 - Pinegrove - Boston\Surv\DWG\

DWG: 25194sv.dwg	LAYOUT: EC
SHEET: 1 OF 1	PROJECT NO.: 25194

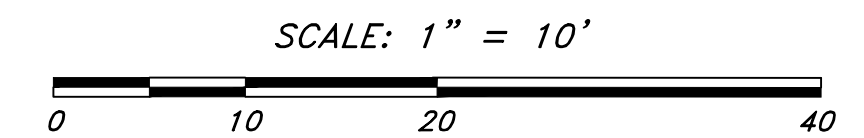
COMPILED FROM CITY OF BOSTON
 FIELD NOTES, BOOK 1229, PAGE 92

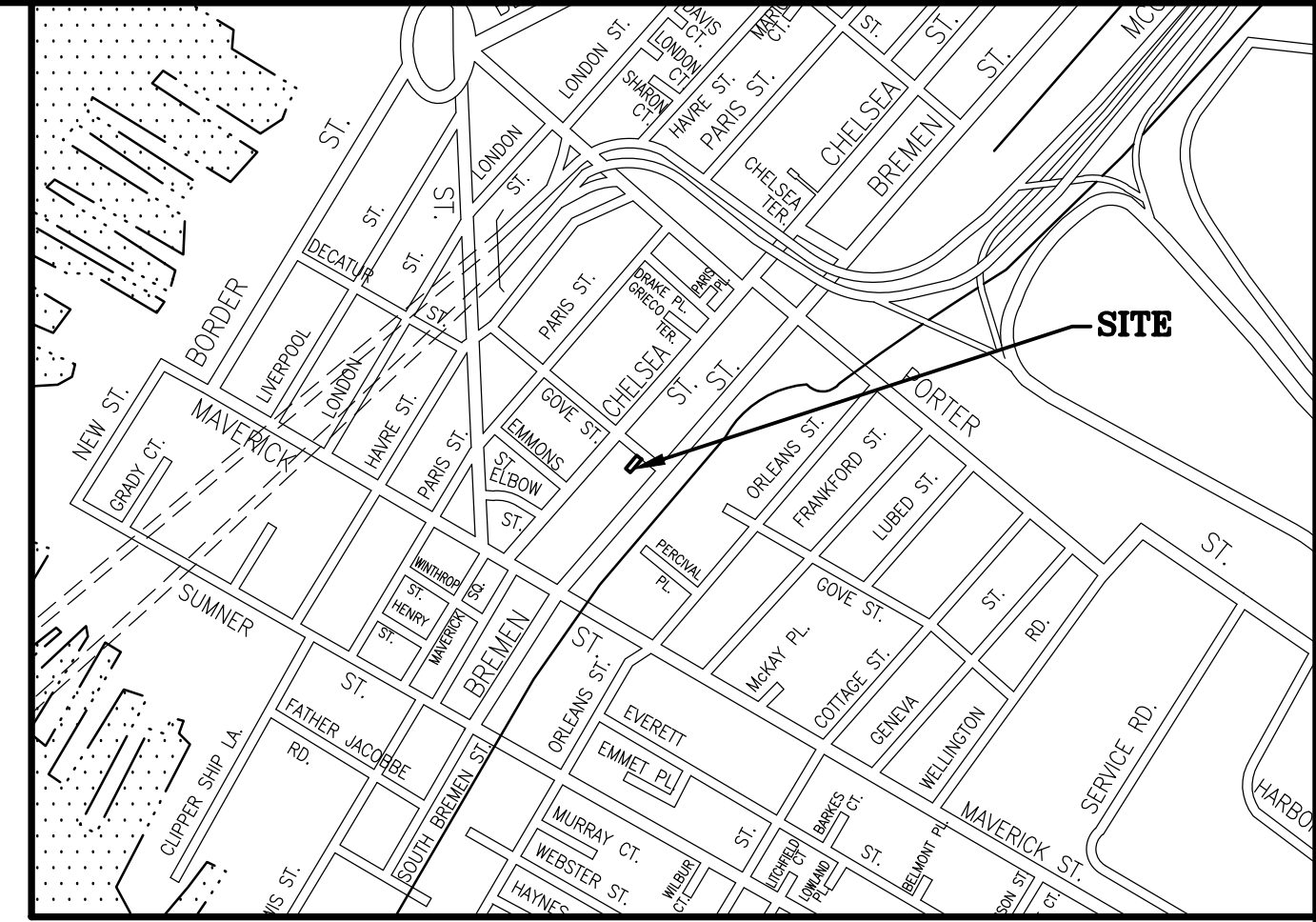
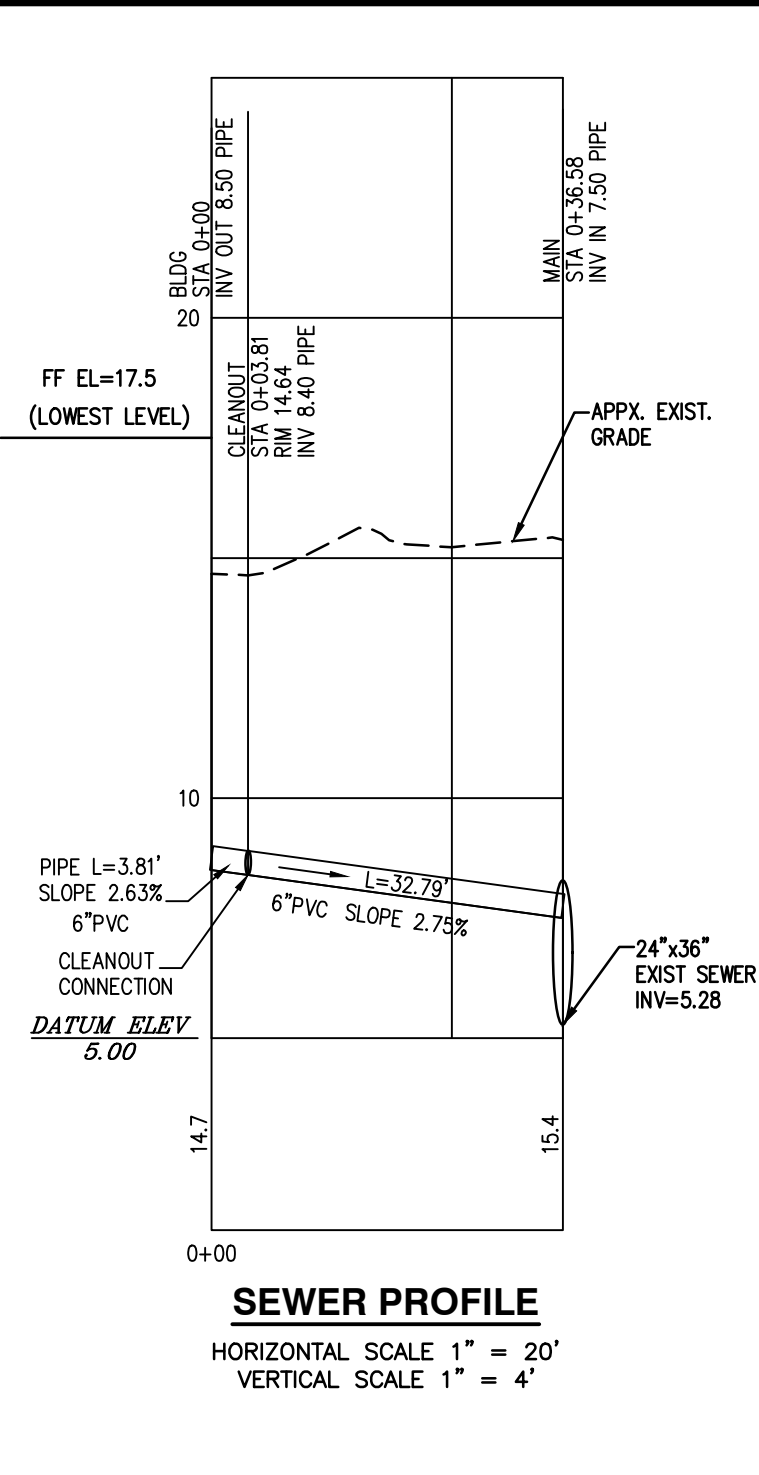
