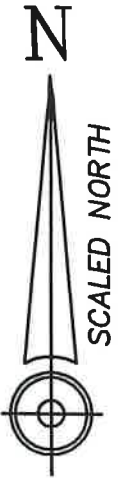
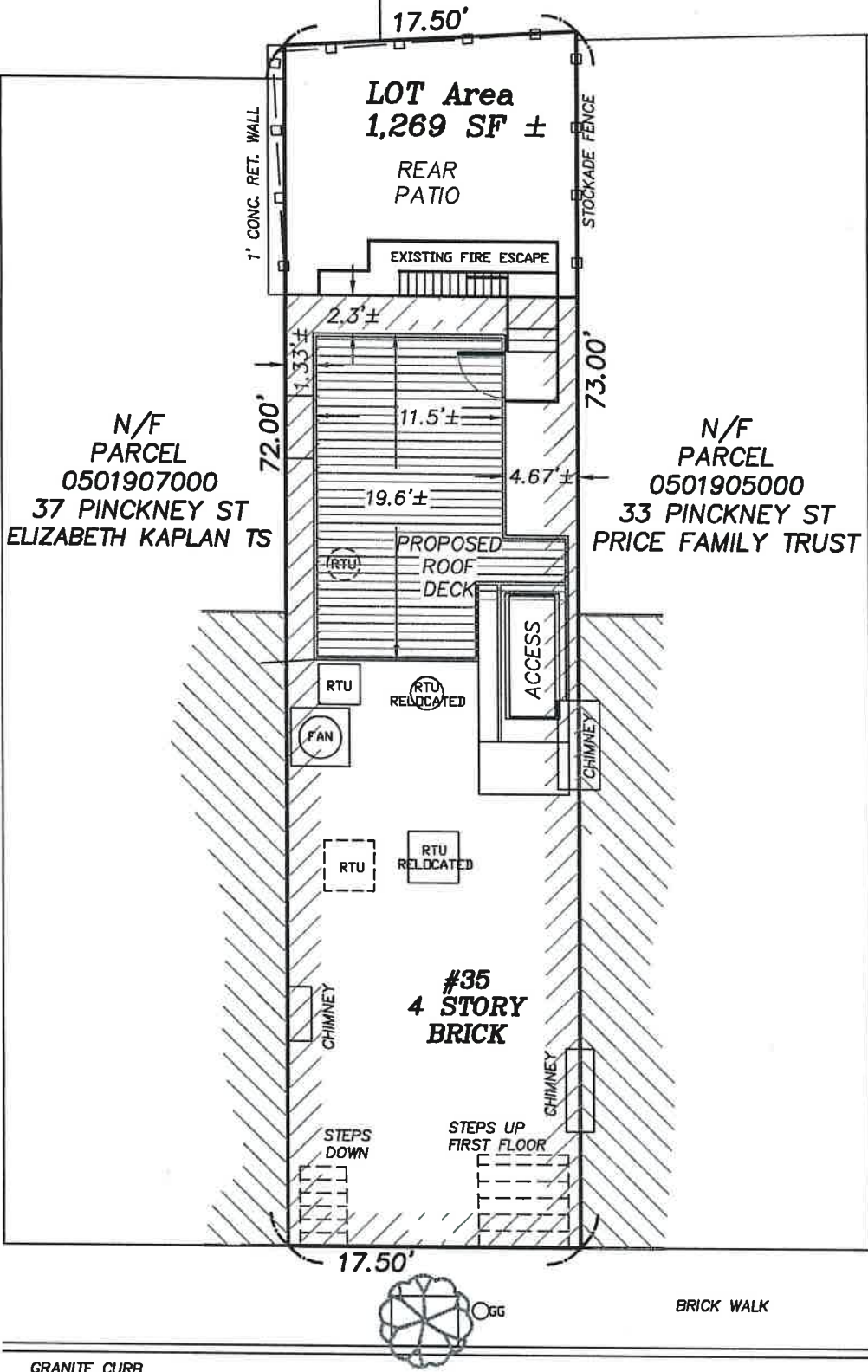


N/F
PARCEL
0501876000
60 MYRTLE ST
SIXTY MYRTLE ST CONDO TR

N/F
PARCEL
0501877000
58-54 MYRTLE ST
FIFTY 4-58 MYRTLE ST CONDO TR



**CONDOMINIUM
OWNER ~ UNIT 3:**
Thomas C Piemonte et al



I certify that this is a true plot plan based on field and record information.

[Signature] 9.7.2021
Registered Professional Land Surveyor

PINCKNEY (PUBLIC ~ 30' WIDE) STREET

PROPOSED ROOF DECK

SCALE: 1"=10'

35 PINCKNEY STREET, BOSTON, MA

DATE: 9/3/21

R. E. CAMERON & ASSOCIATES, INC.

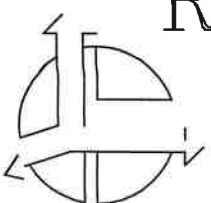
681 WASHINGTON ST. - NORWOOD, MASSACHUSETTS 02062

CIVIL ENGINEERS LAND SURVEYORS

(voice) 781 769-1777 (fax) 781 769-8644

DRAWN BY SLS

JOB No. 4467P1



GENERAL NOTES:

CONTRACTOR RESPONSIBILITY - CONTRACTOR IS SOLELY RESPONSIBLE FOR:

- VIEWING SITE AND INCLUDING ANY SPECIAL CONDITIONS NECESSARY TO PERFORM THE WORK AS DESCRIBED IN THE DRAWINGS.
- ESTABLISHING CONTROL OF THE SITE VIA SURVEY, AND LAYOUT.
- OBTAINING AND PAYING FOR ALL PERMITS.
- PAYING FOR ALL TEMPORARY UTILITIES AND FACILITIES.
- CHECKING AND CONFIRMING ALL DIMENSIONS, AND LAYOUTS.
- SCHEDULING AND SEQUENCING.
- CONSTRUCTION MEANS, METHODS AND TECHNIQUES
- MAINTAINING DRAWINGS AND PERMITS ON SITE.
- JOB SITE SAFETY
- COORDINATION BETWEEN TRADES, AND SUPPLIERS.
- PROVIDE SCHEDULE TO OWNER AND ARCHITECT,
- PROVIDE A SCHEDULE OF VALUES TO THE OWNER AND ARCHITECT.
- TEMPORARY HEAT, ICE AND SNOWPLOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- SITE CLEANLINESS AND CONFORMANCE TO NFPA 241 REQUIREMENTS.
- REPAIRING ANY WORK DAMAGED BY HIS FORCES WHILE PERFORMING THIS CONTRACT.
- GIVING WARRANTY FOR HIS WORK FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL COMPLETION.

REVIEW OF WORK BY DESIGNERS-

CONTRACTOR SHALL NOTIFY ARCHITECT BEFORE PROJECT STARTS.

CONTRACTOR SHALL NOTIFY ARCHITECT, ONE WEEK PRIOR TO:

- POURING CONCRETE
- INSULATING
- INSTALLING DRYWALL
- FINAL INSPECTION

SHOP DRAWINGS-

ALL SHOP DRAWINGS SHALL BE SUBMITTED 30 DAYS AFTER CONTRACT AWARD.

GENERAL CONTRACTOR SHALL APPROVE SHOP DRAWINGS, PRIOR TO SUBMITTING TO ARCHITECT OR ENGINEER.

NON SUBMISSION DOES NOT CONSTITUTE APPROVAL OF ANY WORK.

NO EXCEPTIONS TAKEN DOES NOT RELIEVE THE CONTRACTOR OF PERFORMING ANY OTHER WORK ON THE DRAWINGS.

CONTRACTOR SHALL EXPECT A MINIMUM OF 2 WEEKS FOR DESIGNERS' REVIEW TIME.

ANY VARIANCE FROM THE ORIGINAL DESIGN SHALL BE NOTED.

ANY SUBSTITUTION NOT INDICATED SHALL NOT CONSTITUTE APPROVAL OF A CHANGE.

SHOP DRAWINGS ARE NOT COORDINATION DRAWINGS.

DESIGNERS ARE NOT RESPONSIBLE FOR DIMENSIONS.

CONTRACTOR TO ENSURE MATERIALS AND ASSEMBLIES ARE COMPATIBLE AND ACCEPTABLE TO THE MANUFACTURER. ALL ASSEMBLY MATERIALS SHALL BE FROM A SINGLE SOURCE AS MUCH AS POSSIBLE.

REQUEST FOR INFORMATION -

ONLY RFI'S SENT THROUGH BY THE OWNER AND AWARDED CONTRACTOR WILL BE ANSWERED. SUBCONTRACTORS MUST SUBMIT RFI'S THROUGH THE GENERAL CONTRACTOR.

BIDDING PHASE - OWNER AND AWARDED CONTRACTOR ARE RESPONSIBLE FOR COMPILING AND AGGREGATING RFI'S AND SUBMITTING TO THE ARCHITECT OR DESIGNER AT ONE TIME ONLY. ARCHITECT OR DESIGNER HAS ONE WEEK TO RESPOND. QUESTIONS MUST BE COMPLETE, NOT PIECEMEAL AND SHOULD BE SUBMITTED BY CSI DIVISION.

