



**EXTENSION FORM**

The undersigned hereby allows the **Boston Conservation Commission** an extension of time, beyond the statutory limit, to review an application or issue a final decision under the Massachusetts Wetlands Protection Act, M.G.L. Chapter 131, Section 40, and the Boston Wetlands Ordinance, Boston City Code, Ordinances, Chapter 7-1.4d during the state of emergency declared by the Governor on March 10, 2020.

**Applicant:**

Craig

Wood

Related Beal

a. First Name

b. Last Name

c. Company

177 Milk Street

d. Mailing Address

Boston

MA

02109

e. City/Town

f. State

g. Zip Code

617-451-2100

cwood@relatedbeal.com

h. Phone Number

i. Fax Number

j. Email address

  
Signature of Applicant

7/29/21  
Date

**Property Owner (if different):**

William

Epperson

Boston Planning and Development Agency

a. First Name

b. Last Name

c. Company

22 Drydock Avenue, Suite 201

d. Mailing Address

Boston

MA

02210

e. City/Town

f. State

g. Zip Code

617-916-6202

william.j.epperson@boston.gov

h. Phone Number

i. Fax Number

j. Email address

  
Signature of Property Owner (if different)

7/30/2021  
Date

***Applications will only be accepted when submitted with a properly executed Extension Form.***



# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Boston

City/Town

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:  
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

## A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>316-318 Northern Avenue</u>	<u>Boston</u>	<u>MA</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:	<u>42.3457N</u>	<u>71.0321W</u>
	d. Latitude	e. Longitude
<u>06</u>	<u>06/02674065</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Craig</u>	<u>Wood</u>	
a. First Name	b. Last Name	
<u>Related Beal</u>		
c. Organization		
<u>177 Milk Street</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u>617-451-2100</u>	<u>cwood@relatedbeal.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant):  Check if more than one owner

<u>William</u>	<u>Epperson</u>	
a. First Name	b. Last Name	
<u>Boston Planning and Development Agency</u>		
c. Organization		
<u>22 Drydock Avenue</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02210</u>
e. City/Town	f. State	g. Zip Code
<u>617-918-6202</u>	<u>william.j.epperson@boston.gov</u>	
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Deborah</u>	<u>Danik</u>	
a. First Name	b. Last Name	
<u>Nitsch Engineering, Inc.</u>		
c. Company		
<u>2 Center Plaza, Suite 430</u>		
d. Street Address		
<u>Boston</u>	<u>MA</u>	<u>02108</u>
e. City/Town	f. State	g. Zip Code
<u>617-338-0063</u>	<u>ddanik@nitscheng.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>1,050.00</u>	<u>512.50</u>	<u>537.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



# WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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City/Town

## A. General Information (continued)

6. General Project Description:

The project consists of improvements in the right of way, including the installation of underground electrical ductbanks, City of Boston Street lighting, trench patching for utility installations, and public way sidewalk reconstruction in Land Subject to Coastal Storm Flowage.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1.  Single Family Home
- 2.  Residential Subdivision
- 3.  Commercial/Industrial
- 4.  Dock/Pier
- 5.  Utilities
- 6.  Coastal engineering Structure
- 7.  Agriculture (e.g., cranberries, forestry)
- 8.  Transportation
- 9.  Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1.  Yes  No      If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk

a. County

55063

c. Book

b. Certificate # (if registered land)

119

d. Page Number

## B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1.  Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2.  Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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Provided by MassDEP:

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## B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet	2. square feet
	3. cubic feet of flood storage lost	4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet	
	2. cubic feet of flood storage lost	3. cubic feet replaced
f. <input type="checkbox"/> Riverfront Area	1. Name of Waterway (if available) - <b>specify coastal or inland</b>	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: \_\_\_\_\_ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet \_\_\_\_\_ b. square feet within 100 ft. \_\_\_\_\_ c. square feet between 100 ft. and 200 ft. \_\_\_\_\_

5. Has an alternatives analysis been done and is it attached to this NOI?  Yes  No

6. Was the lot where the activity is proposed created prior to August 1, 1996?  Yes  No

3.  Coastal Resource Areas: (See 310 CMR 10.25-10.35)

**Note:** for coastal riverfront areas, please complete **Section B.2.f.** above.





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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users: Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Table with 3 columns: Resource Area, Size of Proposed Alteration, Proposed Replacement (if any). Rows include Designated Port Areas, Land Under the Ocean, Barrier Beach, Coastal Beaches, Coastal Dunes, Coastal Banks, Rocky Intertidal Shores, Salt Marshes, Land Under Salt Ponds, Land Containing Shellfish, Fish Runs, and Land Subject to Coastal Storm Flowage.

4. [ ] Restoration/Enhancement
If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

a. square feet of BVW b. square feet of Salt Marsh

5. [ ] Project Involves Stream Crossings

a. number of new stream crossings b. number of replacement stream crossings



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## C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

### Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- 1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm).

a.  Yes  No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581**

b. Date of map \_\_\_\_\_

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review\*

- 1.  Percentage/acreage of property to be altered:

(a) within wetland Resource Area \_\_\_\_\_  
percentage/acreage

(b) outside Resource Area \_\_\_\_\_  
percentage/acreage

- 2.  Assessor's Map or right-of-way plan of site

- 2.  Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work \*\*

(a)  Project description (including description of impacts outside of wetland resource area & buffer zone)

(b)  Photographs representative of the site

\* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

\*\* MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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## C. Other Applicable Standards and Requirements (cont'd)

(c)  MESA filing fee (fee information available at [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/ mesa/ mesa\\_fee\\_schedule.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_fee_schedule.htm)). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

*Projects altering 10 or more acres of land, also submit:*

(d)  Vegetation cover type map of site

(e)  Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1.  Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, [http://www.mass.gov/dfwele/dfw/nhosp/regulatory\\_review/ mesa/ mesa\\_exemptions.htm](http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/ mesa/ mesa_exemptions.htm); the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2.  Separate MESA review ongoing. a. NHESP Tracking # \_\_\_\_\_ b. Date submitted to NHESP \_\_\_\_\_

3.  Separate MESA review completed. Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a.  Not applicable – project is in inland resource area only      b.  Yes     No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -  
Southeast Marine Fisheries Station  
Attn: Environmental Reviewer  
1213 Purchase Street – 3rd Floor  
New Bedford, MA 02740-6694  
Email: [DMF.EnvReview-South@state.ma.us](mailto:DMF.EnvReview-South@state.ma.us)

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -  
North Shore Office  
Attn: Environmental Reviewer  
30 Emerson Avenue  
Gloucester, MA 01930  
Email: [DMF.EnvReview-North@state.ma.us](mailto:DMF.EnvReview-North@state.ma.us)

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



# WPA Form 3 – Notice of Intent

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Provided by MassDEP:

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**Online Users:**  
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

## C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a.  Yes  No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a.  Yes  No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a.  Yes  No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a.  Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1.  Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
  2.  A portion of the site constitutes redevelopment
  3.  Proprietary BMPs are included in the Stormwater Management System.
- b.  No. Check why the project is exempt:
1.  Single-family house
  2.  Emergency road repair
  3.  Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

## D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

**Online Users:** Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1.  USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2.  Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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## D. Additional Information (cont'd)

3.  Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4.  List the titles and dates for all plans and other materials submitted with this NOI.

Eversource Grounding and Boston Street Lighting Improvements Project

a. Plan Title

Nitsch Engineering

b. Prepared By

7/21/2021

d. Final Revision Date

DMD

c. Signed and Stamped by

As Shown

e. Scale

f. Additional Plan or Document Title

g. Date

5.  If there is more than one property owner, please attach a list of these property owners not listed on this form.

6.  Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7.  Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8.  Attach NOI Wetland Fee Transmittal Form

9.  Attach Stormwater Report, if needed.

## E. Fees

1.  Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

055593

2. Municipal Check Number

055595

4. State Check Number

Nitsch Engineering

6. Payor name on check: First Name

5/13/21

3. Check date

5/13/21

5. Check date

7. Payor name on check: Last Name



# WPA Form 3 – Notice of Intent

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Boston

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## F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant		2. Date	7/29/21
3. Signature of Property Owner (if different)		4. Date	7/30/2021
5. Signature of Representative (if any)		6. Date	06/27/21

### For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

### For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

### Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



## INSTRUCTIONS FOR COMPLETING APPLICATION NOTICE OF INTENT – BOSTON NOI FORM

The Boston Notice of Intent Form is intended to be a supplement to the WPA Form 3 detailing impacts to locally designated wetland resource areas and buffer zones. Please read these instructions for assistance in completing the Notice of Intent application form. These instructions cover certain items on the Notice of Intent form that are not self-explanatory.

### INSTRUCTIONS TO SECTION B: BUFFER ZONE AND RESOURCE AREA IMPACTS

Item 1. Buffer Zone Only. If you check the Buffer Zone Only box in this section you are indicating that the project is entirely in the Buffer Zone to a resource area **under both** the Wetlands Protection Act and Boston Wetlands Ordinance. If so, skip the remainder of Section B and go directly to Section C. Do not check this box if the project is within the Waterfront Area.

Item 2. The **boundaries of coastal resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

Item 3. The **boundaries of inland resource areas** specific to the Ordinance can be found in Section II of the Boston Wetlands Regulations. You must also include the size of the proposed alterations (and proposed replacement areas) in each resource area.

### INSTRUCTIONS TO SECTION C: OTHER APPLICABLE STANDARDS AND REQUIREMENTS

Item 1. Rare Wetland Wildlife Habitat. Except for Designated Port Areas, no work (including work in the Buffer Zone) may be permitted in any resource area that would have adverse effects on the habitat of rare, “state-listed” vertebrate or invertebrate animal species.

The most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife is published by the Natural Heritage and Endangered Species Program (NHESP). See: [http://maps.massgis.state.ma.us/PRI\\_EST\\_HAB/viewer.htm](http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm) or the *Massachusetts Natural Heritage Atlas*.

If any portion of the proposed project is located within Estimated Habitat, the applicant must send the Natural Heritage Program, at the following address, a copy of the Notice of Intent by certified mail or priority mail (or otherwise sent in a manner that guarantees delivery within two days), no later than the date of the filing of the Notice of Intent with the Conservation Commission.

Evidence of mailing to the Natural Heritage Program (such as Certified Mail Receipt or Certificate of Mailing for Priority Mail) must be submitted to the Conservation Commission along with the Notice of Intent.