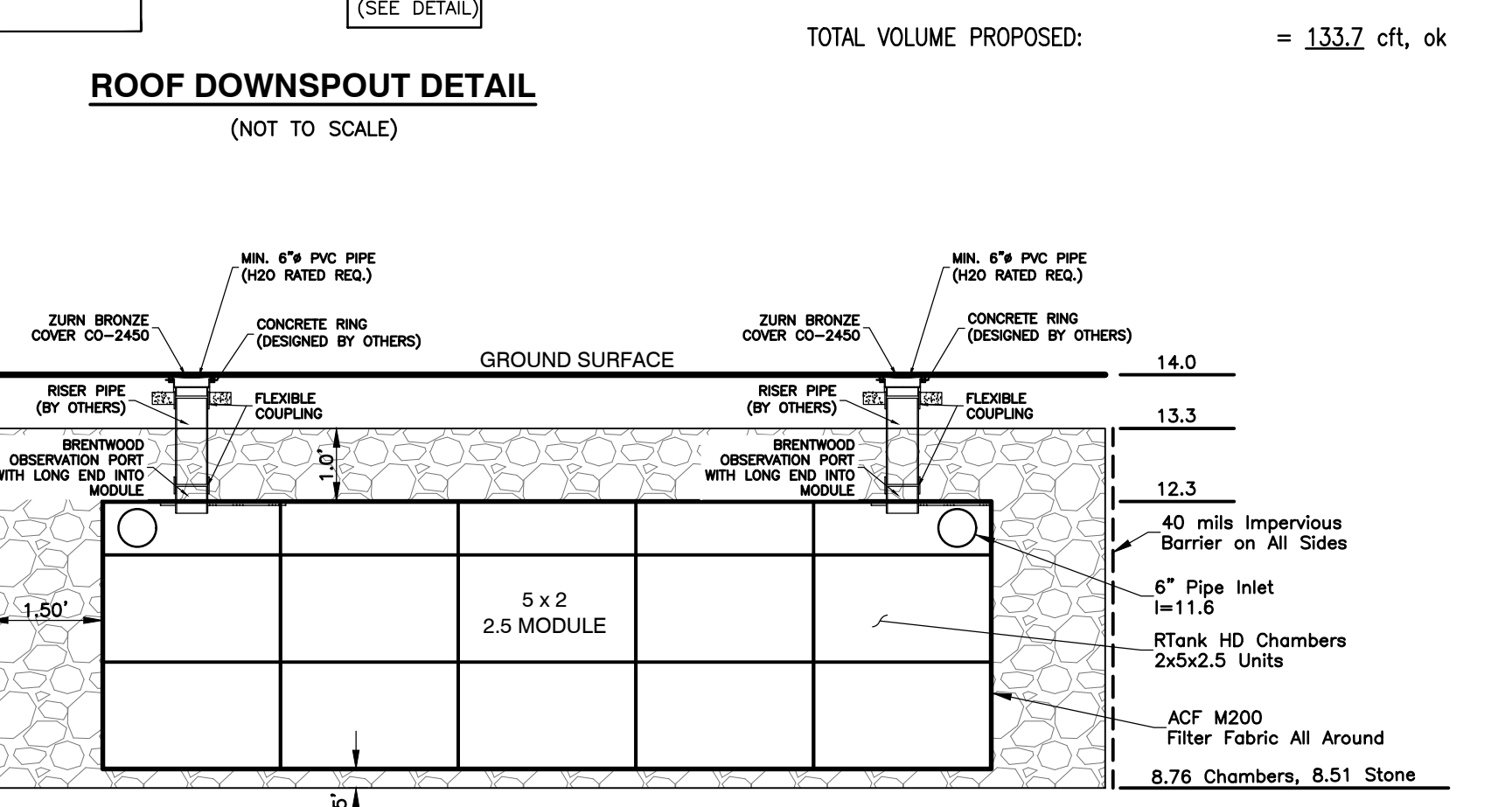
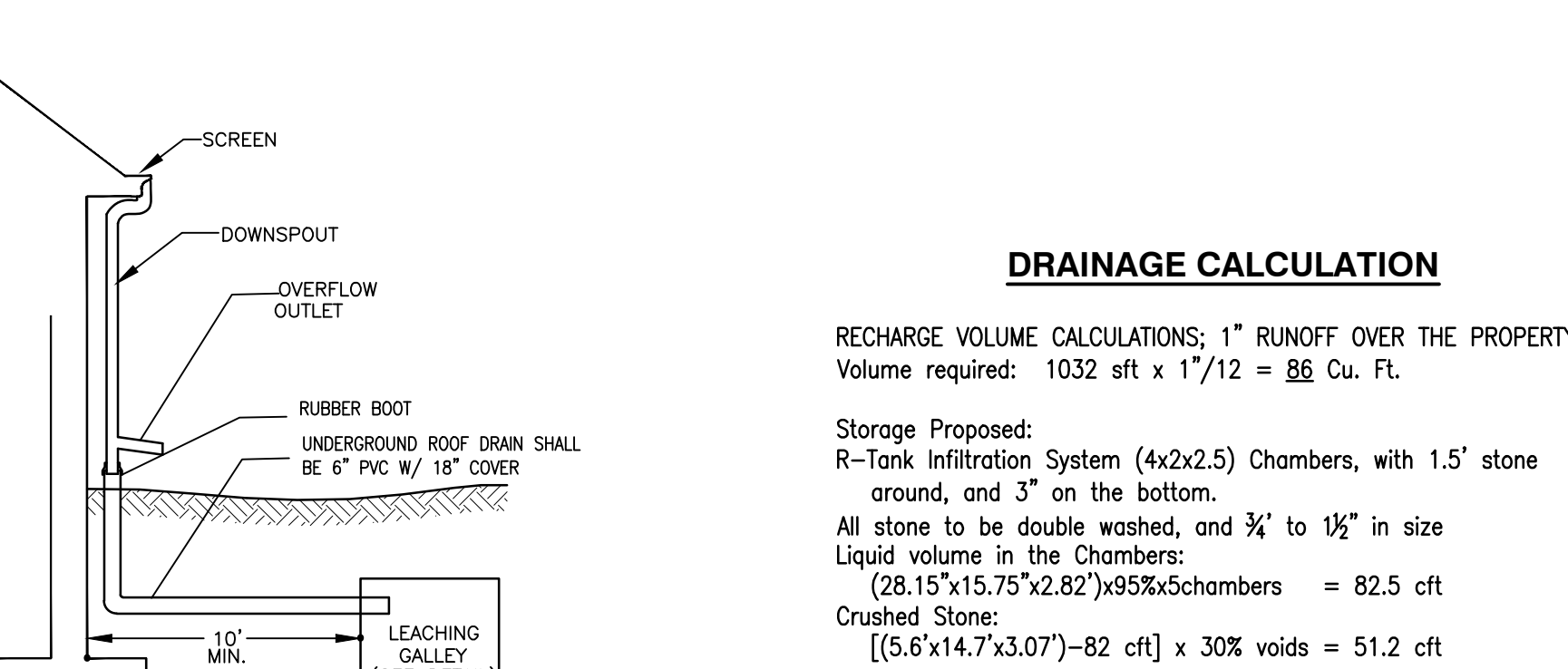