CHANGE ORDERS-

CONTRACTOR SHALL VISIT THE SITE AND BE THOROUGHLY ACQUAINTED WITH THE PROJECT PRIOR TO SUBMITTING A PRICE. ADDITIONAL MONEY WILL NOT BE GRANTED FOR WORK NOT CLARIFIED PRIOR TO BIDDING.

DESIGNER SHALL BE NOTIFIED OF ANY CHANGE TO THE DRAWINGS, UNFORESEEN FIELD CONDITIONS OR DISCREPANCIES PRIOR TO PERFORMING WORK.

ANY PROPOSED CHANGES SHALL BE ACCOMPANIED WITH A WRITTEN DESCRIPTION OR A SKETCH FOR CLARIFICATION.

ALL CHANGE ORDERS SHALL BE APPROVED PRIOR TO PERFORMING WORK.

CHANGE ORDERS SHALL BE PRICED EITHER LUMP SUM OR UNIT PRICE OR TIME AND MATERIALS.

ANY SUBSTITUTION REQUEST SHALL BE MADE VIA CHANGE ORDER, AND NOT VIA SHOP DRAWINGS UNLESS AGREED TO.

ANY CHANGE SHALL STATE THE CREDIT OR COST ADD AND/OR ANY CHANGE TO THE SCHEDULE.

REQUISITIONS-

ANY REQUISITION REQUIRED TO BE SIGNED BY THE ARCHITECT SHALL BE SUBMITTED A MINIMUM OF ONE WEEK PRIOR TO BEING SUBMITTED TO THE BANK FOR REVIEW.

CONTRACTOR SHALL PROVIDE RECEIPTS AND INSURANCE CERTIFICATES FOR ANY MATERIALS FOR PAYMENT FOR ANY UNINSTALLED MATERIALS.

WOOD NOTES:

- ALL LUMBER SHALL HAVE A MOISTURE CONTENT OF NOT MORE THAN 19%.
- ALL FRAMING LUMBER SHALL BE #2 SPF, OR BETTER, HAVING A MINIMUM: FB=875 PSI, FV=135 PSI, E=1,300,000 PSI.
- ALL JOIST SPANS SHALL HAVE ONE ROW OF 1" X 3: CROSS BRIDGING AT MID SPAN AND NOT MORE THAN 8'-0" O.C.
- ALL STUD BEARING WALLS SHALL HAVE ONE ROW OF 2X HORIZONTAL BLOCKING AT 1/2 STUD HEIGHT, AND NOT MORE THAN 6'-0" O.C. MAXIMUM.
- PROVIDE AND INSTALL ALL NECESSARY TIMBER CONNECTORS WITH ADEQUATE STRENGTH.
- PROVIDE DOUBLE JOIST BELOW PARTITIONS PARALLEL TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BELOW PARTITIONS PERPENDICULAR TO JOIST FRAMING.
- PROVIDE SOLID BRIDGING BETWEEN JOIST FRAMING MEMBERS WHEN BEARING ON STUD PARTITIONS OR BEAMS.
- PROVIDE A CONTINUOUS BAND JOIST AT EXTERIOR STUD WALLS.
- PROVIDE DIAGONAL METAL STRAP BRACING AT ALL CORNERS AND WALL INTERSECTIONS, AT THE INSIDE FACE OF STUDS, FROM TOP PLATE TO FLOOR PLATE AT A 45 DEGREE ANGLE WITH A SIMPSON TYPE "RCWB" STRAP, OR EQUAL.
- ALL BUILT-UP BEAMS SHALL BE BOLTED WITH 1/2" Ø THRU BOLTS, MEETING A307 STANDARDS, OR, AS NOTED ON DRAWINGS.

WOOD LINTEL SCHEDULE:

Lintels over openings in bearing walls shall be as follows; or as noted on drawings.

Span of opening:	Size: 2x6 studs	Size: 2x4 studs
less than 4'-0"	3 - 2x4	2 - 2x4
up to 6'-0"	3 - 2x6	2 - 2x6
up to 8'-0"	3 - 2x8	2 - 2x8
up to 10'-0"	3 - 2x10	2 - 2x10

DESIGN CRITERIA:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE NINTH EDITION OF THE MASSACHUSETTS BUILDING CODE.

DESIGN LIVE LOAD = 40 POUNDS PER SQUARE FOOT - FLOORS - PRIVATE DECK

DESIGN SNOW LOAD = 40 POUNDS PER SQUARE FOOT WITH SNOW DRIFT WHERE APPLICABLE.

WIND LOAD = 128 MILES PER HOUR

SEISMIC: Ss = 0.217

S1 = 0.069

ALL LUMBER SHALL BE #2 SPF, Fb= 875 PSI, Fv=135 PSI.

STRUCTURAL STEEL NOTES:

- ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A36 SPECIFICATIONS, EXCEPT SQUARE STEEL TUBE COLUMNS.
- ALL SQUARE STEEL TUBE COLUMNS SHALL CONFORM TO ASTM A500, WITH A MINIMUM YIELD STRESS OF 46,000 PSI.
- ALL SHOP CONNECTIONS SHALL BE WELDED.
- FIELD CONNECTION SHALL BE MADE WITH HIGH STRENGTH FRICTION BOLTS MEETING A325-X SPECIFICATIONS.
- ALL BOLTS SHALL BE 3/4" IN DIAMETER, OR AS NOTED ON DRAWINGS. HOLES SHALL BE 1/16" LARGER.
- ALL STRUCTURAL STEEL SHALL RECEIVE ONE SHOP COAT OF RUST INHIBITIVE PAINT; SUCH AS TNEEC-99, OR RUST INHIBITOR BY "MAINLINE", OR, PAINT, AS NOTED IN THE SPECIFICATIONS.
- AFTER STRUCTURAL STEEL ERECTION IS IN PLACE, ALL EXPOSED AREAS SHALL BE TOUCHED UP - SEE SPECIFICATIONS ON PAINTING FOR ADDITIONAL REQUIREMENTS.
- PROVIDE 3/4" GROUT, 3,000 PSI, AND 1/4" THICK LEVELING PLATES UNDER ALL COLUMN BASE PLATES, WITH FOUR (4) 3/4" DIAMETER x 16" LONG ANCHOR BOLTS; OR AS NOTED.
- PROVIDE A MINIMUM OF 8" BEARING ON EACH SIDE OF LINTELS AND HEADERS OVER DOORS, WINDOWS, LOUVERS, AND OPENINGS, ETC.
- THE CONTRACTOR SHALL SUBMIT A REPRODUCIBLE SEPIA AND FOUR PRINTS OF SHOP DRAWINGS; SHOWING ALL STRUCTURAL STEEL SIZES, CONNECTIONS AND DETAILS, TO THE ARCHITECT FOR HIS APPROVAL. FABRICATION OF STRUCTURAL STEEL MEMBERS SHALL NOT BEGIN WITHOUT PRIOR WRITTEN APPROVAL BY THE ARCHITECT OR HIS ENGINEER.
- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE LATEST COMMONWEALTH OF MASSACHUSETTS BUILDING CODE AND THE STRUCTURAL STEEL INSTITUTE SPECIFICATIONS FOR BUILDINGS AND BRIDGES.

ROOF DECK REPLACEMENT/ ALTERATION/ 35 PINCKNEY STREET BOSTON, MASSACHUSETTS 02114

ZONING CODE ANALYSIS 35 Pinckney

Governing Article: Article 13

Subdistrict: H-2-65

Use Regulations: Section Table	
Existing	Proposed
2 family attached	3 family attached
	No Change

Dimensional Regulations: Table					
	Code Requirement	Existing Condition	Proposed Project	Notes	
Lot Area Minimum	na				
Min Lot Area for Additional Units	na				
Total Required Lot Size	na	1269	1269	No Change	
Min Required Lot Width and Frontage	na	17.5	17.5	No Change	
Max FAR	2	3.93	3.93	No Change	
Max Building Height / Stories	65	48'-10"	48'-10"	No Change	
Usable Open Space	150	93 per unit	93 per unit	No Change	
Min Front Yard	modal/ 0	modal/ 0	modal/ 0	No Change	
Min Side Yard	0 for 70'	0'	0'	No Change	
Min Rear Yard	20'-10' w/ shallow lot reduction	see 20-8 for set back reduction	16'	16'	No Change
Max Use of Rear Yard	30%	0	0	No Change	

Overlays: BHLDC Parks Department	Parking: 0 per unit - Existing non No Change
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Other Non-Dimensional Zoning Issues: Building code relieve required for hatch access to roof deck on a 4 story building

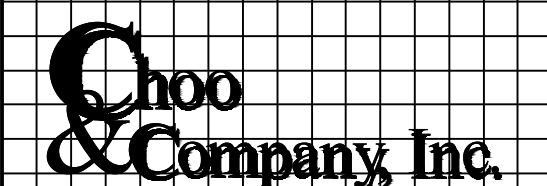
Violations

CODE SUMMARY

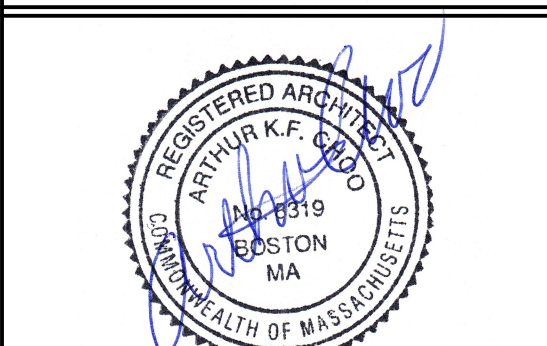
EX'G TYPE 3 CONSTRUCTION
EX'G R-2 USE GROUP (THREE FAMILY)
EX'G 4 STORIES

Location

**ROOF DECK REPLACEMENT/
ALTERATION
35 PINCKNEY STREET
BOSTON, MA 02114**



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



No.	Revision Date

Project No: 2021216
Scale: AS NOTED
Date: 08-19-2021
Drawn By: SL

Drawing Name

COVER SHEET

Sheet No.