Natural Heritage and Endangered Species Program  
Division of Fisheries and Wildlife  
1 Rabbit Hill Road  
Westborough, MA 01581-3336  
508.792.7270



**A. GENERAL INFORMATION**

1. Project Location

<u>316-318 Northern Avenue</u>	<u>Boston</u>	<u>MA</u>
a. Street Address	b. City/Town	c. Zip Code
<u>06</u>	<u>06/02674065</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant

<u>Craig</u>	<u>Wood</u>	<u>Related Beal</u>
a. First Name	b. Last Name	c. Company
<u>177 Milk Street</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02109</u>
e. City/Town	f. State	g. Zip Code
<u>617-451-2100</u>		<u>cwood@relatedbeal.com</u>
h. Phone Number	i. Fax Number	j. Email address

3. Property Owner

<u>William Epperson</u>	<u>Boston Planning and Development Agency</u>	
a. First Name	b. Last Name	c. Company
<u>22 Drydock Avenue</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02210</u>
e. City/Town	f. State	g. Zip Code
<u>617-918-6202</u>		<u>William.j.epperson@boston.gov</u>
h. Phone Number	i. Fax Number	j. Email address

Check if more than one owner

(If there is more than one property owner, please attach a list of these property owners to this form.)

4. Representative (if any)

<u>Deborah</u>	<u>Danik</u>	<u>Nitsch Engineering, Inc.</u>
a. First Name	b. Last Name	c. Company
<u>2 Center Plaza, Suite 430</u>		
d. Mailing Address		
<u>Boston</u>	<u>MA</u>	<u>02108</u>
e. City/Town	f. State	g. Zip Code
<u>617-338-0063</u>		<u>ddanik@nitscheng.com</u>
h. Phone Number	i. Fax Number	j. Email address





5. Is any portion of the proposed project jurisdictional under the Massachusetts Wetlands Protection Act M.G.L. c. 131 §40?

- Yes  No

If yes, please file the WPA Form 3 - Notice of Intent with this form

6. General Information

The project consists of improvements in the right of way, including the installation of underground electrical ductbanks, City of Boston street lighting, trench patching for utility installations, and public way sidewalk reconstruction in Land Subject to Coastal Storm Flowage.

7. Project Type Checklist

- |   |   |
|---|---|
| a. <input type="checkbox"/> Single Family Home                | b. <input type="checkbox"/> Residential Subdivision             |
| c. <input type="checkbox"/> Limited Project Driveway Crossing | d. <input type="checkbox"/> Commercial/Industrial               |
| e. <input type="checkbox"/> Dock/Pier                         | f. <input checked="" type="checkbox"/> Utilities                |
| g. <input type="checkbox"/> Coastal Engineering Structure     | h. <input type="checkbox"/> Agriculture – cranberries, forestry |
| i. <input type="checkbox"/> Transportation                    | j. <input type="checkbox"/> Other                               |

8. Property recorded at the Registry of Deeds

Suffolk

a. County

119

b. Page Number

55063

c. Book

d. Certificate # (if registered land)

9. Total Fee Paid

\_\_\_\_\_  
a. Total Fee Paid

\_\_\_\_\_  
b. State Fee Paid

\_\_\_\_\_  
c. City Fee Paid

**B. BUFFER ZONE & RESOURCE AREA IMPACTS**

Buffer Zone Only - Is the project located only in the Buffer Zone of a resource area protected by the Boston Wetlands Ordinance?

- Yes  No

1. Coastal Resource Areas



<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Coastal Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 100-foot Salt Marsh Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

2. Inland Resource Areas

<u>Resource Area</u>	<u>Resource Area Size</u>	<u>Proposed Alteration*</u>	<u>Proposed Mitigation</u>
<input type="checkbox"/> Inland Flood Resilience Zone	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Isolated Wetlands	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Vernal Pool Habitat (vernal pool + 100 ft. upland area)	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> 25-foot Waterfront Area	_____	_____	_____
	Square feet	Square feet	Square feet
<input type="checkbox"/> Riverfront Area	_____	_____	_____
	Square feet	Square feet	Square feet

**C. OTHER APPLICABLE STANDARDS & REQUIREMENTS**

1. What other permits, variances, or approvals are required for the proposed activity described herein and what is the status of such permits, variances, or approvals?

EDIC/BPDA Approval

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2. Is any portion of the proposed project located in Estimated Habitat of Rare Wildlife as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the Massachusetts Natural Heritage Atlas or go to <http://www.mass.gov/dfwele/dfw/nhosp/nhregmap.htm>.

- Yes  No

If yes, the project is subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18).

**A. Submit Supplemental Information for Endangered Species Review**

Percentage/acreage of property to be altered:

(1) within wetland Resource Area \_\_\_\_\_ percentage/acreage

(2) outside Resource Area \_\_\_\_\_ percentage/acreage

Assessor's Map or right-of-way plan of site

3. Is any portion of the proposed project within an Area of Critical Environmental Concern?

- Yes  No

If yes, provide the name of the ACEC: \_\_\_\_\_

4. Is the proposed project subject to provisions of the Massachusetts Stormwater Management Standards?

- Yes. Attach a copy of the Stormwater Checklist & Stormwater Report as required.
  - Applying for a Low Impact Development (LID) site design credits
  - A portion of the site constitutes redevelopment
  - Proprietary BMPs are included in the Stormwater Management System
- No. Check below & include a narrative as to why the project is exempt
  - Single-family house
  - Emergency road repair
  - Small Residential Subdivision (less than or equal to 4 single family houses or less than or equal to 4 units in a multifamily housing projects) with no discharge to Critical Areas

5. Is the proposed project subject to Boston Water and Sewer Commission Review?

- Yes  No

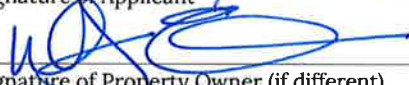


**D. SIGNATURES AND SUBMITTAL REQUIREMENTS**


I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the Wetlands Protection Ordinance.

  
\_\_\_\_\_  
Signature of Applicant

7/29/21  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Property Owner (if different)

7/30/2021  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Representative (if any)

06/27/21  
\_\_\_\_\_  
Date

## STORMWATER REPORT – SUPPLEMENT

Complies with Department of Environmental Protection Stormwater Standards  
and the City of Boston Wetlands Ordinance

<b>Project Name:</b>	Eversource Grounding and Boston Street Lighting Project
<b>Project Location:</b>	Northern Avenue and Tide Street Boston, MA
<b>Prepared for:</b>	City of Boston
<b>Nitsch Project #:</b>	#11464.1
<b>Date Prepared:</b>	August 18, 2021

This document has been prepared to supplement the Eversource Grounding and Boston Street Lighting Stormwater Report dated August 4, 2021.

### **Full Scope of Work Within the Land Subject to Coastal Storm Flowage (LSCSF) Resource Area**

The proposed work includes the installation of public electrical utility ductbanks (to be owned and operated by Eversource Electric Company) in the existing City of Boston public way's paved asphalt, and widening of an existing public way sidewalk to allow for street lighting installation. The full scope of work within the LSCSF includes the following, with anticipated construction methods:

Northern Avenue and Tide Street scope:

1. Test pit excavations to confirm existing underground utility locations:
  - a. Construction means and methods: existing asphalt sawcutting; test pit excavation by mechanical, vacuum, and/or hand to observe existing underground utilities; filling and compaction of hole; and replacement of asphalt paving in kind.
2. Construction of underground electrical ductbanks in the asphalt roadway, comprised of concrete encased PVC pipe and precast concrete electrical manholes:
  - a. Construction means and methods: existing asphalt sawcutting; trench and manhole excavation by mechanical, vacuum, and/or hand to observe existing underground utilities; installation of concrete encased PVC conduits and electrical manholes, filling and compaction of the trenches; and replacement of asphalt paving in kind;
3. Repaving of the existing roadway asphalt within the project limits, to meet the Boston Planning and Development Agency BPDA (BPDA's) Economic Development Industrial Corporation (EDIC) requirements:
  - a. Construction means and methods: milling (grinding and collecting) the existing top asphalt surface, installing a tack coat, laying new asphalt pavement, and installing new roadway striping

In addition, Tide Street scope includes:

1. Installation of City of Boston standard street lighting fixtures and conduit in the western Tide Street sidewalk;
2. Construction means and methods: trench, light pole footing, and handhole excavation by mechanical, vacuum, and/or hand to observe existing underground utilities; installation of concrete encased PVC conduits and electrical manholes, and filling and compaction of the trenches; and
3. Reconstruction and widening of the existing western Tide Street sidewalk, to add approximately 3- to 4-feet of width, to allow for the street lighting installation, provide an

accessible walking path, replacement of existing granite curb, and to meet the EDIC's master plan sidewalk improvements in the area.

- a. Construction means and methods: existing asphalt sawcutting for curb installation; removal of existing concrete sidewalk and curb by mechanical and/or hand; and replacement of curb and concrete sidewalk.

#### Erosion Control and Dust Protection During Construction

The Site Contractor will be responsible for stormwater management of the active construction site. A plan to control construction-related impacts, including erosion, sedimentation, and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentation, and pollution prevention plan) is included in the Construction Documents. Prior to the start of work, erosion control protection devices will be installed in existing public way catch basins. As construction operations continue, the Contractor will control dust, potential site erosion, as detailed in the Stormwater Pollution Prevention Plan requirements. No stockpiling will be allowed onsite and street sweeping will be provided as needed during and/or after excavation activities.

#### Statement on Climate Change Resilience

The proposed project improvements consider climate change in multiple ways including sea level rise, heat island effect and plantings, and stormwater runoff impacts.

#### Sea Level Rise

The Boston Planning and Development Agency has determined a Sea Level Rise Base Flood Elevation (SLR-BFE) of 19.5 ft (BCB) for the area of improvements and public way. 2 Harbor Street parcel which is above the FEMA flood elevation of 16.46 BCB. The existing public way roadway and sidewalk in the area of improvement are approximately 15.0-16.5 BCB. There are no surface elevation changes with the proposed improvements. The proposed improvements will not deter and negatively impact any future sea level rise improvements and can be modified if elevations in the area need to be raised to meet future resilience measures.

#### Increased Heat Waves and Heat Island Effect

The existing site is impervious asphalt roadway and cement concrete sidewalk and a small amount of pervious existing grass adjacent to the existing sidewalk. The existing grass adjacent to the existing parking lot will be replaced with City of Boston standard gray cement concrete pedestrian walkway. Following the USGBC criteria for non-roof, urban heat island reduction, this project is proposing the following measure to adapt to increased heat waves and reduce heat island impacts: use of paving materials with a three-year aged solar reflectance (SR) value of at least 0.28. Gray concrete has a typical SR value of 0.35.

#### Extreme Precipitation Events, Stormwater Runoff, Changing Precipitation Patterns, Changes in Coastal and Stormwater Flooding

As climate change progresses, storm events will intensify, and the possibility of flooding will increase. The proposed improvements do not modify existing elevations in the public way. The proposed improvements will not deter and negatively impact any future potential adaptations for precipitation, flooding and/or stormwater changes.