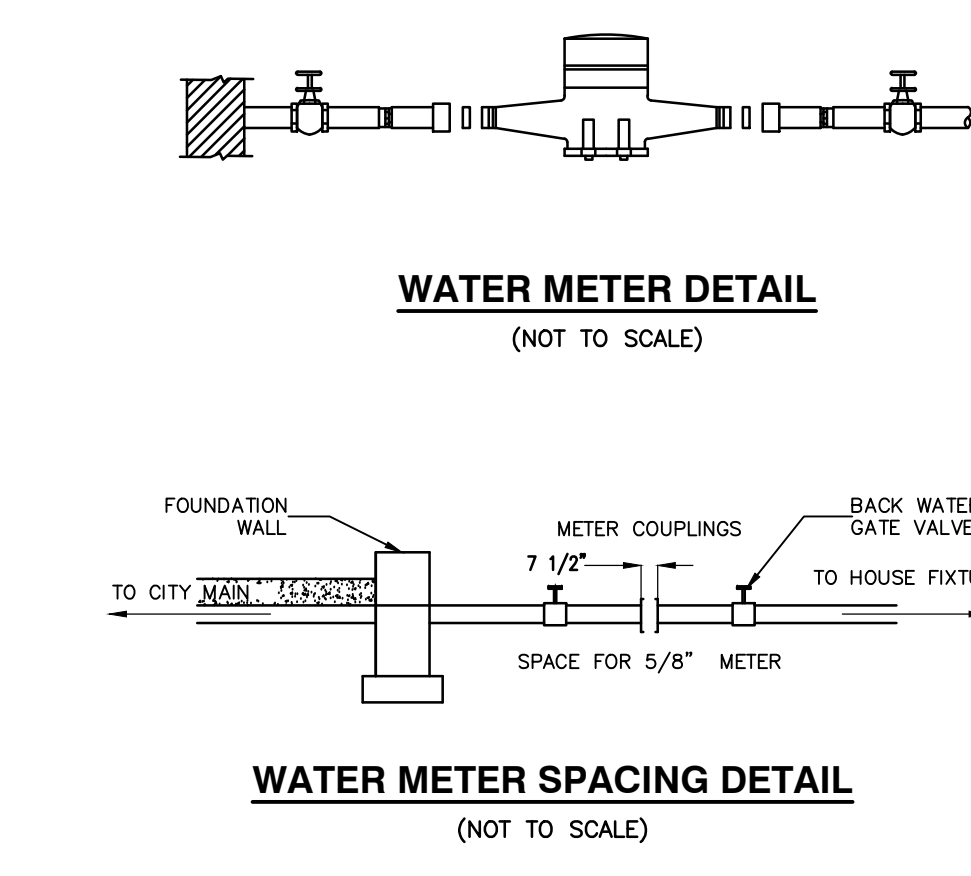
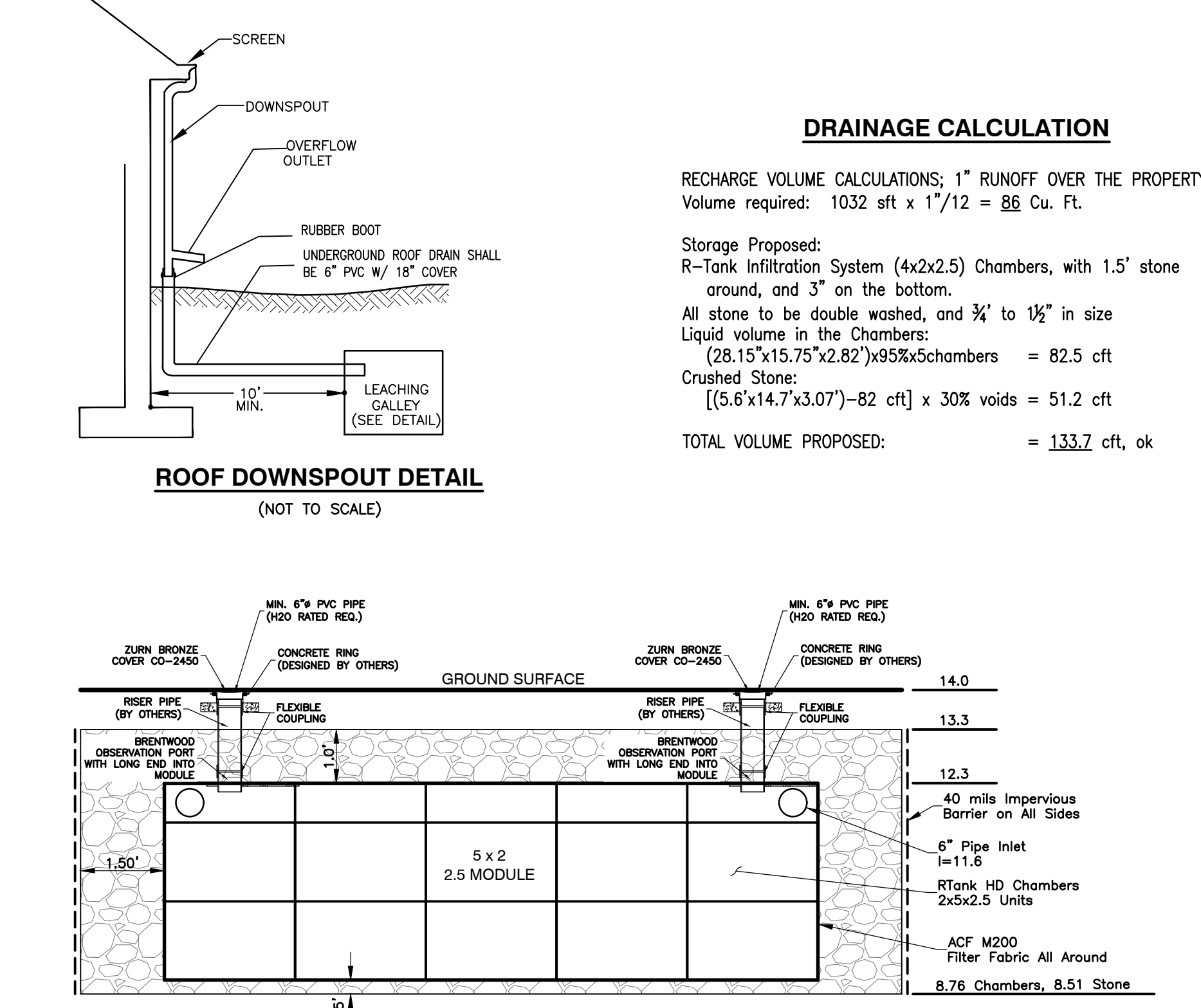