A-0



BIRDSEYE LOOKING NORTH



BIRDSEYE LOOKING WEST



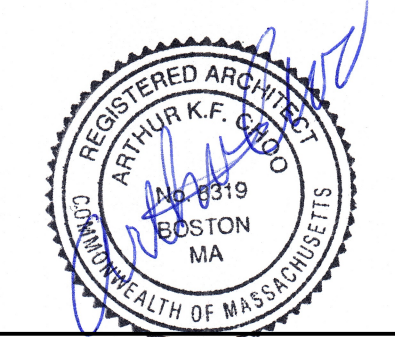
BIRDSEYE LOOKING NORTH

Location

ROOF DECK ALTERATION/
REPLACEMENT
35 PINCKNEY STREET
BOSTON, MA 02114

Choo
& Company, Inc.

One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



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Drawing Name
**SITE
CONTEXT**

Sheet No.
A-0.1



1 VIEW FROM PINCKNEY LOOKING NORTHWEST



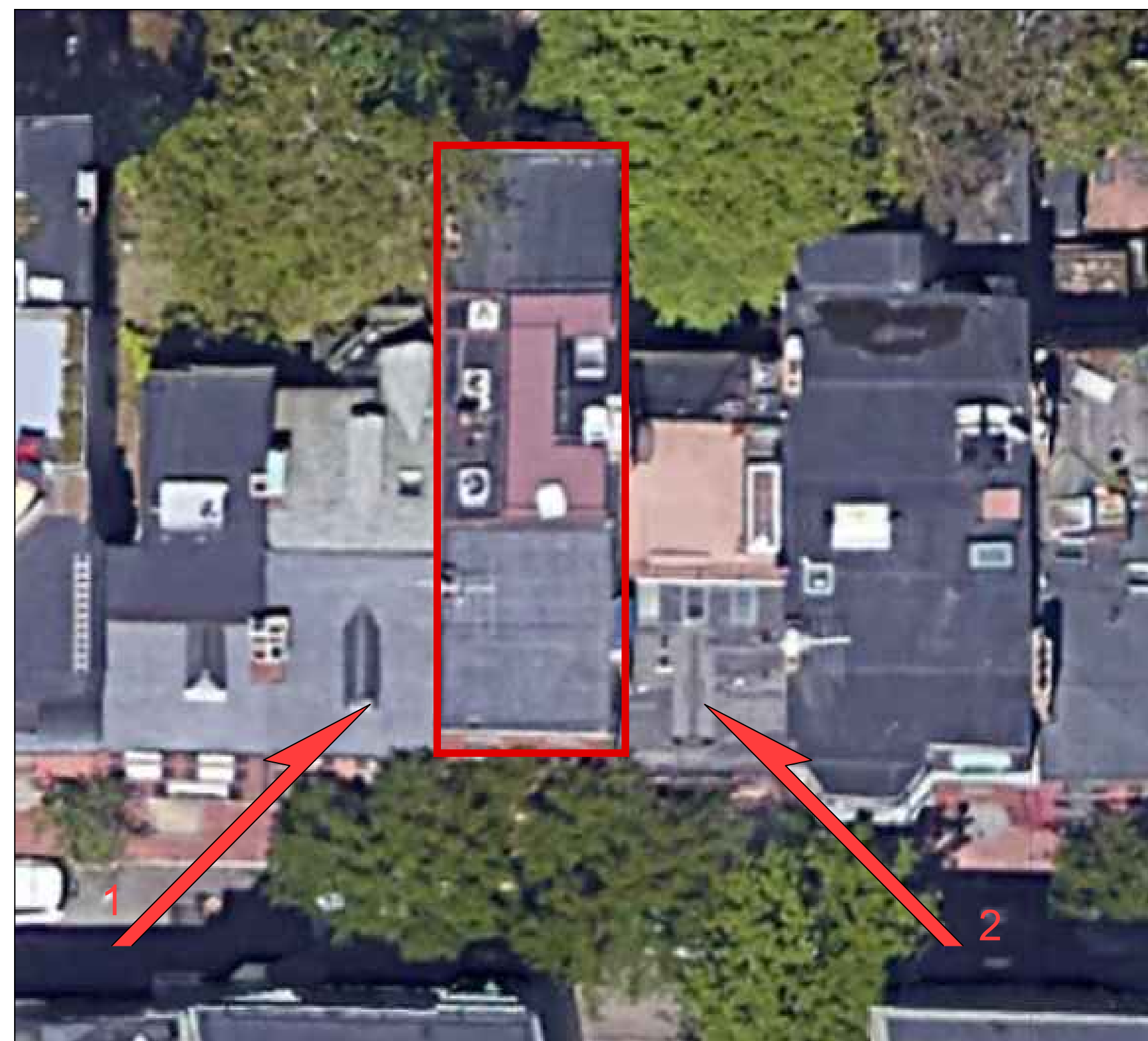
1 CLOSE UP OF VISIBLE ROOF DECK RAILING BEHIND ADJACENT FIRE ESCAPE



2 CLOSE UP OF VISIBLE ROOF DECK RAILING, ANTENNA, AND CONDENSER UNIT



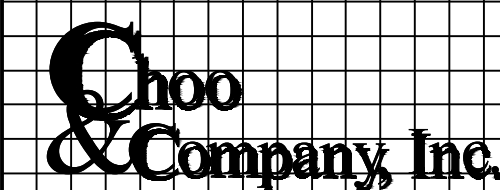