## STORMWATER REPORT

Complies with Department of Environmental Protection Stormwater Standards  
and the City of Boston Wetlands Ordinance

<b>Project Name:</b>	Eversource Grounding and Boston Street Lighting Project
<b>Project Location:</b>	Northern Avenue and Tide Street Boston, MA
<b>Prepared for:</b>	City of Boston
<b>Nitsch Project #:</b>	#11464.1
<b>Date Prepared:</b>	August 4, 2021

### ATTACHMENTS

Attachments: MassDEP Checklist for Stormwater Report

Illicit Discharge Compliance Statement

Long Term Pollution Prevention and Operations and Maintenance Plan

Figure 1: USGS Locus Map


Figure 2: FEMA FIRM Map


Figure 3: NHESP Map

Figure 4: NRCS Soils Map

<p><b>Project Summary:</b></p>	<p>Nitsch Engineering has prepared this Stormwater Report to support the Notice of Intent for the Eversource Grounding and Boston Street Lighting Project (the Project). The Project site is located on Northern Avenue and Tide Street in the Raymond L. Flynn Industrial Park in South Boston, as shown in Figure 1 USGS Map.</p> <p>The Notice of Intent has been filed with the Boston Conservation Commission because the Project site is located in Land Subject to Coastal Storm Flowage, as shown on the FEMA Flood Insurance Rate Map (FIRM) numbers 25025C0081J and 25025C0082J, dated March 16, 2016. The site is located within the 1% annual flood zone, otherwise known as the 100-year flood, and classified as Zone AE with a flood elevation of 16.46 Boston City Base (or elevation 10.0 NAVD 88 as shown on the map).</p> <p>The existing public ways of Northern Avenue and Tide Street are established public roadways and are paved asphalt roadway, granite curbing, and cement concrete sidewalks. The purpose of the Project is to construct public electric utility infrastructure and pedestrian sidewalk improvements in the existing paved City public ways. The electric utility improvements will relocate overhead utility wires into new underground conduit and manholes and remove the utility poles along portions of the public ways. The work in the public ways includes:</p> <p>Northern Avenue and Tide Street scope:</p> <ol style="list-style-type: none"> <li>1. Test pit excavations to confirm existing underground utility locations;</li> <li>2. Construction of underground electrical ductbanks comprised of conduit and concrete encasement and electrical manholes to meet Eversource specifications; and</li> <li>3. Repaving of the existing roadway asphalt within the project limits, to meet the Boston Planning and Development Agency BPDA (BPDA's) Economic Development Industrial Corporation (EDIC) requirements.</li> </ol> <p>In addition, Tide Street scope includes:</p> <ol style="list-style-type: none"> <li>1. Installation of City of Boston standard street lighting fixtures and conduit in the western Tide Street sidewalk; and</li> <li>2. Reconstruction and widening of the existing western Tide Street sidewalk, to add approximately 3- to 4-feet of width, to allow for the street lighting installation, provide an accessible walking path, and to meet the EDIC's master plan sidewalk improvements in the area.</li> </ol> <p>A portion of the project is exempt to coverage under the Wetlands Protection Act and the Boston Wetlands Ordinance as the electrical utility systems serves the public. The surface improvements portion of the project is a redevelopment project under the Stormwater Standards, Standard 7, definition 1 below:</p> <ol style="list-style-type: none"> <li>1. "Maintenance and improvement of existing roadways, including widening less than a single lane, adding shoulders, correcting substandard intersections, improving existing drainage systems, and repaving;"</li> </ol> <p>The Project is the maintenance and improvement of an existing roadway that will be repaved and widened less than 1 lane with the additional sidewalk width.</p>
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<p><b>Wetland Resource Areas:</b></p>	<p>The Project is located within Land Subject to Coastal Storm Flowage shown on the FEMA FIRM Map. The site is located within the 1% annual flood zone, otherwise known as the 100-year flood, Zone AE with a flood elevation of 16.46 Boston City Base (or elevation 10.0 NAVD 88).</p>
<p><b>Existing and Proposed Stormwater Drainage Infrastructure:</b></p>	<p>The existing Northern Avenue and Tide Street public ways include Boston Water and Sewer Commission maintained closed drainage systems to collect public way stormwater runoff via a closed drainage system comprised of deep sump hooded catch basins, manholes, and piping. The existing public ways are paved asphalt roadway, granite curbing, and cement concrete sidewalks pitched toward the Boston Water and Sewer Commission inlet structures in the roadway surface. There are no proposed modifications to the existing closed drainage system as part of the proposed Project.</p> <p>Existing drainage infrastructure will be protected and maintained during construction. Erosion and sedimentation control measures, including temporary inlet protection (silt sacks) installed in the existing catch basins adjacent to the proposed work and street sweeping, will be implemented to protect the existing drainage system. At the end of construction, all erosion control measures will be removed. Refer to the attached Long Term Pollution Prevention and Operations and Maintenance Plan for more detail.</p> <p>Representative pictures of the existing resource area of Land Subject to Coastal Storm Flowage are below:</p> <div data-bbox="542 1150 1338 1803" data-label="Image">  </div> <p><i>Northern Avenue looking away from the Tide Street intersection (west)</i></p>

	 <p style="text-align: center;"><i>Tide Street looking toward the Northern Avenue intersection (south)</i></p>
<p><b>NHESP Priority and Estimated Habitat:</b></p>	<p>Based on the MassGIS Oliver data viewer 2008 Priority and Estimated Habitat layer created by the NHESP, the Project site is not located within designated Estimated Habitat of Rare Wildlife or Priority Habitat of Rare Species and does not contain any Certified Vernal Pools. Refer to Figure 3 Natural Heritage and Endangered Species Program (NHESP) Map.</p>
<p><b>NRCS Soils:</b></p>	<p>The Soil Classification Summary outlines the Natural Resources Conservation Services (NRCS) designation of the soil series at the Site. The majority of soils are classified as Urban Land, map unit 603) with a small portion of Udorthents, (map unit 655). See Figure 4 for the NRSC Soils Map.</p>
<p><b>Total Maximum Daily Load (TMDL)</b></p>	<p>The Site ultimately discharges into the Boston Inner Harbor, which is subject to a Draft Pathogen Total Maximum Daily Load (TMDL). The Project is a redevelopment project, with minimal surface cover changes and no change in use, and is not anticipated to impact the pathogen pollutant load to the Boston Inner Harbor.</p>

<p><b>Land Cover Table:</b></p>	<p>Below is a summary of the proposed land cover changes for the Project in square feet (S.F.). The majority of the land cover affected by the Project is associated with the repaving of the existing roadway. A separate chart below indicates the total square footage of excavated area that results in land disturbance.</p> <p><b>Land Cover Table:</b></p> <table border="1"> <thead> <tr> <th></th> <th>Existing (S.F.)</th> <th>Proposed (S.F.)</th> <th>Delta (S.F.)</th> </tr> </thead> <tbody> <tr> <td><b>Pervious Landscaped Grass Area</b></td> <td>1,765</td> <td>0</td> <td>(1,765)*</td> </tr> <tr> <td>Impervious Area (Roadway)</td> <td>52,186</td> <td>52,186</td> <td>0</td> </tr> <tr> <td>Impervious Area (Sidewalk)</td> <td>2,964</td> <td>4,729</td> <td>1,765*</td> </tr> <tr> <td><b>Total Impervious Area</b></td> <td>55,150</td> <td>56,915</td> <td>1,765*</td> </tr> <tr> <td><b>Total Project Area</b></td> <td><b>56,915</b></td> <td><b>56,915</b></td> <td><b>-</b></td> </tr> </tbody> </table> <p>*There is an overall increase in impervious area is due to the addition of a new sidewalk along the west side of Tide Street.</p> <p><b>Land Disturbance Table:</b></p> <table border="1"> <thead> <tr> <th></th> <th>Area (S.F.)</th> <th>Area (acre)</th> </tr> </thead> <tbody> <tr> <td><b>Sidewalk Reconstruction and Widening</b></td> <td>4,729</td> <td>0.11</td> </tr> <tr> <td><b>Electrical Infrastructure Installation</b></td> <td>15,000</td> <td>0.34</td> </tr> <tr> <td><b>Total Land Disturbance Area</b></td> <td><b>19,729</b></td> <td><b>0.45</b></td> </tr> </tbody> </table>		Existing (S.F.)	Proposed (S.F.)	Delta (S.F.)	<b>Pervious Landscaped Grass Area</b>	1,765	0	(1,765)*	Impervious Area (Roadway)	52,186	52,186	0	Impervious Area (Sidewalk)	2,964	4,729	1,765*	<b>Total Impervious Area</b>	55,150	56,915	1,765*	<b>Total Project Area</b>	<b>56,915</b>	<b>56,915</b>	<b>-</b>		Area (S.F.)	Area (acre)	<b>Sidewalk Reconstruction and Widening</b>	4,729	0.11	<b>Electrical Infrastructure Installation</b>	15,000	0.34	<b>Total Land Disturbance Area</b>	<b>19,729</b>	<b>0.45</b>
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<p><b>Stormwater Management During Construction:</b></p>	<p>The majority of the Project area is comprised of the area associated with repaving the roadway. Repaving of the roadway requires only repair of existing asphalt roadway by grinding of the top surface of the asphalt does not require excavation or land disturbance. The total land disturbance area, where excavation will be required, and landscaped areas and soils will be disturbed is less than 20,000 square feet. Although the Project area is greater than 1 acre (43,560 square feet), the land disturbance of the Project is less than 1 acre, therefore, the project is not subject to the NPDES Construction General Permit. However, the Contractor will be responsible for stormwater management of the active construction site as part of the Construction Documents and contract for the project. Proposed erosion control measures include the installation temporary inlet protection in existing catch basins, street sweeping, and not allowing stockpiling of spoils in the resource area. The Contractor will be responsible for maintaining these measures throughout construction and removal at the end of construction.</p>																																				

<b>MassDEP Stormwater Management Standards</b>	
<p>The Project is considered to be a redevelopment under the MassDEP Stormwater Management Standards since it is maintenance and improvement of an existing roadway. All redevelopment projects are required to meet the following Standards only to the maximum extent practicable: Standard 2, Standard 3, and the pretreatment and structural stormwater best management practice requirements of Standards 4, 5, and 6 and improve existing conditions. Standards 1, 8, 9 and 10 will be met as described below.</p>	
<b>Standard 1</b>	<b>No New Untreated Discharges:</b> This Project and will not discharge any new untreated stormwater to any new outfalls or directly to or cause erosion in wetlands or waters of the Commonwealth.
<b>Standard 2</b>	<b>Peak Rate Attenuation:</b> This is a redevelopment project proposing to install utilities an existing paved public way and widen a public sidewalk adjacent to the roadway. The project is anticipated to have minimal increase (<5,000 S.F.) in pedestrian traveled impervious area and will maintain the City's current drainage approach, which is anticipated to result in runoff rates that are generally consistent with the existing condition.
<b>Standard 3</b>	<b>Groundwater Recharge:</b> The redevelopment project was designed to minimize the increase in impervious area in order to minimize the loss of annual recharge to groundwater to the maximum extent practicable.
<b>Standard 4</b>	<b>Water Quality Treatment:</b> The project is a redevelopment that is not modifying the existing vehicular paved area. The new impervious area is limited to a new public way pedestrian sidewalk, which is not anticipated to contribute substantial pollutants to the stormwater system. Given the limited project footprint, the proposed stormwater management approach is to maintain the existing topography and drainage system, which currently functions well and meets City requirements. A Long Term Pollution Prevention Plan has not been included in the Appendix.
<b>Standard 5</b>	<b>Water Quality Treatment - Land Uses with Higher Potential Pollutant Loads (LUHPPLs):</b> The Project site is not a LUHPPL. therefore, this standard is not applicable.
<b>Standard 6</b>	<b>Critical Areas:</b> The proposed work is not located within any critical areas, therefore, this standard is not applicable.
<b>Standard 7</b>	<b>Redevelopments:</b> The Project is the maintenance and improvement of an existing roadway that will be repaved and widened less than 1 lane with the additional sidewalk width. This project is considered to be a redevelopment under the MassDEP Stormwater Management Standards under Definition 1 and will comply with the Standards to the maximum extent practicable as detailed in Standard 7.