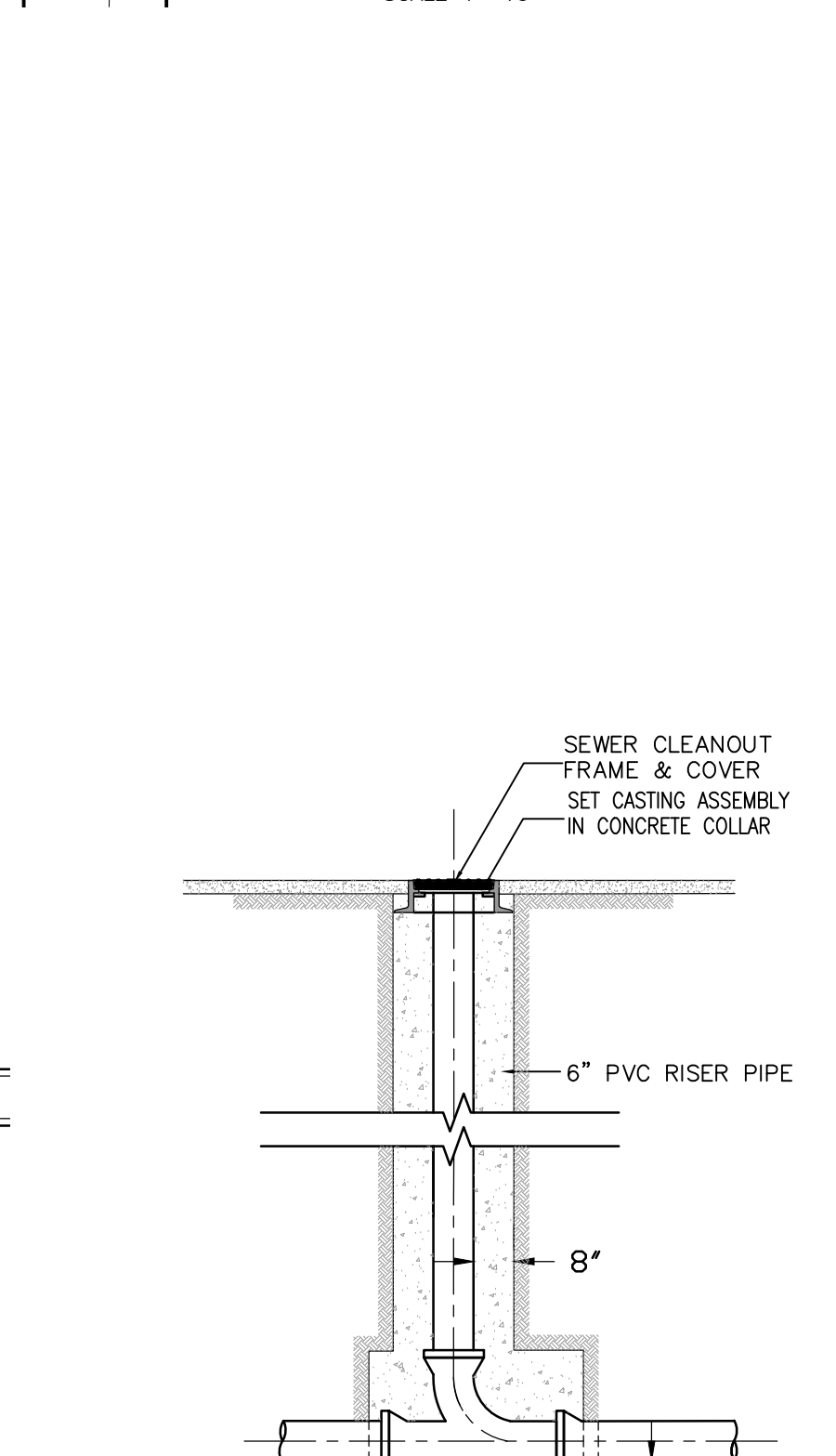
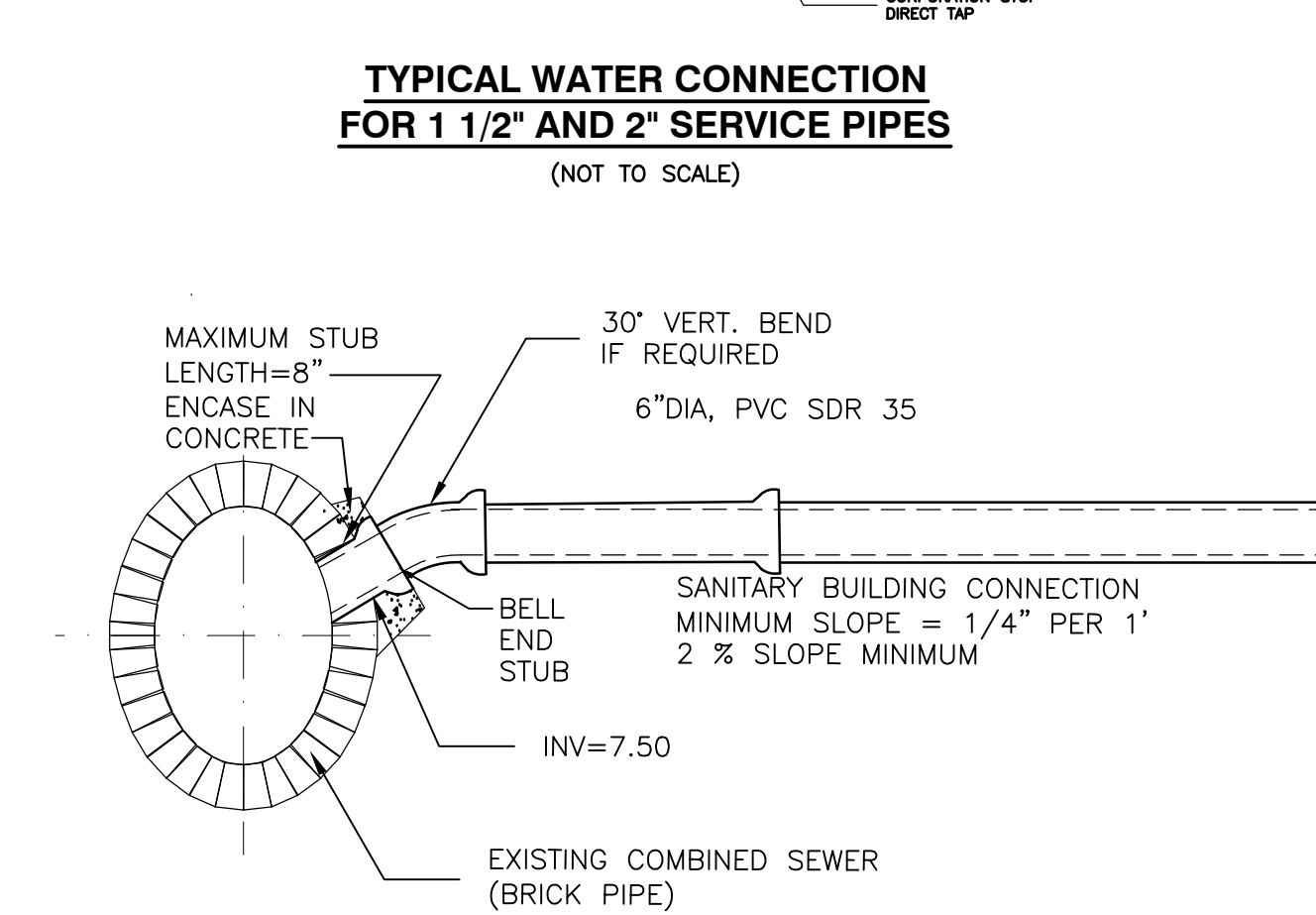