2 VIEW FROM PINCKNEY LOOKING NORTHEAST



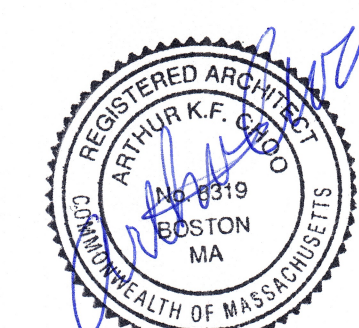
KEY PLAN

Location

ROOF DECK ALTERATION/
REPLACEMENT
35 PINCKNEY STREET
BOSTON, MA 02114



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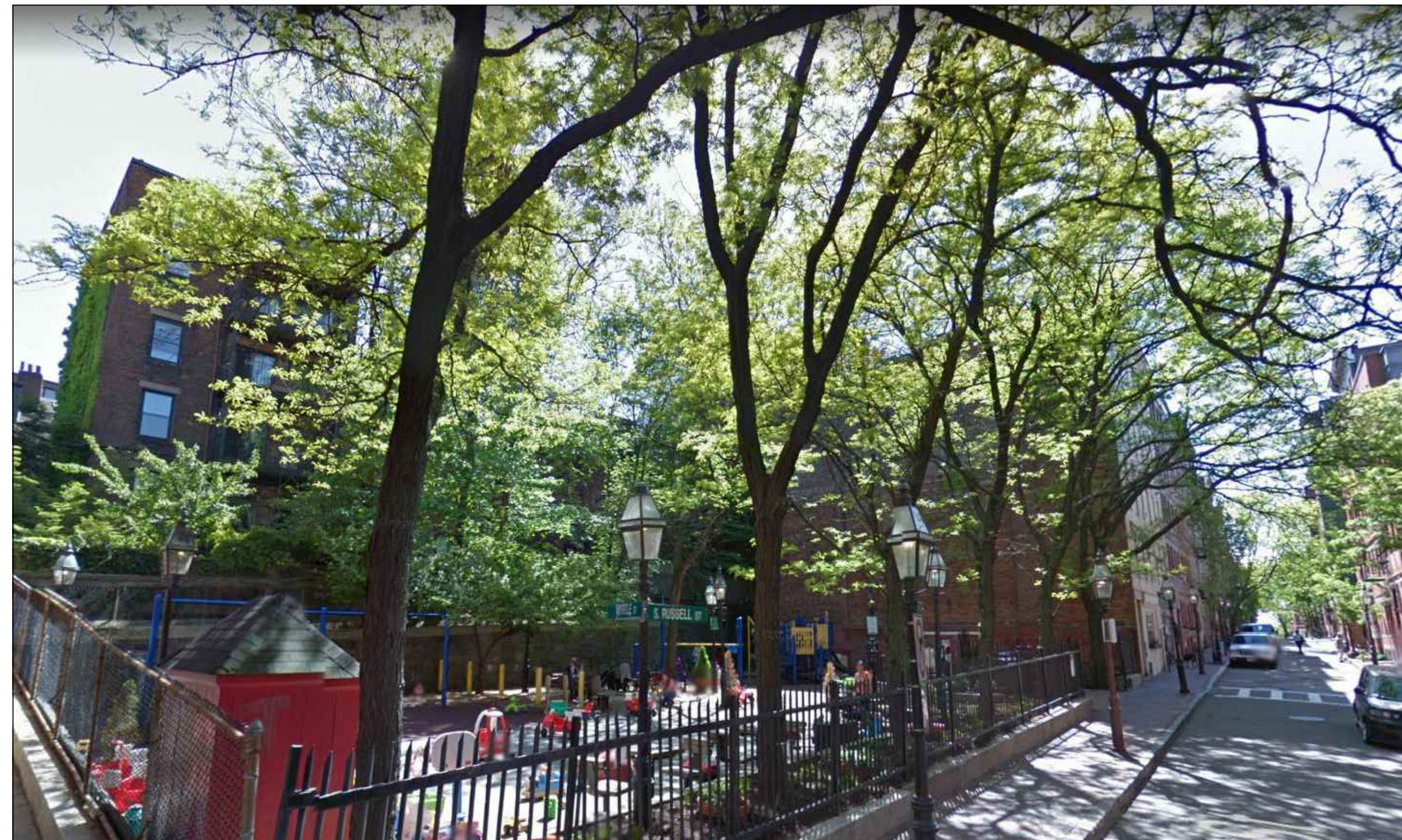
SITE
CONTEXT

Sheet No.

A-0.2



VIEW OVER PARK WINTER



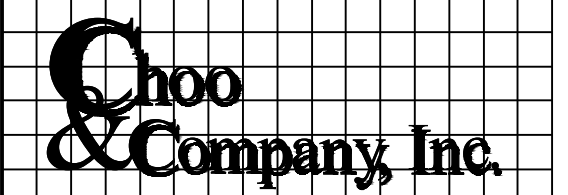
VIEW OVER PARK SUMMER



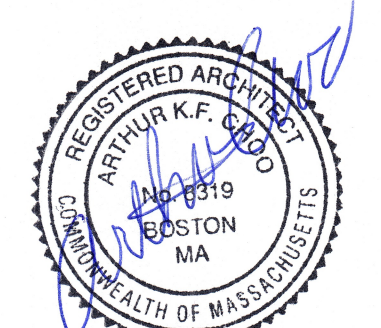
KEY PLAN

Location

ROOF DECK ALTERATION/
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35 PINCKNEY STREET
BOSTON, MA 02114



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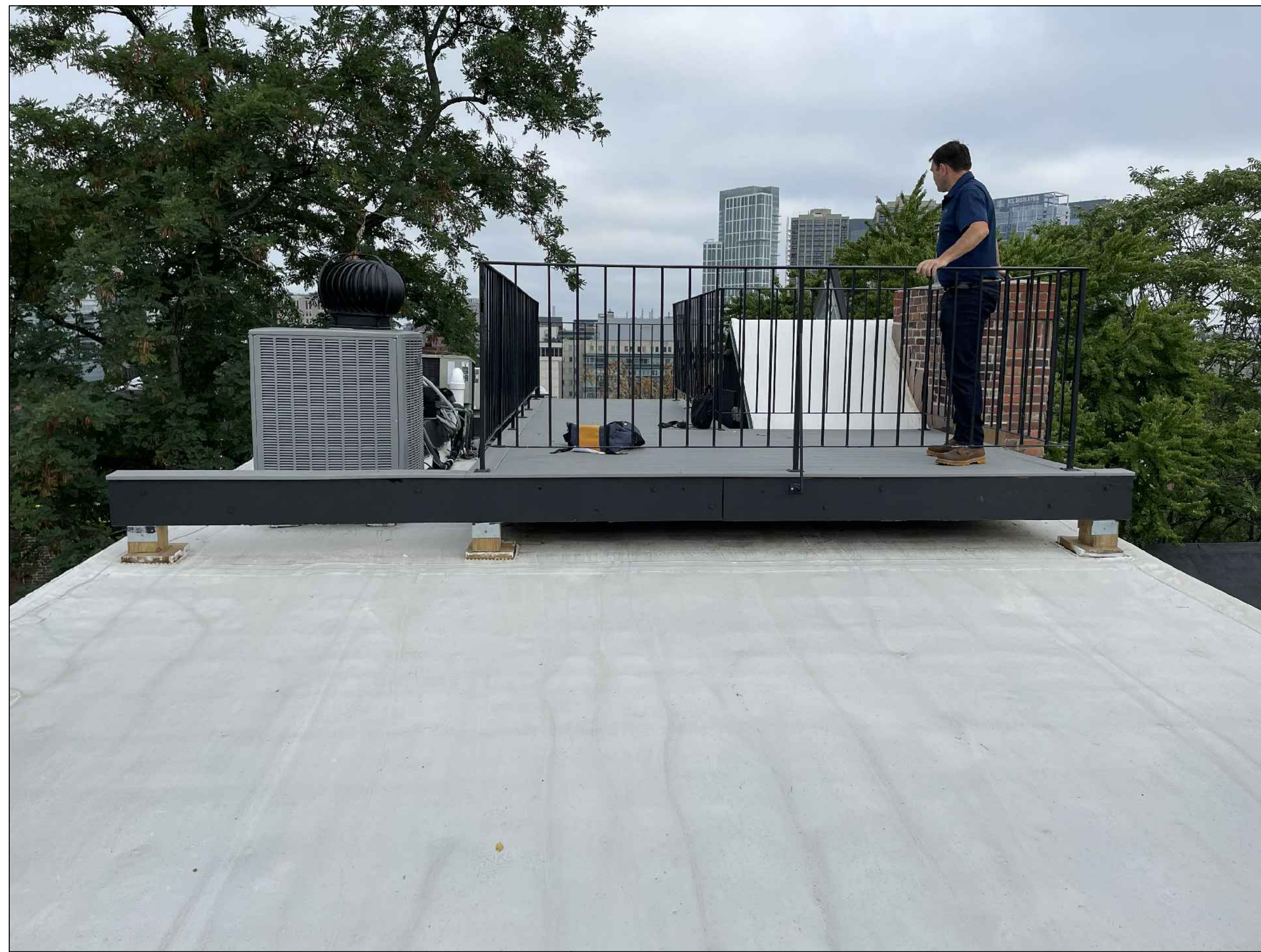