<b>Standard 8</b>	<b>Construction Period Pollution Prevention and Sedimentation Control:</b> The Site Contractor will be responsible for stormwater management of the active construction site. A plan to control construction-related impacts, including erosion, sedimentation, and other pollutant sources during construction and land disturbance activities (construction period erosion, sedimentation, and pollution prevention plan) is included in the Construction Documents.
<b>Standard 9</b>	<b>Operation and Maintenance Plan:</b> The facility will be operated and maintained as needed by the City of Boston (roadway) and the Boston Water and Sewer Commission (stormwater management system). Post-construction maintenance includes sweeping roadways and periodic catch basin cleaning and is detailed in the attached Long Term Pollution Prevention and Operations and Maintenance Plan.
<b>Standard 10</b>	<b>Prohibition of Illicit Discharges:</b> There will be no illicit discharges to the stormwater management system associated with the Project. An Illicit Discharge Compliance Statement is enclosed in The Appendix.

## ATTACHMENTS AND FIGURES

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# Checklist for Stormwater Report

## A. Introduction

**Important:** When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.<sup>1</sup> This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8<sup>2</sup>
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

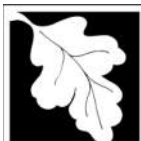
As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

<sup>1</sup> The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

<sup>2</sup> For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.





# Checklist for Stormwater Report

## B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

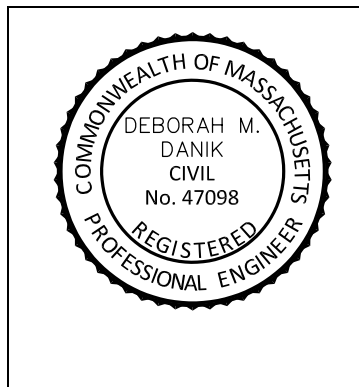
*Note:* Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

### Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



Nitsch  
#11464.1

08/04/2021

Signature and Date

## Checklist

**Project Type:** Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment





# Checklist for Stormwater Report

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## Checklist (continued)

**LID Measures:** Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
  - Credit 1
  - Credit 2
  - Credit 3
- Use of “country drainage” versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): Protection of existing stormwater management system

### Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

### Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
  - Static
  - Simple Dynamic
  - Dynamic Field<sup>1</sup>
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
  - Site is comprised solely of C and D soils and/or bedrock at the land surface
  - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
  - Solid Waste Landfill pursuant to 310 CMR 19.000
  - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

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<sup>1</sup> 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

### Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
  - Provisions for storing materials and waste products inside or under cover;
  - Vehicle washing controls;
  - Requirements for routine inspections and maintenance of stormwater BMPs;
  - Spill prevention and response plans;
  - Provisions for maintenance of lawns, gardens, and other landscaped areas;
  - Requirements for storage and use of fertilizers, herbicides, and pesticides;
  - Pet waste management provisions;
  - Provisions for operation and management of septic systems;
  - Provisions for solid waste management;
  - Snow disposal and plowing plans relative to Wetland Resource Areas;
  - Winter Road Salt and/or Sand Use and Storage restrictions;
  - Street sweeping schedules;
  - Provisions for prevention of illicit discharges to the stormwater management system;
  - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
  - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
  - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
  - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
    - is within the Zone II or Interim Wellhead Protection Area
    - is near or to other critical areas
    - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
    - involves runoff from land uses with higher potential pollutant loads.
  - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
  - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
  - The ½" or 1" Water Quality Volume or
  - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

### Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

### Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



# Checklist for Stormwater Report

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## Checklist (continued)

### Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
  - Limited Project
  - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
  - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
  - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
  - Bike Path and/or Foot Path
- Redevelopment Project
- Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
  - Construction Period Operation and Maintenance Plan;
  - Names of Persons or Entity Responsible for Plan Compliance;
  - Construction Period Pollution Prevention Measures;
  - Erosion and Sedimentation Control Plan Drawings;
  - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
  - Vegetation Planning;
  - Site Development Plan;
  - Construction Sequencing Plan;
  - Sequencing of Erosion and Sedimentation Controls;
  - Operation and Maintenance of Erosion and Sedimentation Controls;
  - Inspection Schedule;
  - Maintenance Schedule;
  - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



# Checklist for Stormwater Report

---

## Checklist (continued)

### Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

### Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
  - Name of the stormwater management system owners;
  - Party responsible for operation and maintenance;
  - Schedule for implementation of routine and non-routine maintenance tasks;
  - Plan showing the location of all stormwater BMPs maintenance access areas;
  - Description and delineation of public safety features;
  - Estimated operation and maintenance budget; and
  - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
  - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
  - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

### Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

### STANDARD 10: Illicit Discharge Compliance Statement

Project Name: Eversource Grounding and Boston Street Lighting Project	Nitsch Project #: 11464.1
Location: Boston, MA	
Prepared by: Deborah M. Danik, PE	Sheet No. 1 of 1
Date: August 4, 2021	

**Standard 10 states: All illicit discharges to the stormwater management system are prohibited.**

This is to verify:

1. Based on the information available there are no known or suspected illicit discharges to the stormwater management system as defined in the MassDEP Stormwater Handbook.
2. The design of the Project and proposed improvements includes no proposed illicit discharges.



Deborah M. Danik, PE

08/04/2021

Date

# **LONG-TERM POLLUTION PREVENTION PLAN AND STORMWATER OPERATION AND MAINTENANCE PLAN**

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Eversource Grounding and Boston Street Lighting Project  
Northern Avenue and Tide Street  
Boston, MA

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## 1.0 INTRODUCTION

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The purpose of this document is to specify the pollution prevention measures and stormwater management system operation and maintenance for the Eversource Grounding and Boston Street Lighting Project on Northern Avenue and Tide Streets in Boston, MA (the Project). The Responsible Party indicated below shall implement the management practices outlined in this document and proactively conduct operations at the project site in an environmentally responsible manner. Compliance with this Manual does not in any way dismiss the responsible party, owner, property manager, or occupants from compliance with other applicable federal, state or local laws.

Owner and Responsible Party for Operations and Maintenance are as follows:

City of Boston (Roadways); and  
Boston Water and Sewer Commission (Stormwater Management System)

This Document has been prepared in compliance with Standards 4 and 9 of the Massachusetts Department of Environmental Protection (MassDEP) Stormwater Management Standards, which state:

### Standard 4:

The Long Term Pollution Prevention Plan shall include the proper procedures for the following (as applicable):

- Good housekeeping
- Storing materials and waste products inside or under cover (not applicable)
- Vehicle washing (not applicable)
- Routine inspections of stormwater best management practices
- Spill prevention and response
- Maintenance of lawns, gardens, and other landscaped areas (not applicable)
- Pet waste management (not applicable)
- Operation and management of septic systems (not applicable)
- Proper management of deicing chemicals and snow

### Standard 9:

The Long-Term Operation and Maintenance Plan shall at a minimum include:

- Stormwater management system(s) owner(s)
- The party or parties responsible for operation and maintenance, including how future property owners shall be notified of the presence of the stormwater management system and the requirement for operation and maintenance
- The routine and non-routine maintenance tasks to be undertaken after construction is complete and a schedule for implementing those tasks
- A plan that is drawn to scale and shows the location of all stormwater BMPs in each treatment train along with the discharge point
- A description of public safety features
- An estimated operations and maintenance budget

## **2.0 LONG-TERM POLLUTION PREVENTION PLAN**

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The Responsible Party shall implement the following good housekeeping procedures at the project site to reduce the possibility of accidental releases and to reduce safety hazards.

### **2.1 Spill Prevention and Response**

Implement spill response procedures for releases of significant materials such as fuels, oils, or chemical materials onto the ground or other area that could reasonably be expected to discharge to surface or groundwater.

- Immediately contact applicable Federal, State, and local agencies for reportable quantities as required by law.
- Immediately perform applicable containment and cleanup procedures following a spill release.
- Promptly remove and dispose of all material collected during the response in accordance with Federal, State and local requirements. A licensed emergency response contractor may be required to assist in cleanup of releases depending on the amount of the release, and the ability of the Contractor to perform the required response.
- Reportable quantities of chemicals, fuels, or oils are established under the Clean Water Act and enforced through MassDEP

### **2.2 Minimize Soil Erosion**

Soil erosion facilitates mechanical transport of nutrients, pathogens, and organic matter to surface water bodies. Repair all areas where erosion is occurring throughout the project area. Stabilize bare soil with riprap, seed, mulch, or vegetation.

### **2.3 Coordination with other Permits and Requirements**

Certain conditions of other approvals affecting the long term management of the property shall be considered part of this Long Term Pollution Prevention Plan. The Owner shall become familiar with those documents and comply with the guidelines set forth in those documents.

### **3.0 STORMWATER MANAGEMENT SYSTEM OPERATION AND MAINTENANCE PLAN**

#### **3.1 Introduction**

This Operation and Maintenance Plan (O&M Plan) for the Project is required under Standard 9 of the MassDEP Stormwater Handbook to provide best management practices for implementing maintenance activities for the stormwater management system in a manner that minimizes impacts to wetland resource areas.

The Owner shall implement this O&M Plan and proactively conduct operations at the site in an environmentally responsible manner. Compliance with this O&M Plan does not in any way dismiss the Owner from compliance with other applicable Federal, State or local laws.

Routine maintenance during construction and post-development phases of the project, as defined in the Operation and Maintenance Plan, shall be permitted without amendment to the Order of Conditions. A continuing condition in the Certificate of Compliance shall ensure that maintenance can be performed without triggering further filings under the Wetlands Protection Act.