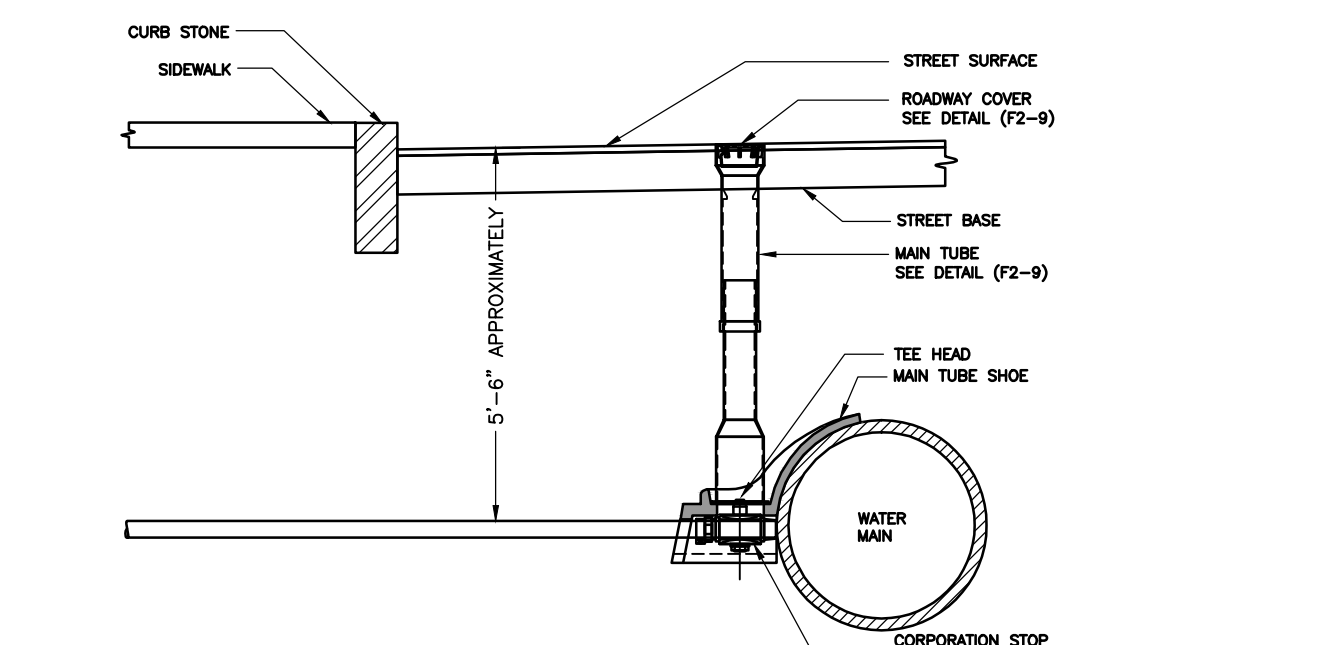
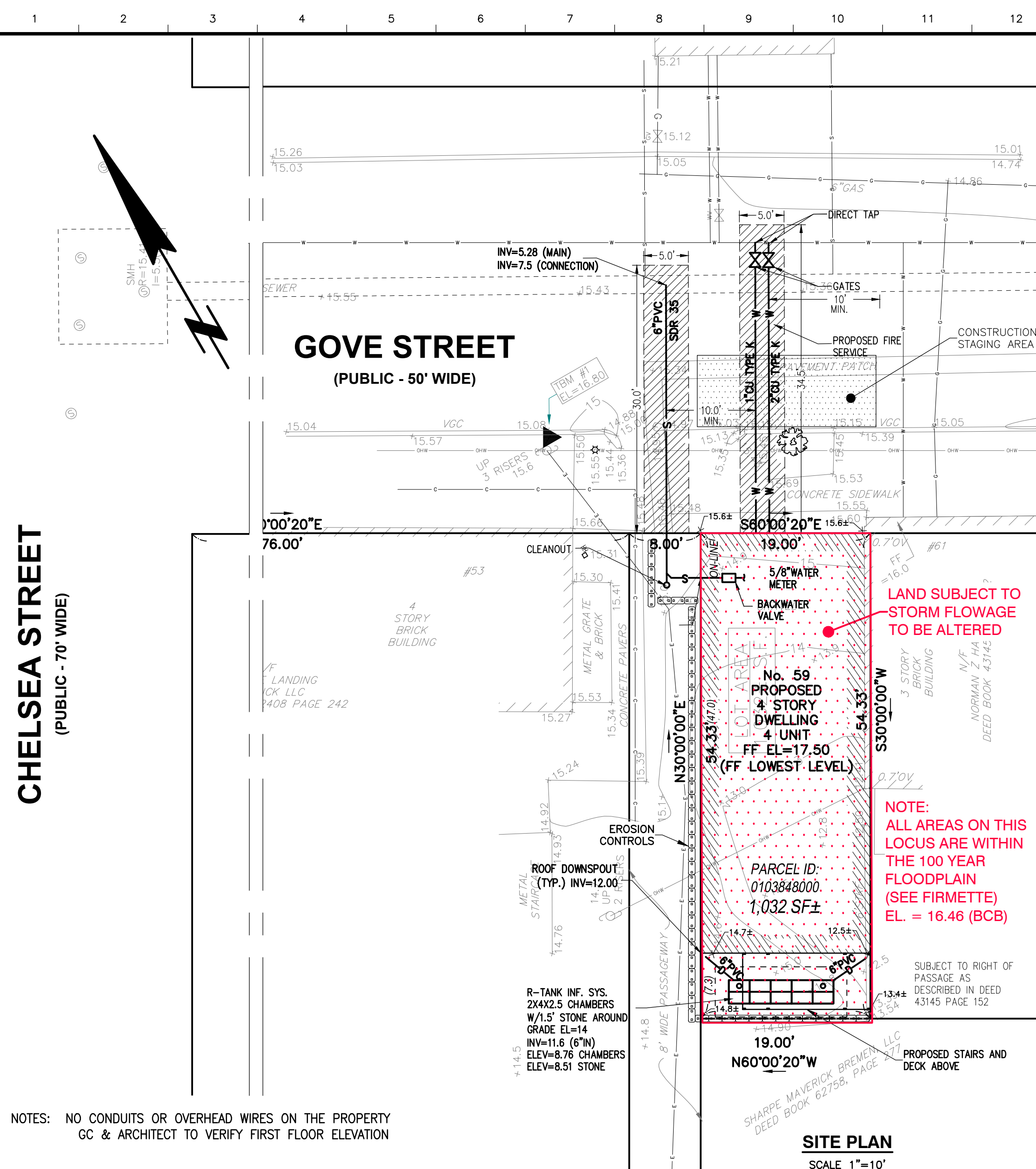