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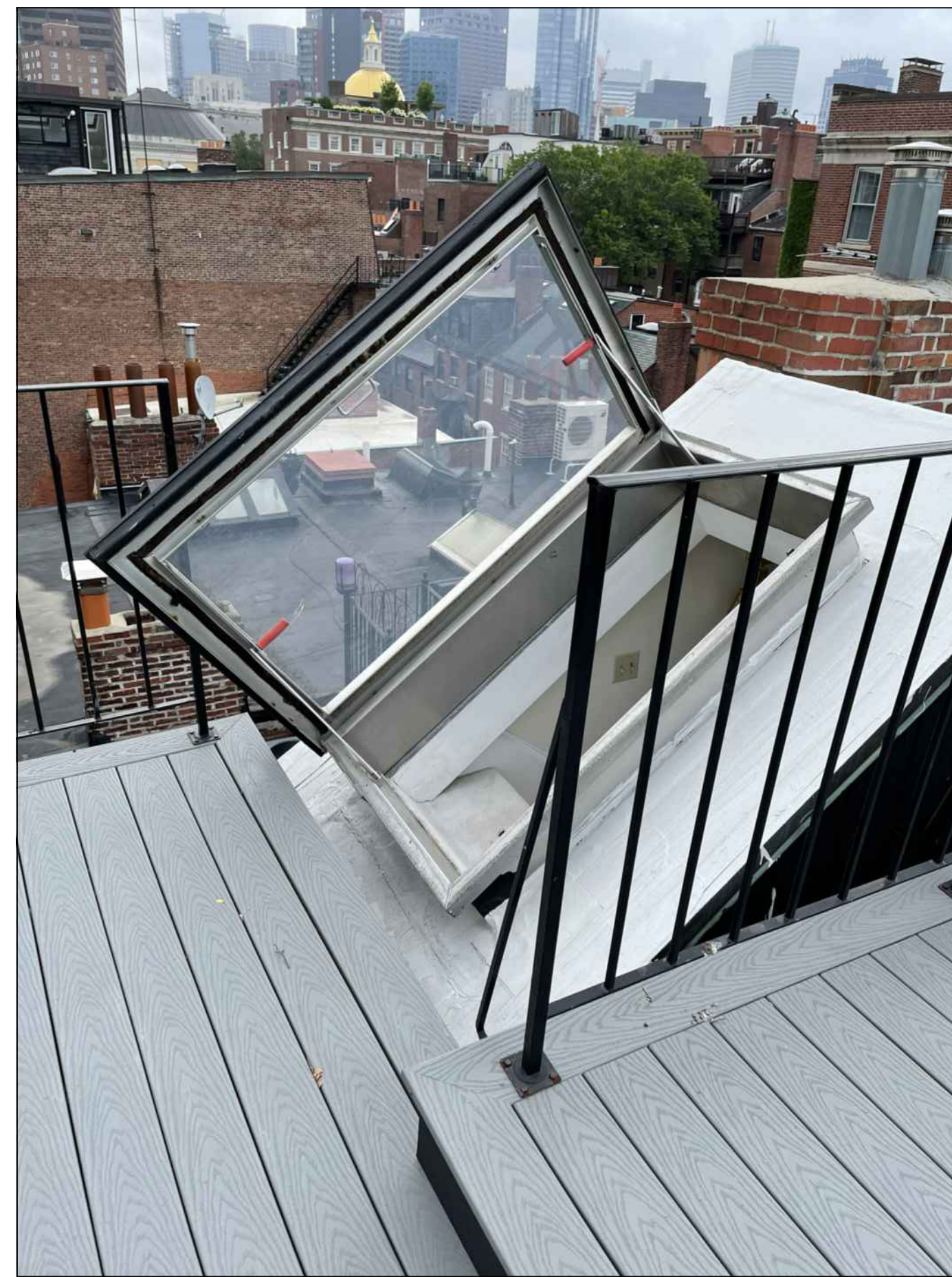
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Date: 08-19-2021
Drawn By: SL

Drawing Name
**SITE
CONTEXT**

Sheet No.
A-0.3



EXISTING ROOF DECK FRONT LOOKING NORTH



EXISTING ROOF HATCH



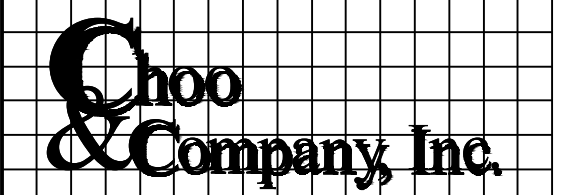
EXISTING ROOF DECK REAR LOOKING SOUTH



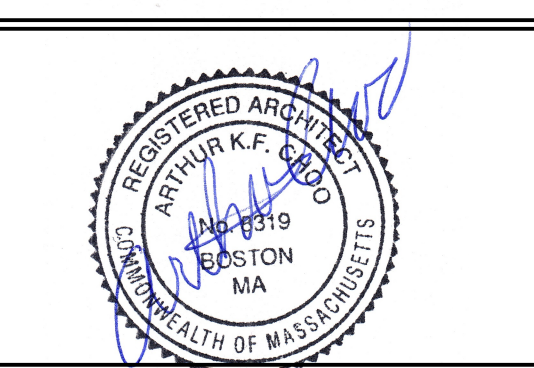
EXISTING REAR FIRE ESCAPE ACCESS

Location

ROOF DECK ALTERATION/
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BOSTON, MA 02114



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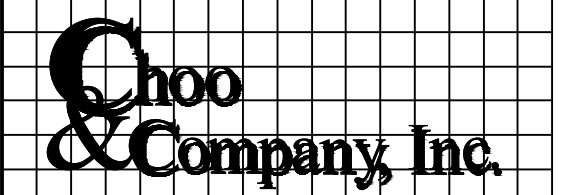
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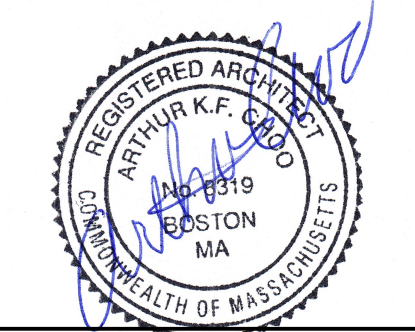
Drawing Name
**SITE
CONTEXT**

Sheet No.
A-0.4

**ROOF DECK ALTERATION/
REPLACEMENT
35 PINCKNEY STREET
BOSTON, MA 02114**



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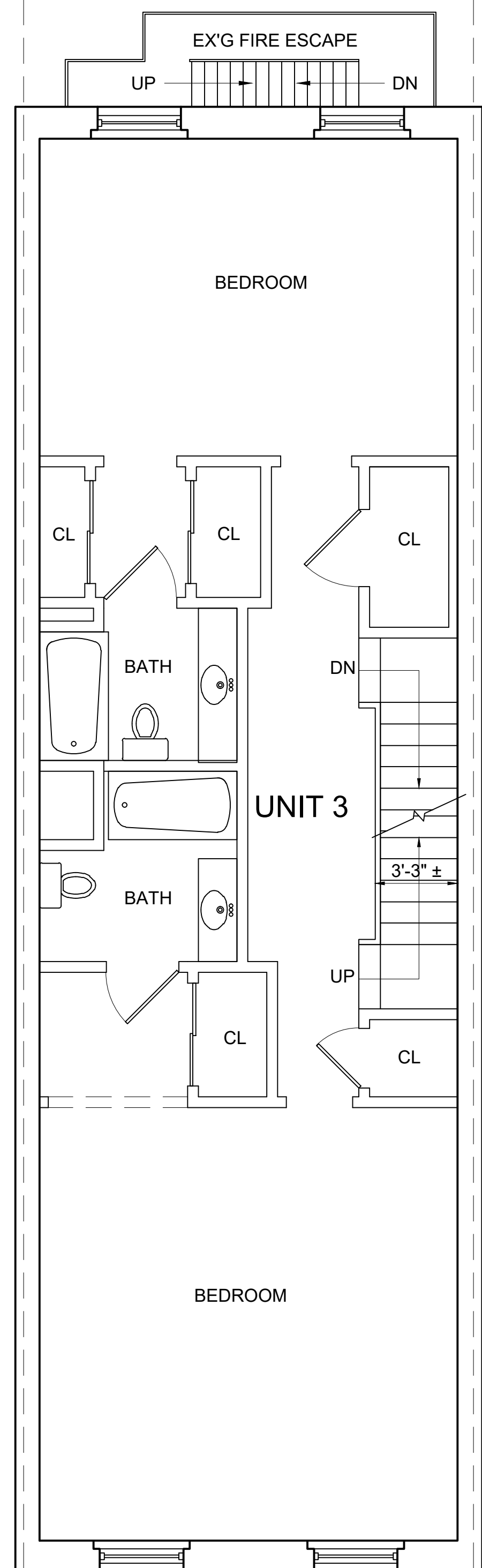


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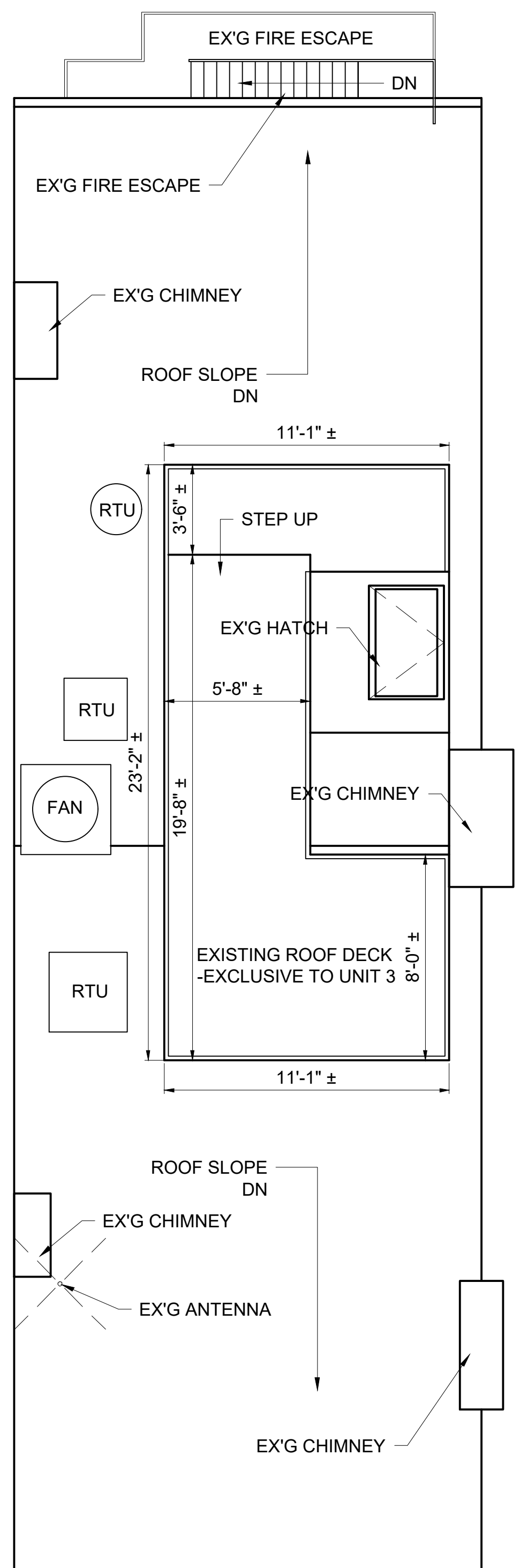
Drawing Name
**EXISTING
AND
PROPOSED
PLANS**