All stormwater best management practices (BMPs) shall be operated and maintained in accordance with the design plans and the Operation and Maintenance Plan approved by the issuing authority. The Owner shall:

- a. Maintain an operation and maintenance log for the last three years, including inspections, repairs, replacement and disposal (for disposal the log shall indicate the type of material and the disposal location). This is a rolling log in which the responsible party records all operation and maintenance activities for the past three years.
- b. Make this log available to MassDEP and the Conservation Commission upon request; and
- c. Allow members and agents of the MassDEP and the Conservation Commissions to enter and inspect the premises to evaluate and ensure that the Owner complies with the Operation and Maintenance requirements for each BMP.

#### **3.2 Stormwater Operation and Maintenance Requirements**

Inspect and maintain the stormwater management system as directed below. Repairs to any component of the system shall be made as soon as possible to prevent any potential pollutants (including silt) from entering the resource areas.

##### Deep Sump and Hooded Catch Basins

Inspect catch basins consistent with the Boston Water and Sewer Commission maintenance schedule. Other inspection and maintenance requirements include:

- Remove organic material, sediment and hydrocarbons whenever the depth of deposits is greater than or equal to one quarter the depth of the sump.
- Clean out catch basins after street sweeping. If any evidence of hydrocarbons is found during inspection, the material immediately remove using absorbent pads or other suitable measures and dispose of legally. Remove other accumulated debris as necessary.
- Transport and disposal of accumulated sediment off-site shall be in accordance with applicable local, state and federal guidelines and regulations.

### **3.3 Street Sweeping**

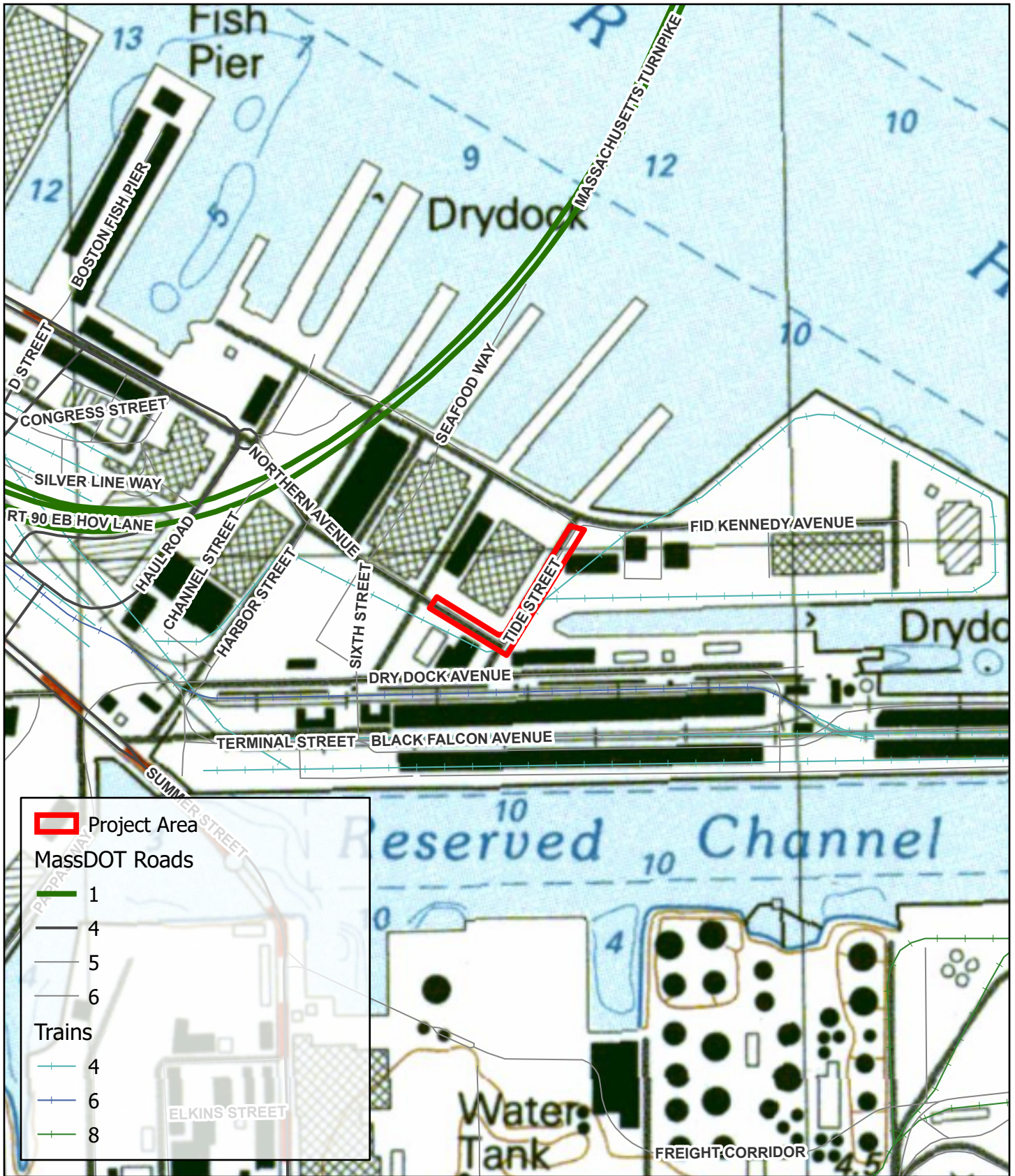
Perform street sweeping according to the City's street sweeping schedule, and whenever there is significant debris present on roads.

### **3.4 Repair of the Stormwater Management System**

The stormwater management system shall be maintained. The repair of any component of the system shall be made as soon as possible to prevent any potential pollutants including silt from entering the resource areas or the existing closed drainage system.

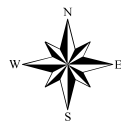
### **3.5 Reporting**

The Owner shall maintain a record of drainage system inspections and maintenance (per this Plan) and review on a yearly basis.



**Figure 1: USGS Locus Map**  
Northern Avenue and Tide Street  
Boston, MA

8/4/2021 1:11 PM



0 250 500 1,000  
Feet



# National Flood Hazard Layer FIRMette

71°02'12"W 42°20'11"N



## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)  
*Zone A, V, A99*
- With BFE or Depth  
*Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile  
*Zone X*
- Future Conditions 1% Annual Chance Flood Hazard  
*Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes.  
*Zone X*
- Area with Flood Risk due to Levee  
*Zone D*

**OTHER AREAS**

- Area of Minimal Flood Hazard  
*Zone X*
- Effective LOMR
- Area of Undetermined Flood Hazard  
*Zone D*

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**Cross Sections with 1% Annual Chance Water Surface Elevation**

- 20.2
- 17.5
- 8

**OTHER FEATURES**

- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

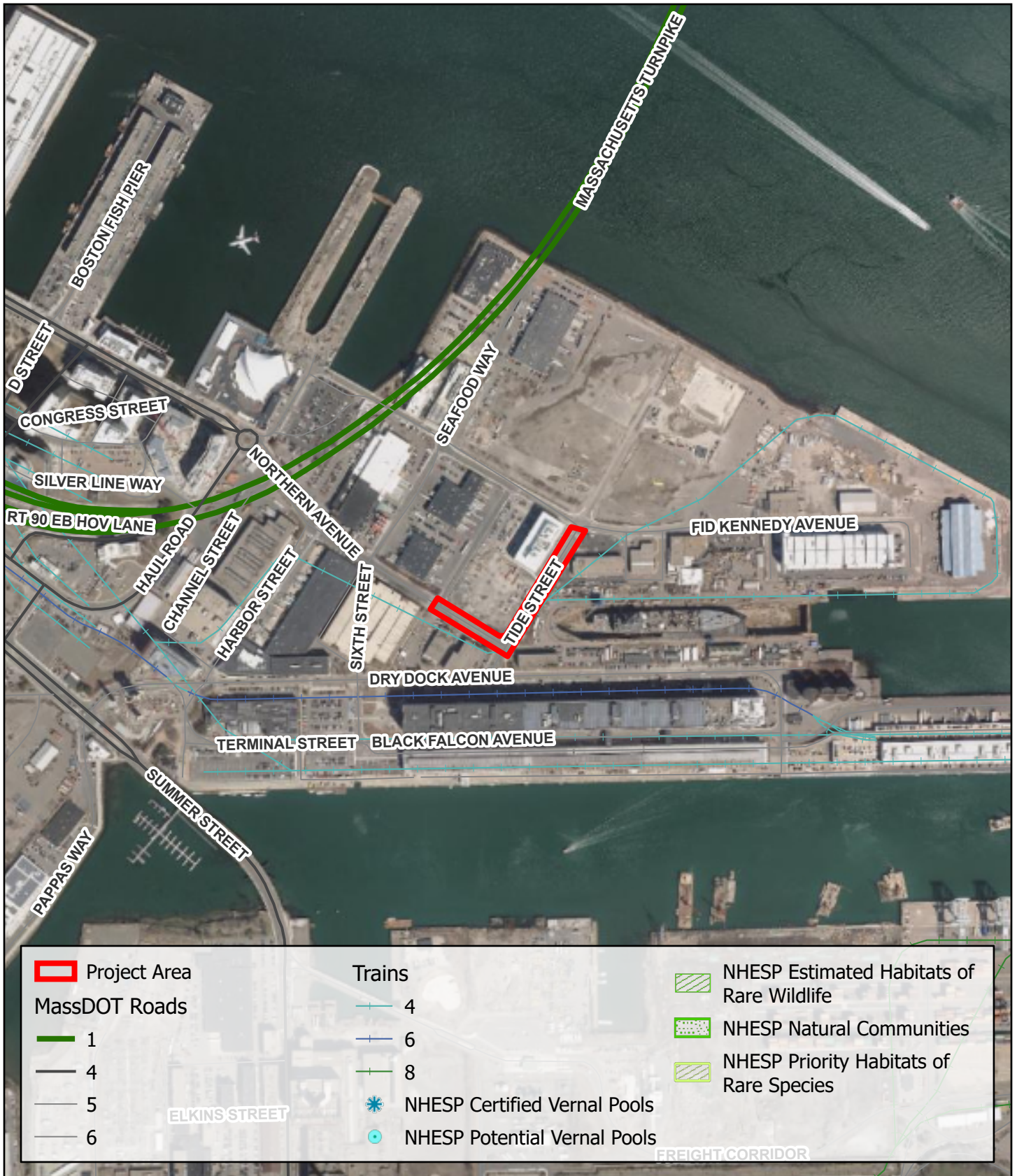
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/4/2021 at 2:10 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



0 250 500 1,000 1,500 2,000 Feet 1:6,000  
Basemap: USGS National Map; Orthoimagery: Data refreshed October, 2020





**Figure 3: Natural Heritage and Endangered Species Program Map**  
 Northern Avenue and Tide Street  
 Boston, MA

8/4/2021 1:10 PM

Data Source: MassGIS  
 Nitsch Project #11464.1

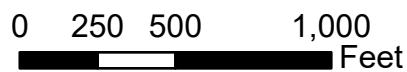
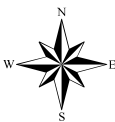




FIGURE 4 - NRCS SOILS MAP

Soil Map—Norfolk and Suffolk Counties, Massachusetts  
(Northern Avenue/Tide Street)



Soil Map may not be valid at this scale.