LEGEND

--- 102 ---	SURFACE CONTOUR
=====	CURB WITH TOP AND BOTTOM CURB ELEVATION
W 6"	WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
G 10"	GAS MAIN WITH SIZE & GATE VALVE
OHW	UTILITY POLE WITH OVERHEAD WIRES
E	UNDERGROUND ELECTRIC LINES
C	UNDERGROUND CABLE LINES
100.7 x	SPOT ELEVATION
STKF	STOCKADE FENCE
VGC	VERTICAL GRANITE CURB
SMH	SEWER MANHOLE
DMH	DRAIN MANHOLE
CB	CATCH BASIN
⊗	DECIDUOUS TREE

ELEVATION BENCH MARKS		
DATUM: BOSTON CITY BASE		
NO.	DESCRIPTION	ELEV.
1.	NAIL SET IN UPOLE	16.80
2.	RIGHT BOLT OVER MAIN OUTLET ON HYDRANT	17.05
3.		





LEGEND

SEWER	---	S
WATER	---	W
TELEPHONE	---	T
GAS	---	G
ELECTRIC	---	E
CABLE TV	---	CTV
WG	---	WATER GATE
SMH	---	SEWER MANHOLE
HYDRANT	---	HYDRANT
CATCH BASIN	---	CATCH BASIN
ELECTRIC MANHOLE	---	ELECTRIC MANHOLE
GAS GATE	---	GAS GATE
LIGHT POLE	---	LIGHT POLE

PIDs: 0103848000

PROJECT INFORMATION / GENERAL NOTES

Project Location: 59 Gove Street, East Boston, MA 02128-1908
Neighborhood: East Boston
Applicant: Adam Cutter, 46 Pine Cove St., Needham, MA 02494
Tel. 781-690-2720

Water Account Number: New number to be given
Existing Condition: Vacant Lot
Proposed: Four unit building w/Total 8 Bedrooms
(4 Units - 2 Bedrooms each)
Estimated sewage Flow for:
8 BRs. x 110 gpd/BR = 880 gpd
New sewer service, 6" PVC SDR 35
Drainage: On-site, roof-downspouts to drywell, in the back.

LAND USE CODE: R2

DESIGN & CONSTRUCTION NOTES

- Location of all utilities and subsurface structures are from, survey and records of the City, utility companies and are considered approximate as to size and location, and may be incomplete. Call Dig safe (1-888-DIG-SAFE) obtain clearance before digging in each area.
- Project Survey - Hancock Associates Inc., Jason Ellis PLS, 617-357-8145.
- Notify MWRA; for any work in the vicinity of utility lines, within 30 feet, owned and /or operated by MWRA, obtain permission in writing from MWRA prior to start of work.
- All work shall be performed in accordance with the City of Boston Water & Sewer Commission, Boston Department of Public Works (DPW), and Boston Traffic and parking Department(BTP) Rules and Regulations.
- Utilities: In the City of Boston, the contractor shall be licensed by the Boston Water & Sewer Commission (BWSC), and obtain permit and make arrangements for inspections by BWSC. All existing lines for inspection, opening, etc. shall be the BWSC staff.
- All pipe materials, fittings, hydrants, catch basins, etc. shall meet the BWSC's current specifications and standards.
- Water and sewer/drain shall have 10 feet horizontal separation, or sewer/drain shall be below water main 18 inch, clear separation vertically between the pipes. All utility trenches shall be repaired by infra-red bonding process or as stated in the road opening permit. VERIFY in the field w/BWSC Inspector proper connection to the intended sewer and water lines.
- All sewer pipes/manholes shall tested for leak, cleaned, and flushed prior to put to use. Leak test shall be by water or by low pressure air.
- Water main shall be 5 ft deep, Ductile Iron Class 52, cement lined, with Tyton or mechanical joint. Fittings shall be Class 350. Water service shall be minimum 2 inch, Type K copper tubing or as noted. Place concrete thrust blocks per details. Water line shall be tested for pressure, sterilized, flushed, and bacteria tested per the BWSC.
- While constructing one utility line, provide full protection for all other utility lines, and the contractor shall be responsible for any damage, repair, and other liabilities.
- All Plumbing fixtures below the top of the manhole of the sewer servicing the fixtures shall be considered as being subject to backflow and shall be supplied with backwater valve.
- 6.All trenches shall be backfilled in layers of 12 inches, well compacted, and allowed to settle prior to applying asphalt base course. OR stated in the road opening permit.
- 7.Contractors shall assume risk of dewatering and ledge blasting. Obtain all blasting permits as needed.
- 8.All disturbed areas shall be restored to original condition.
- 9.Within one foot of main dig by hand tools only.
- 10.Provide AS-BUILT drawings to BWSC to obtain Occupancy permit.
- 11.Safety. Take adequate safety in construction at all times, follow OSHA regulations, take proper traffic safety, obtain police details where needed, and designate a person as a safety inspector.

Rough Construction Sign-Off: A prerequisite for filing a General Service Application with the BWSC for new construction is the Rough Construction Sign-off document from the City of Boston's Inspectional Service Department.

INSPECTION SIGN OFFS:

A) 1" Cu Water Service: type k	Inspector	Date
B) 6" PVC Sewer: SDR 35	Inspector	Date
C) 2" Cu Fire Service: type k	Inspector	Date
D) Dye Test:	Inspector	Date
E) Rtank:	Inspector	Date
F) AS-Built Drawings	Inspector	Date
G) Downspout Overflow	Inspector	Date

DRAWN BY: DTW DESIGNED BY: DTW
CHECKED BY: AD APPROVED BY: DTW

10 0 5 10 20
HORIZONTAL GRAPHIC SCALE IN FEET

REVISIONS

NO.	DATE	DESCRIPTION
5	11/3/21	REMOVED BASEMENT LEVEL
4	10/15/21	NOI SUBMISSION - NEW SURVEY
3	8/18/21	NOI SUBMISSION
2	8/9/21	BWSC COMMENTS
1	7/21/21	BUILDING FOOTPRINT & FIRE SERVICE

DATE: 7-21-2021
SCALE: 1" = 10'
SHEET 1 OF 1

59 GOVE STREET
BOSTON, MASSACHUSETTS

SITE PLAN
SITE PLAN #21346

HANCOCK ASSOCIATES
121 E. Berkeley Street, 4th Floor, Boston, MA 02118
Tel: 617-357-8145 Fax: 617-357-9495 web: hwmcorp.com

BENCHMARK: SEE SURVEY PREPARED BY HANCOCK ASSOCIATES INC. DATED OCTOBER 5, 2021