Sheet No.
A-1.1



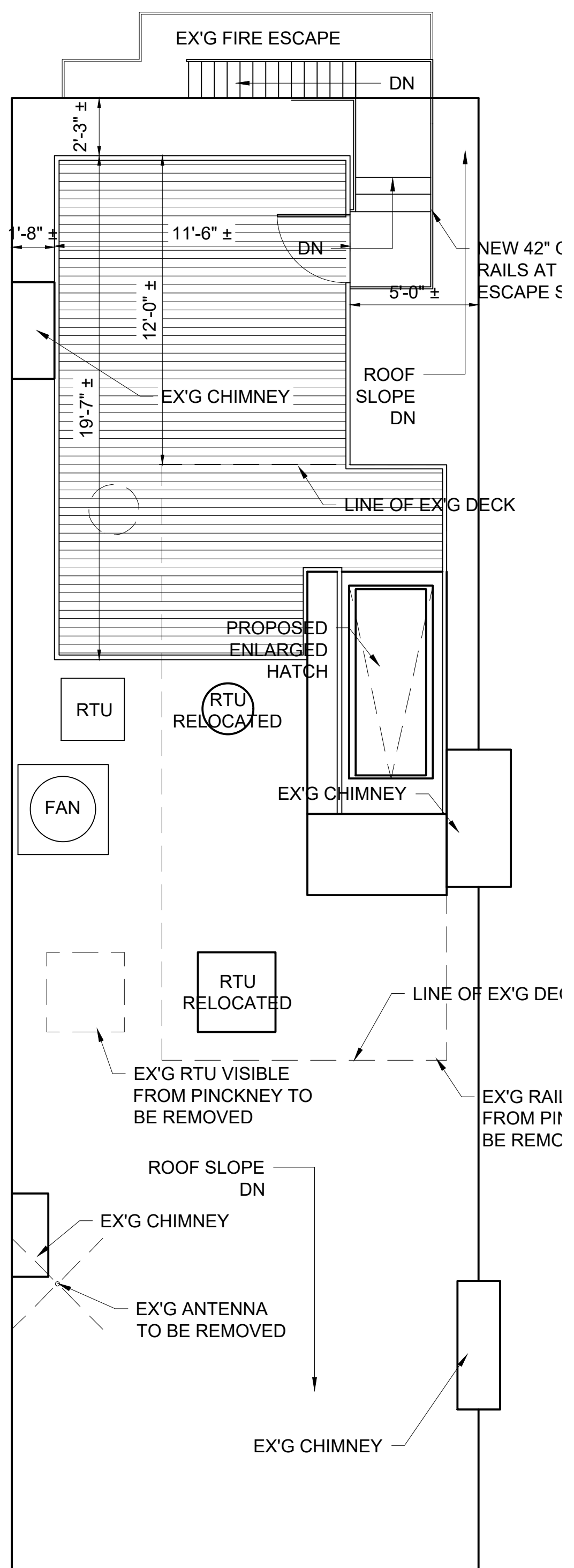
PINCKNEY STREET

1 1/4" = 1'-0"



PINCKNEY STREET

2 1/4" = 1'-0"

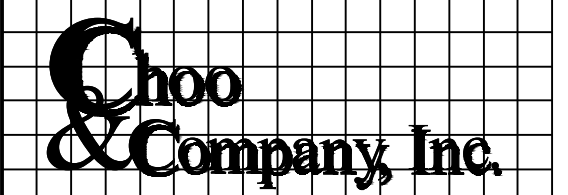


PINCKNEY STREET

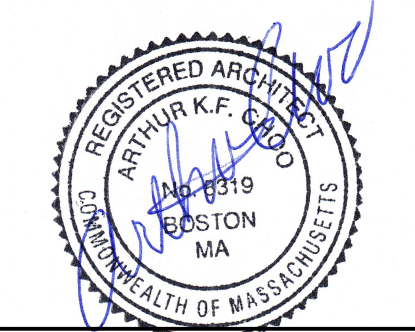
3 1/4" = 1'-0"

Location

ROOF DECK ALTERATION/
REPLACEMENT
35 PINCKNEY STREET
BOSTON, MA 02114



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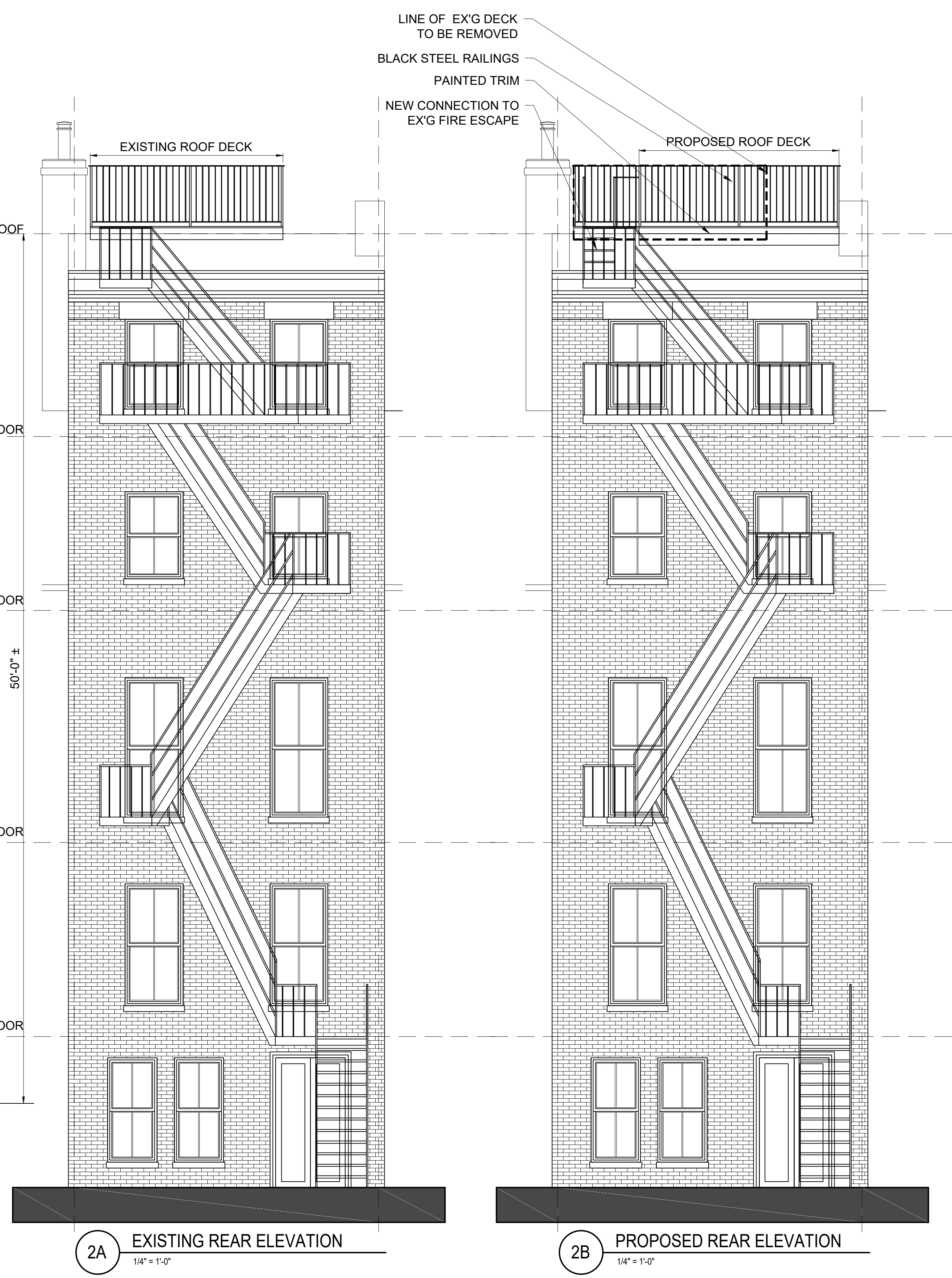
Drawing Name
**EXISTING
AND
PROPOSED
ELEVATIONS**

Sheet No.
A-2.1



1A EXISTING FRONT ELEVATION
1/4" = 1'-0"

1B PROPOSED FRONT ELEVATION
1/4" = 1'-0"