Map Scale: 1:1,620 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 19N WGS84





## MAP LEGEND

- Area of Interest (AOI)
- Area of Interest (AOI)
- Soils**
- Soil Map Unit Polygons
- Soil Map Unit Lines
- Soil Map Unit Points
- Special Point Features**
- Blowout
- Borrow Pit
- Clay Spot
- Closed Depression
- Gravel Pit
- Gravelly Spot
- Landfill
- Lava Flow
- Marsh or swamp
- Mine or Quarry
- Miscellaneous Water
- Perennial Water
- Rock Outcrop
- Saline Spot
- Sandy Spot
- Severely Eroded Spot
- Sinkhole
- Slide or Slip
- Sodic Spot
- Spoil Area
- Stony Spot
- Very Stony Spot
- Wet Spot
- Other
- Special Line Features
- Water Features**
- Streams and Canals
- Transportation**
- Rails
- Interstate Highways
- US Routes
- Major Roads
- Local Roads
- Background**
- Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Norfolk and Suffolk Counties, Massachusetts  
Survey Area Data: Version 16, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2019—Oct 5, 2019

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
603	Urban land, wet substratum, 0 to 3 percent slopes	1.5	99.9%
655	Udorthents, wet substratum	0.0	0.1%
<b>Totals for Area of Interest</b>		<b>1.5</b>	<b>100.0%</b>

Date: September 1st, 2021

## Certificate of Accurate Translation

Translated document: Legal Expert Translation

Translation date: September 1st, 2021

Project #: 8268826

Source Language: English

Target Language: Traditional  
Chinese (HK)

Blend, the largest professional translation agency online, hereby certifies and states the following, that the above mentioned document has been translated by a certified professional translator who has the background and the experience needed to perform the translation. We further certify that, to the best of our knowledge, the translated document is accurate translation of the original document and that it reflects the content, style and meaning of the original document.

This certificate relates to the accuracy of the translation only and not to the original content of the document. In accordance with our general terms and conditions, Blend is not liable and will not be held liable to any result of using the translation by the client or any other party.

Please find the translation attached.

Yours Sincerely,

Blend






**AFFIDAVIT OF SERVICE  
FOR ABUTTER NOTIFICATION**

**Under the Massachusetts Wetlands Protection Act  
and Boston Wetlands Ordinance**

I, Deborah Danik, hereby certify under pains and penalties of perjury that that at least one week prior to the public hearing, I gave notice to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent \_\_\_\_\_ was filed under the Massachusetts Wetlands Protection Act and/or the Boston Wetlands Ordinance by Related Beal and the Boston Planning and Development Agency for the construction of underground electric infrastructure, installation of City of Boston Street lighting, and roadway public sidewalk reconstruction located at Northern Avenue and Tide Street in the Ray Flynn Marine Industrial Park in South Boston.

The Abutter Notification For, the list of abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

  
Name

9/1/2021  
Date

OBJECTID	SITE_ADDRESS	MAILING_OWNER	MAIL_ADDRESSEE	MAIL_ADDRESS	MAIL_CS	STATE	MAIL_ZIPCODE
39868	20 FID KENNEDY DR	MASSACHUSETTS PORT AUTHORITY	20 FID KENNEDY DR	C/O CHRISTOPHER GIULIANI	BOSTON	MA	02210
98444	1 DESIGN CENTER PL	JAMESTOWN I DESIGN PLACE LP	21 DRYDOCK AVE	C/O CORINNE MARIANO, UNIT 330E	BOSTON	MA	02210
119772	300 NORTHERN AV	BRETT K LLC	24 MT VERNON ST #201	C/O PILOT DEVELOPMT PARTNERS INC	BOSTON	MA	02108
119774	300 NORTHERN AV						
16699	DRYDOCK AV	ECONOMIC DEVELOPMENT AND	C/O CHRISTOPHER GIULIANI	1 CITY HALL SQ 9TH FL	BOSTON	MA	02201
24205	22 DRYDOCK AV						
53273	32 A DRYDOCK AV						
78258	12 DRYDOCK AV						
91445	24 DRYDOCK AV						
119771	300 NORTHERN AV						
138103	20 DRYDOCK AV						
158612	1 AU BON PAIN WY						
119775	300 NORTHERN AV	FBC REALTY TRUST	C/O F.J. O'HARA & SONS	5 FID KENNEDY AV #2A	BOSTON	MA	02210
119777	300 NORTHERN AV	FBC REALTY TRUST	C/O F.J. O'HARA & SONS	7 FID KENNEDY AV #2C	BOSTON	MA	02210
119778	7 FID KENNEDY DR						
172700	6 TIDE ST	TS PARTNERS LLC	C/O JOHN E KAVANAGH III	99 CONIFER HILL DR SUITE 201	DANVERS	MA	01923
119776	300 NORTHERN AV	HWD LLC	C/O MICHAEL S VITALE	5 FID KENNEDY AV 2B	BOSTON	MA	02210
119773	300 NORTHERN AV	E.A.O. REALTY LLC	C/O PANGEA SHELLFISH AND SEAFOOD	312 NORTHERN AV #1B	BOSTON	MA	02210
102832	3 ANCHOR WY	PARK REALTY TRUST	MCDONALD STEEL - PARK REALTY TRU	3 ANCHOR WAY	BOSTON	MA	02210
18177	7 TIDE ST	7 TIDE LLC		393 FORTUNE BLVD	MILFORD	MA	01757
96481	DRYDOCK AV	VERIZON		P.O. BOX 15124	ALBANY	NY	12212
139614	6 TIDE ST	RBK I TENANT LLC (LESSEE)		177 MILK STREET	BOSTON	MA	02109
141414	21 25 DRYDOCK AV	JAMESTOWN 21-23-25 DRYDOCK LP		3625 CUMBERLAND BL 1 OVERTON PK	NEW YORK	NY	10004



**NOTIFICATION TO ABUTTERS  
BOSTON CONSERVATION COMMISSION**

In accordance with the Massachusetts Wetlands Protection Act, Massachusetts General Laws Chapter 131, Section 40, and the Boston Wetlands Ordinance, you are hereby notified as an abutter to a project filed with the Boston Conservation Commission.

- A. Related Beal has filed a Notice of Intent with the Boston Conservation Commission seeking permission to alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, section 40) and Boston Wetlands Ordinance.
- B. The address of the lot where the activity is proposed is Northern Avenue and Tide Street.
- C. The project involves the construction of underground electric infrastructure, installation of City of Boston Street lighting, and roadway public sidewalk reconstruction.
- D. Copies of the Notice of Intent may be obtained by contacting the Boston Conservation Commission at [CC@boston.gov](mailto:CC@boston.gov).
- E. Copies of the Notice of Intent may be obtained from Deborah Danik, Nitsch Engineering, at 857-206-8737 between the hours of 9 AM to 5 PM, Monday through Friday, or via email at [ddanik@nitscheng.com](mailto:ddanik@nitscheng.com)
- F. In accordance with the Commonwealth of Massachusetts Executive Order Suspending Certain Provisions of the Open Meeting Law, the public hearing will take place **virtually** at <https://zoom.us/j/6864582044>. If you are unable to access the internet, you can call 1-929-205-6099, enter Meeting ID 686 458 2044 # and use # as your participant ID.
- G. Information regarding the date and time of the public hearing may be obtained from the **Boston Conservation Commission** by emailing [CC@boston.gov](mailto:CC@boston.gov) or calling (617) 635-3850 between the hours of 9 AM to 5 PM, Monday through Friday.

NOTE: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the **Boston Herald**.

NOTE: Notice of the public hearing, including its date, time, and place, will be posted on [www.boston.gov/public-notices](http://www.boston.gov/public-notices) and in Boston City Hall not less than forty-eight (48) hours in advance.

NOTE: If you would like to provide comments, you may attend the public hearing or send written comments to [CC@boston.gov](mailto:CC@boston.gov) or Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201

NOTE: You also may contact the Boston Conservation Commission or the Department of Environmental Protection Northeast Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call: the Northeast Region: (978) 694-3200.



## 波士顿湿地保护委员会 项目邻近住户通知

根据《马萨诸塞州湿地保护法》、《马萨诸塞州普通法》第 131 章第 40 节以及《波士顿湿地条例》的规定，我们特此向您，即向波士顿湿地保护委员会提出申请的项目的邻近住户，发出以下通知。

- A. Related Beal 建設 已向波士顿湿地保护委员会提出申请，请求批准改建一块受《湿地保护法》（《普通法》第 131 章第 40 节）和《波士顿湿地条例》保护的地块。
- B. 拟开展改建活动的地块地址为：Northern 大街和 Tide 街。
- C. 该项目涉及以下建设内容：地下電力基礎設施建造、波士頓市街道照明安裝，以及道路公共行人路重。
- D. 可通過聯繫波士頓保護委員會取得意向通知書的副本，電子郵件是 [CC@boston.gov](mailto:CC@boston.gov)。
- E. 您可于 星期一至星期五上午 9 時至下午 5 時 在 Nitsch 工程公司 Deborah Danik，電話：857-206-8737 或電郵：[ddanik@nitscheng.com](mailto:ddanik@nitscheng.com) 处获取意向通知的副本。
- F. 根據《馬薩諸塞州行政命令》（暫緩執行《公開會議法》聽證會將在網上 <https://zoom.us/j/6864582044> 進行。如果無法上互聯網 (Internet)，則可致電 1-929-205-6099，輸入會議編號 (ID) 686 458 2044 #，然後使用 # 作為您參與的編號 (ID.)
- G. 您可于 周一至周五上午 9 点到下午 5 点联系波士顿湿地保护委员会，咨询公开听证会举行的日期和时间，邮箱地址：[CC@boston.gov](mailto:CC@boston.gov)，电话：(617) 635-4416。

注：公开听证会的通知（包括其举行日期、时间和地点）将提前至少五天在《波士顿先驱报》上予以公布。

注：公开听证会的通知（包括其举行日期、时间和地点）将提前至少四十八（48）小时发布在以下网页之上以及波士顿市政厅内：[www.boston.gov/public-notices](http://www.boston.gov/public-notices)。如果您想提出意见或建议，您可以参加该公开听证会或将书面形式的意见或建议发送至 [CC@boston.gov](mailto:CC@boston.gov) 或邮寄至以下地址：Boston City Hall, Environment Department, Room 709, 1 City Hall Square, Boston, MA 02201。

注：您也可以联系波士顿湿地保护委员会或环境保护部东北地区办公室，咨询有关此项申请或《湿地保护法》的更多信息。如要联系环境保护部，请致电：东北地区：（978）694-3200。

注：如果您准备参加该公开听证会并需要口译服务，则请在听证会举行前一天中午 12 点前通过以下电子邮箱地址告知工作人员：[CC@boston.gov](mailto:CC@boston.gov)



## BABEL NOTICE

English:

**IMPORTANT!** This document or application contains **important information** about your rights, responsibilities and/or benefits. It is crucial that you understand the information in this document and/or application, and we will provide the information in your preferred language at no cost to you. If you need them, please contact us at [cc@boston.gov](mailto:cc@boston.gov) or 617-635-3850.