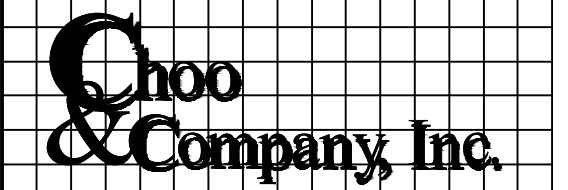


2A EXISTING REAR ELEVATION
1/4" = 1'-0"

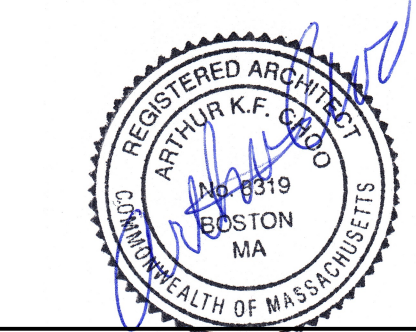
2B PROPOSED REAR ELEVATION
1/4" = 1'-0"

Location

ROOF DECK ALTERATION/
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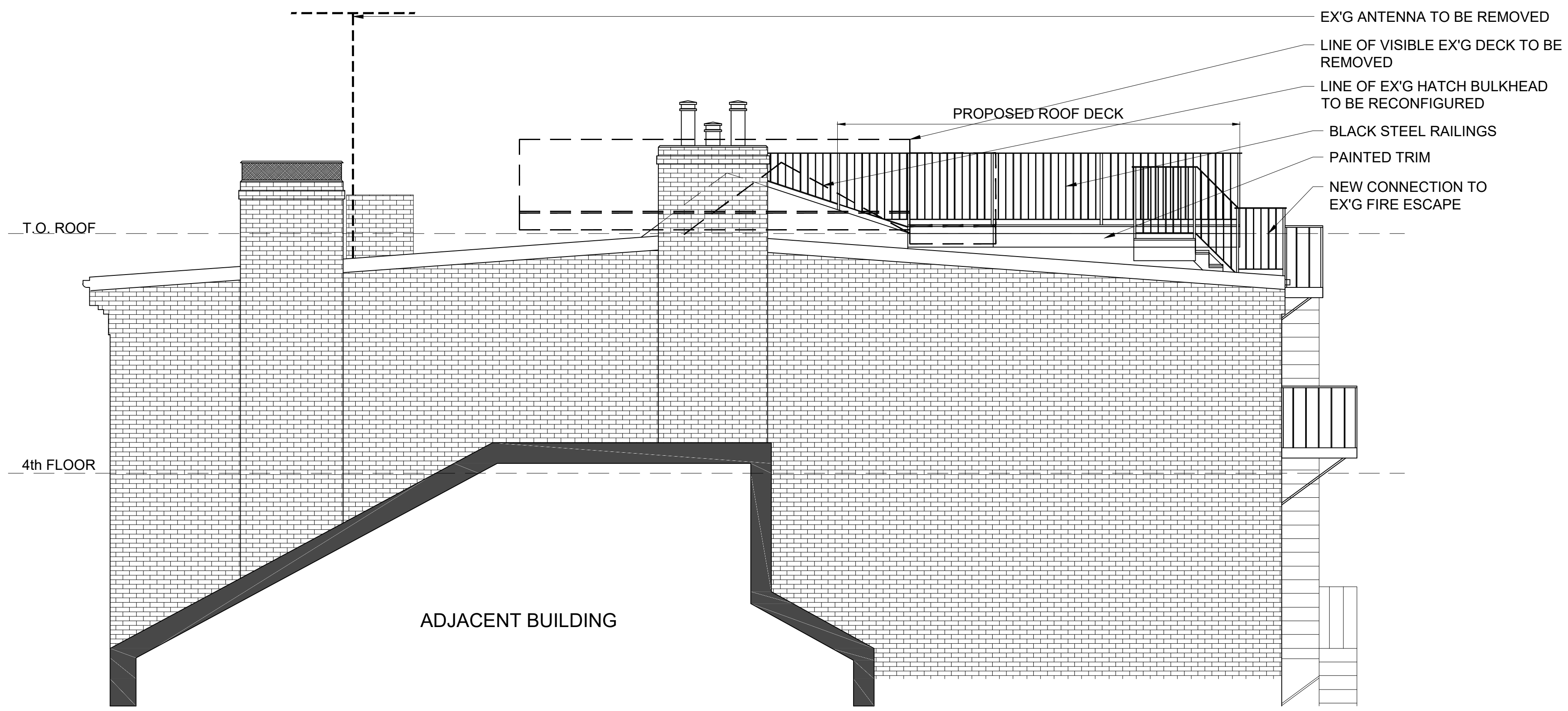


No.	Revision Date

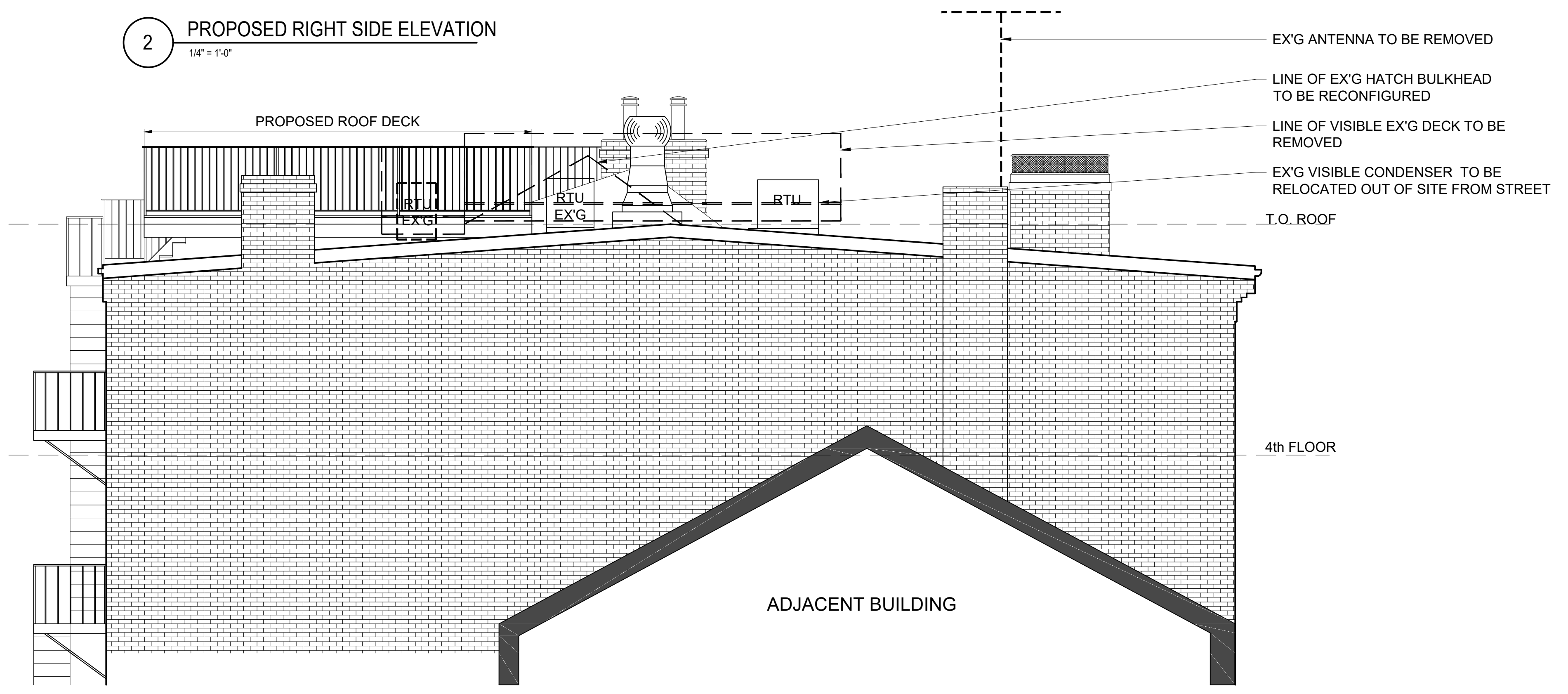
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Drawing Name
**EXISTING
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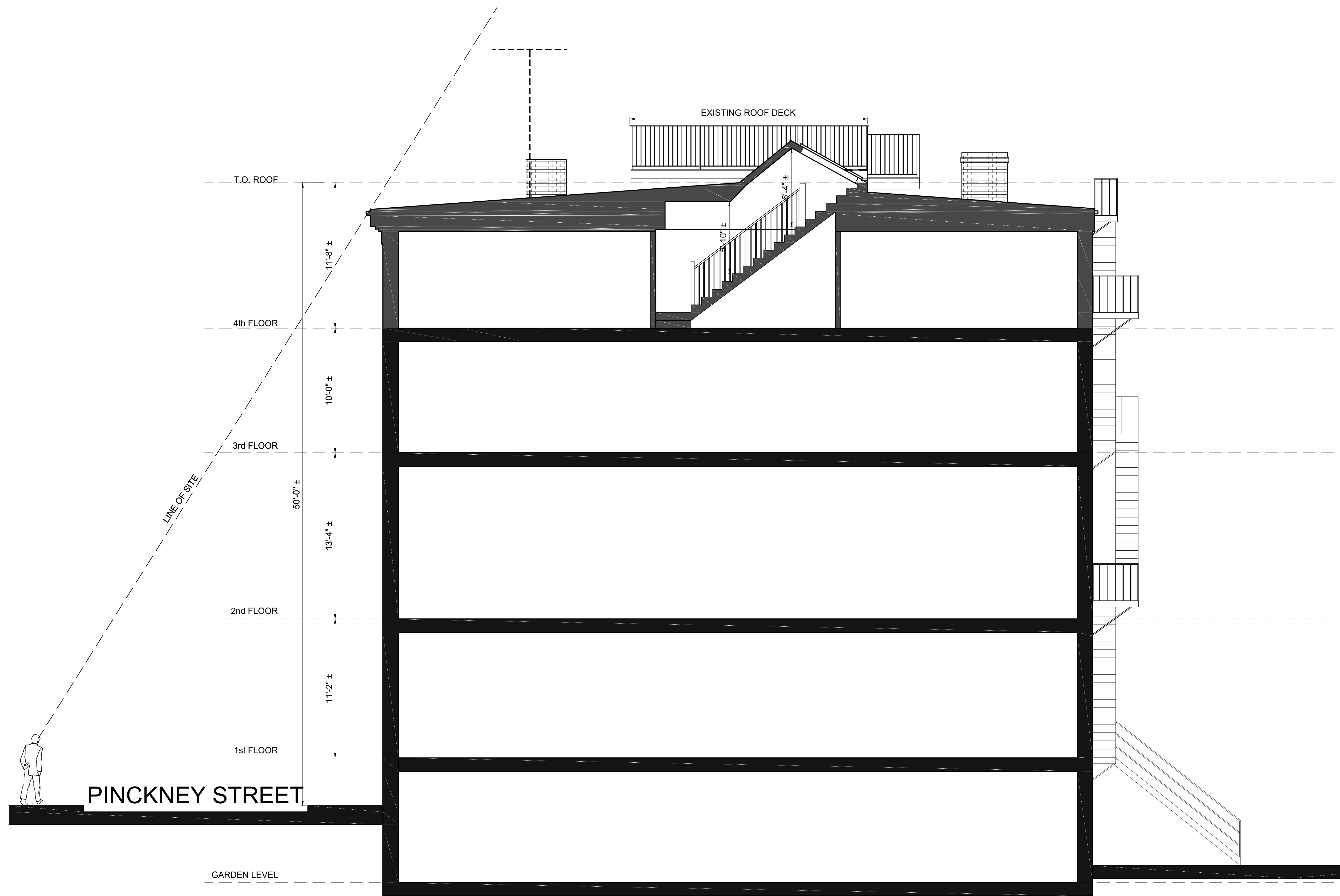
Sheet No.
A-2.2