Spanish:

**¡IMPORTANTE!** Este documento o solicitud contiene **información importante** sobre sus derechos, responsabilidades y/o beneficios. Es fundamental que usted entienda la información contenida en este documento y/o solicitud, y le proporcionaremos la información en su idioma preferido sin costo alguno para usted. Si los necesita, póngase en contacto con nosotros en el correo electrónico [cc@boston.gov](mailto:cc@boston.gov) o llamando al 617-635-3850.

Haitian Creole:

**AVI ENPÒTAN!** Dokiman oubyen aplikasyon sa genyen **enfòmasyon ki enpòtan** konsènan dwa, responsablite, ak/oswa benefis ou yo. Li enpòtan ke ou konprann enfòmasyon ki nan dokiman ak/oubyen aplikasyon sa, e n ap bay enfòmasyon an nan lang ou prefere a, san ou pa peye anyen. Si w bezwen yo, tanpri kontakte nou nan [cc@boston.gov](mailto:cc@boston.gov) oswa 617-635-3850.

Traditional Chinese:

**非常重要！**這份文件或是申請表格包含關於您的權利，責任，和／或福利的重要信息。請您務必完全理解這份文件或申請表格的全部信息，這對我們來說十分重要。我們會免費給您提供翻譯服務。如果您有需要請聯系我們的郵箱 [cc@boston.gov](mailto:cc@boston.gov) 電話# 617-635-3850..

Vietnamese:

**QUAN TRỌNG!** Tài liệu hoặc đơn yêu cầu này chứa **thông tin quan trọng** về các quyền, trách nhiệm và/hoặc lợi ích của bạn. Việc bạn hiểu rõ thông tin trong tài liệu và/hoặc đơn yêu cầu này rất quan trọng, và chúng tôi sẽ cung cấp thông tin bằng ngôn ngữ bạn muốn mà không tính phí. Nếu quý vị cần những dịch vụ này, vui lòng liên lạc với chúng tôi theo địa chỉ [cc@boston.gov](mailto:cc@boston.gov) hoặc số điện thoại 617-635-3850.

Simplified Chinese:

**非常重要！**这份文件或是申请表格包含关于您的权利，责任，和／或福利的重要信息。请您务必完全理解这份文件或申请表格的全部信息，这对我们来说十分重要。我们会免费给您提供翻译服务。如果您有需要请联系我们的邮箱 [cc@boston.gov](mailto:cc@boston.gov) 电话# 617-635-3850.



Cape Verdean Creole:

**INPURTANTI!** Es dukumentu ó aplikason ten **informason inpur tanti** sobri bu direitus, rasponsabilidadi i/ó benefisius. Ê krusial ki bu intendi informason na es dukumentu i/ó aplikason ó nu ta da informason na língua di bu preferênsia sen ninhun kustu pa bó. Si bu prisiza del, kontata-nu na [cc@boston.gov](mailto:cc@boston.gov) ó 617-635-3850.

Arabic:

**مهم!** يحتوي هذا المستند أو التطبيق على معلومات مهمة حول حقوقك ومسؤولياتك أو فوائدك. من الأهمية أن تفهم المعلومات الواردة في هذا المستند أو التطبيق. سوف نقدم المعلومات بلغتك المفضلة دون أي تكلفة عليك. إذا كنت في حاجة إليها، يرجى الاتصال بنا على [cc@boston.gov](mailto:cc@boston.gov) أو 617-635-3850.

Russian:

**ВАЖНО!** В этом документе или заявлении содержится **важная информация** о ваших правах, обязанностях и/или льготах. Для нас очень важно, чтобы вы понимали приведенную в этом документе и/или заявлении информацию, и мы готовы бесплатно предоставить вам информацию на предпочитаемом вами языке. Если Вам они нужны, просьба связаться с нами по адресу электронной почты [cc@boston.gov](mailto:cc@boston.gov), либо по телефону 617-635-3850.

Portuguese:

**IMPORTANTE!** Este documento ou aplicativo contém **Informações importantes** sobre os seus direitos, responsabilidades e/ou benefícios. É importante que você compreenda as informações contidas neste documento e/ou aplicativo, e nós iremos fornecer as informações em seu idioma de preferência sem nenhum custo para você. Se precisar deles, fale conosco: [cc@boston.gov](mailto:cc@boston.gov) ou 617-635-3850.

French:

**IMPORTANT !** Ce document ou cette demande contient des **informations importantes** concernant vos droits, responsabilités et/ou avantages. Il est essentiel que vous compreniez les informations contenues dans ce document et/ou cette demande, que nous pouvons vous communiquer gratuitement dans la langue de votre choix. Si vous en avez besoin, veuillez nous contacter à [cc@boston.gov](mailto:cc@boston.gov) ou au 617-635-3850.



# EVERSROUCE GROUNDING AND BOSTON STREET LIGHTING IMPROVEMENTS PROJECT

## NORTHERN AVENUE AND TIDE STREET BOSTON, MASSACHUSETTS

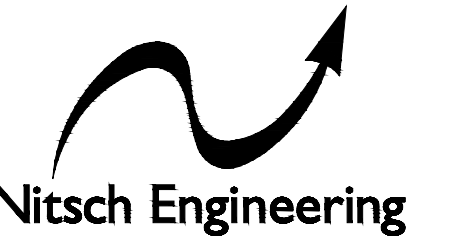
100% CONSTRUCTION DOCUMENTS  
UPDATED JULY 21, 2021



**LOCUS PLAN**  
SCALE: NOT TO SCALE

### DRAWING LIST:

SHEET NO:	TITLE:
C-000	TITLE SHEET
C-100	NORTHERN AVENUE IMPROVEMENTS PLAN
C-101	TIDE STREET IMPROVEMENTS PLAN
C-200	STORMWATER POLLUTION PREVENTION PLAN AND DETAILS
C-300	TRAFFIC MANAGEMENT PLAN 1
C-301	TRAFFIC MANAGEMENT PLAN 2
C-400	CIVIL NOTES, LEGEND, AND ABBREVIATIONS
C-401	CONSTRUCTION DETAILS 1
C-402	CONSTRUCTION DETAILS 2
1 OF 3	EXISTING CONDITIONS PLAN
2 OF 3	EXISTING CONDITIONS PLAN
3 OF 3	EXISTING CONDITIONS PLAN



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- ▶ Planning
- ▶ GIS

**TITLE SHEET**  
 NORTHERN AVENUE AND TIDE STREET  
 MARINE INDUSTRIAL PARK, SOUTH BOSTON, MA 02210  
 PREPARED FOR:  
 RBK II TENANT, LLC  
 C/O RELATED BEAL, 177 MILK STREET, BOSTON, MA 02109



100% CONSTRUCTION DOCUMENTS

NUMBER	REVISION	DATE
	100% CD REDESIGN	7/21/21

NITSCH PROJECT #: 11464.1  
 FILE: 11464.TCOV  
 SCALE: NOT TO SCALE  
 DATE: 03/31/2021  
 PROJECT MANAGER: DMD  
 SURVEYOR: BSC GROUP  
 DRAFTED BY: WL  
 CHECKED BY: DMD

SHEET:  
**C-000**

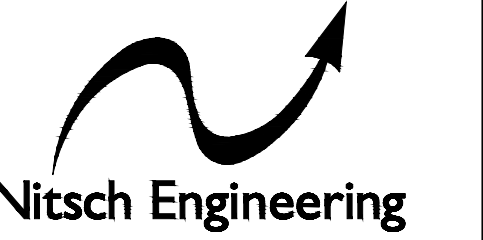
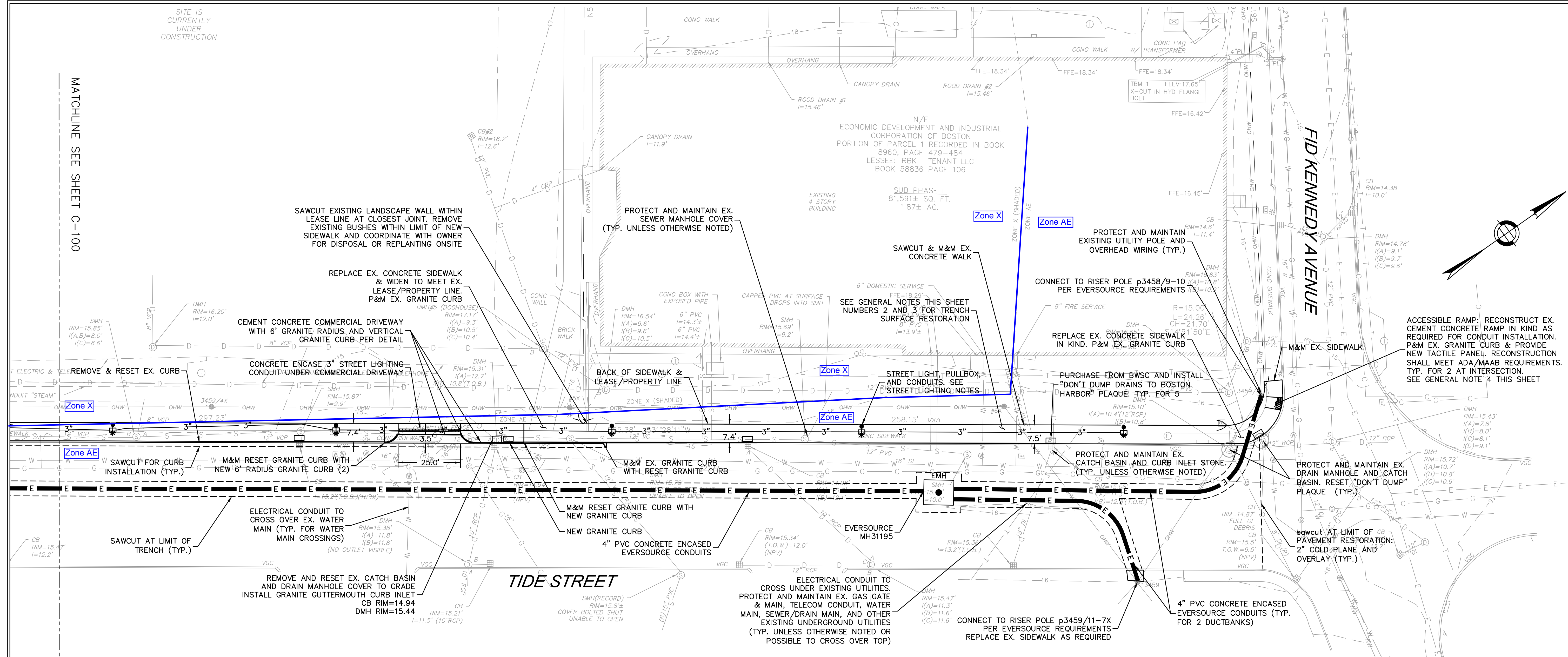