2 PROPOSED RIGHT SIDE ELEVATION
1/4" = 1'-0"



1 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"

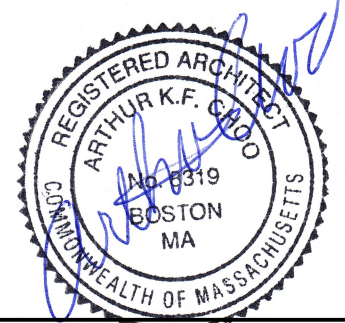


Location

**ROOF DECK ALTERATION/
REPLACEMENT
35 PINCKNEY STREET
BOSTON, MA 02114**



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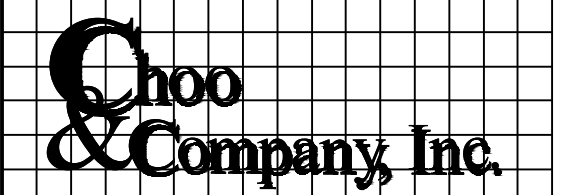
Drawing Name
**EXISTING
AND
PROPOSED
ELEVATIONS**

Sheet No.
A-2.3

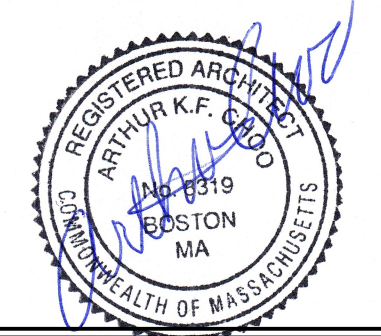
1 EXISTING BUILDING SECTION
1/4" = 1'-0"

Location

ROOF DECK ALTERATION/
REPLACEMENT
35 PINCKNEY STREET
BOSTON, MA 02114



One Billings Road Quincy, MA 02171
617-786-7727 fax 617-786-7715



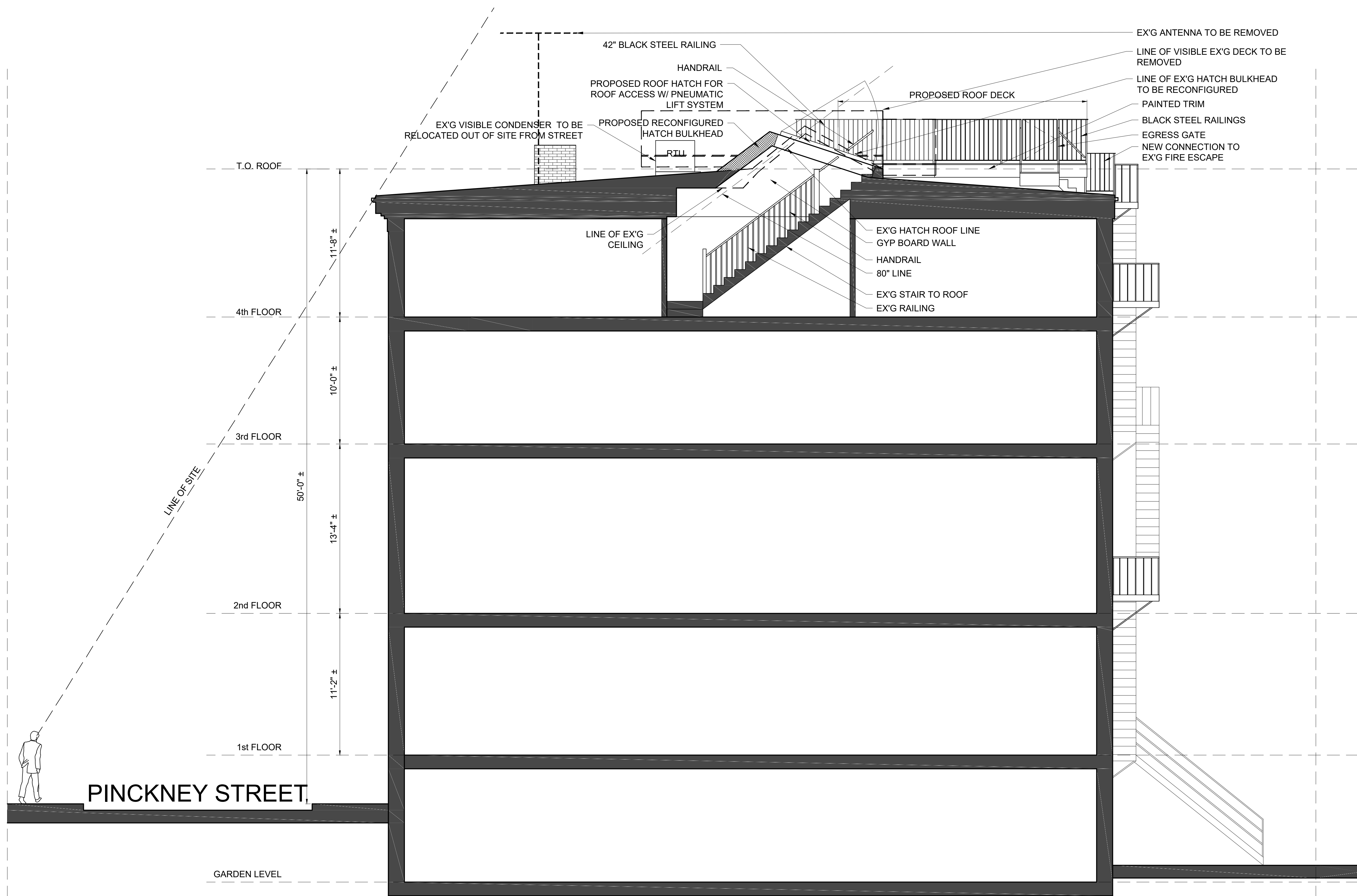
No.	Revision Date

Project No: 2021216
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Drawn By: SL

Drawing Name
**EXISTING
AND
PROPOSED
ELEVATIONS**

Sheet No.

A-2.4



1 PROPOSED BUILDING SECTION
1/4" = 1'-0"