SITE IS CURRENTLY UNDER CONSTRUCTION

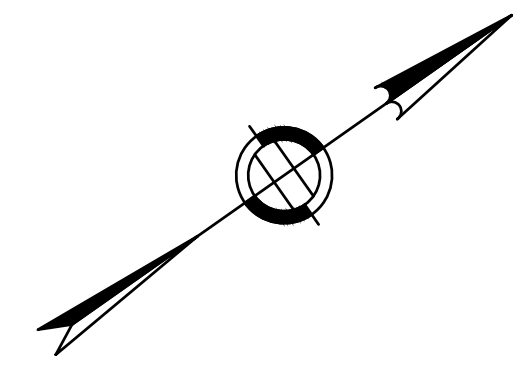
MATCHLINE SEE SHEET C-100



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TIDE STREET IMPROVEMENTS PLAN

NORTHERN AVENUE AND TIDE STREET  
MARINE INDUSTRIAL PARK, SOUTH BOSTON, MA 02210

PREPARED FOR:

RBK II TENANT, LLC  
C/O RELATED BEAL, 177 MILK STREET, BOSTON, MA 02109



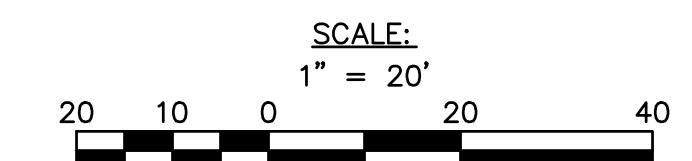
100% CONSTRUCTION DOCUMENTS

TIDE STREET SIGNAGE NOTES:

1. CONTRACTOR SHALL PROTECT AND MAINTAIN THE 2 EXISTING "NO STOPPING ANY TIME" SIGNS ON TIDE STREET SIDEWALK.
2. CONTRACTOR SHALL INCLUDE PRICING FOR FURNISH AND INSTALLATION OF ADDITIONAL "NO STOPPING ANY TIME" SIGNS INCLUDING SIGN FACE, POST, AND FOOTING PER DETAIL ON SHEET C-402, SPACED AT 30' ON CENTER ALONG THE TIDE STREET SIDEWALK, OR 16 TOTAL.
3. PRIOR TO SIGN PURCHASE AND INSTALLATION, THE CONTRACTOR SHALL COORDINATE WITH THE BPDA/EDIC TO DETERMINE IN THE FIELD SPACING AND WHETHER SIGNS CAN BE ATTACHED TO STREET LIGHTING POLES INSTEAD OF SEPARATE SIGN POLES.

GENERAL NOTES:

1. REFER TO SHEET C-400 FOR LEGEND, ABBREVIATIONS, AND ADDITIONAL NOTES.
2. REFER TO SHEET C-100 FOR NOTES.



C-101

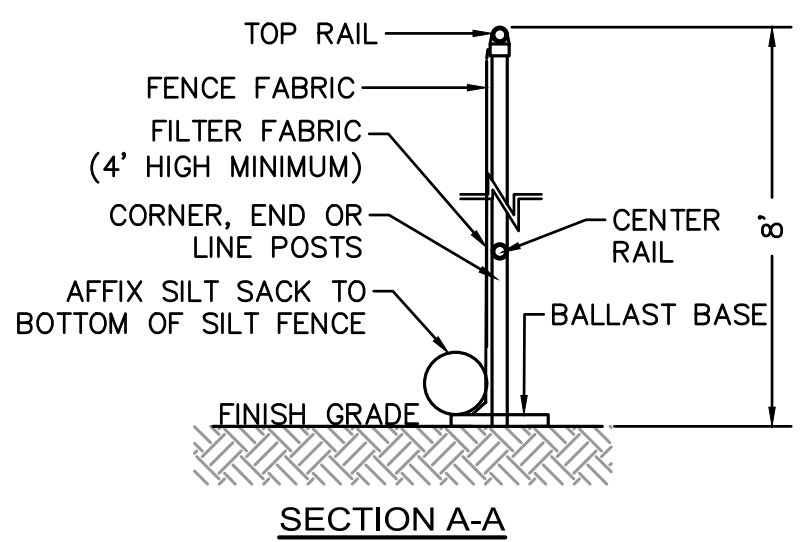
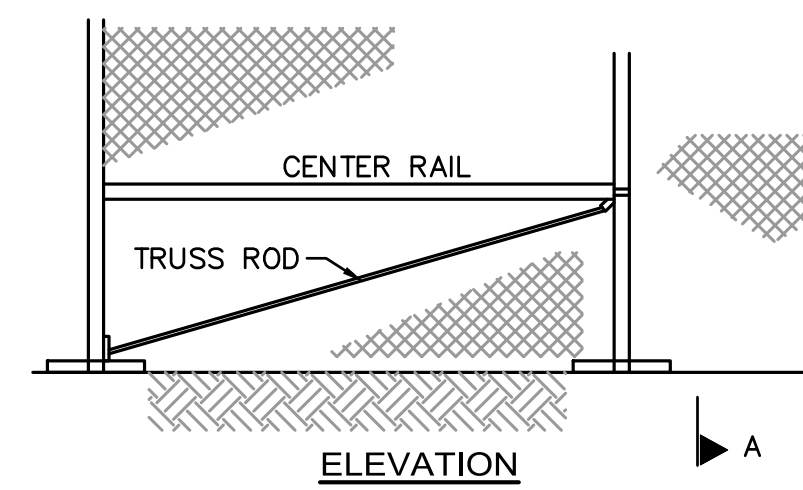
SHEET:

NUMBER	REVISION	DATE
	100% CD REDESIGN	7/21/21
NITSCH PROJECT #:		
FILE:	11464.1	
SCALE:	1" = 20'	
DATE:	03/31/2021	
PROJECT MANAGER:	DMD	
SURVEYOR:	BSC GROUP	
DRAFTED BY:	WL	
CHECKED BY:	DMD	



**EROSION AND SEDIMENT CONTROL NOTES:**

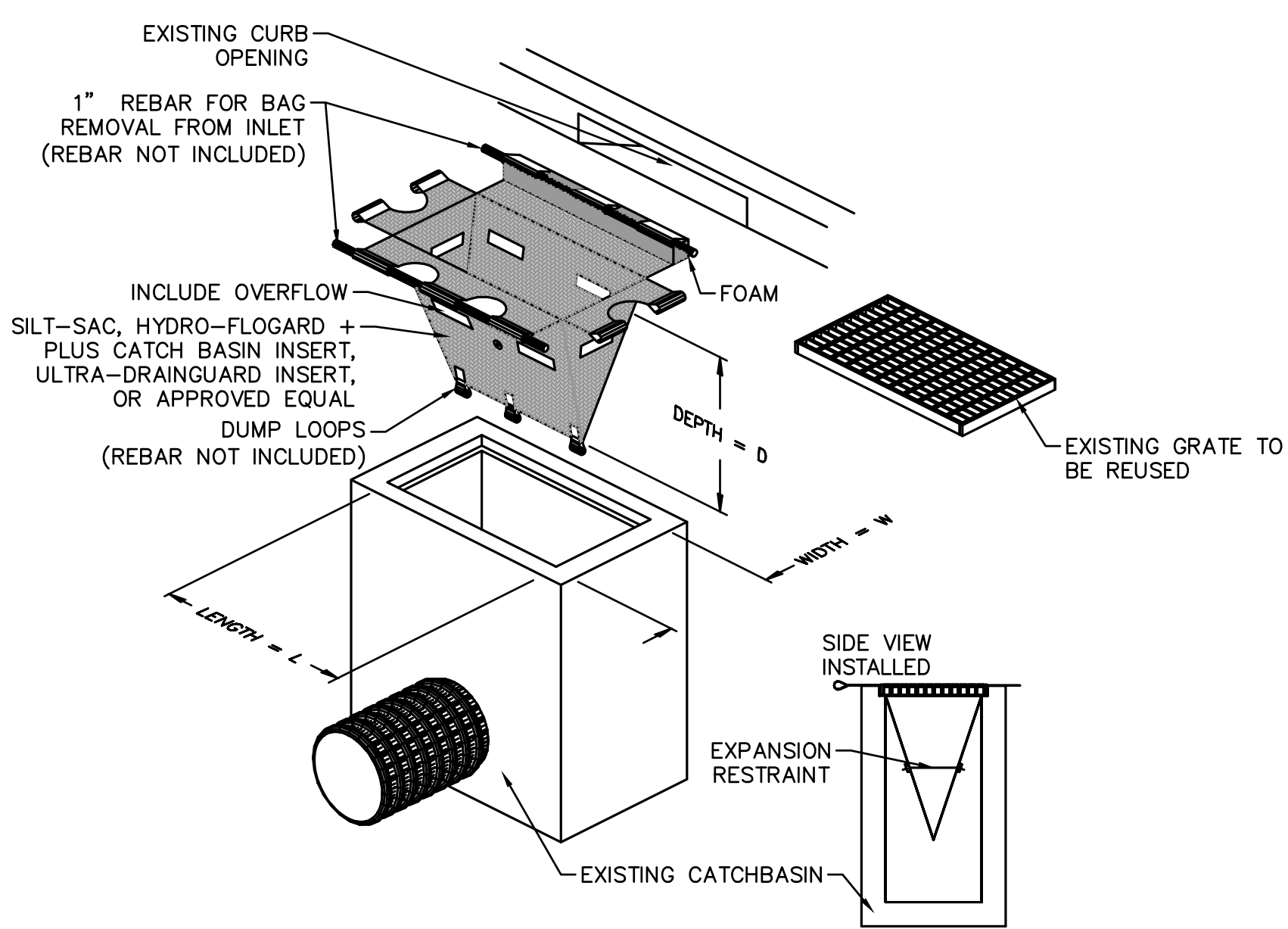
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
- SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
- AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
- PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ADJUTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
- NO SOILS OR EXCAVATED MATERIALS SHALL BE STORED AT THE PROJECT SITE.
- ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
- ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFFSITE.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
- AT THE END OF CONSTRUCTION, ALL EROSION CONTROL MEASURES, INCLUDING CATCH BASIN INLET PROTECTION, SHALL BE REMOVED AND DISPOSED OF.



**TEMPORARY CONSTRUCTION CHAIN LINK FENCE WITH BALLAST BASE**  
NOT TO SCALE

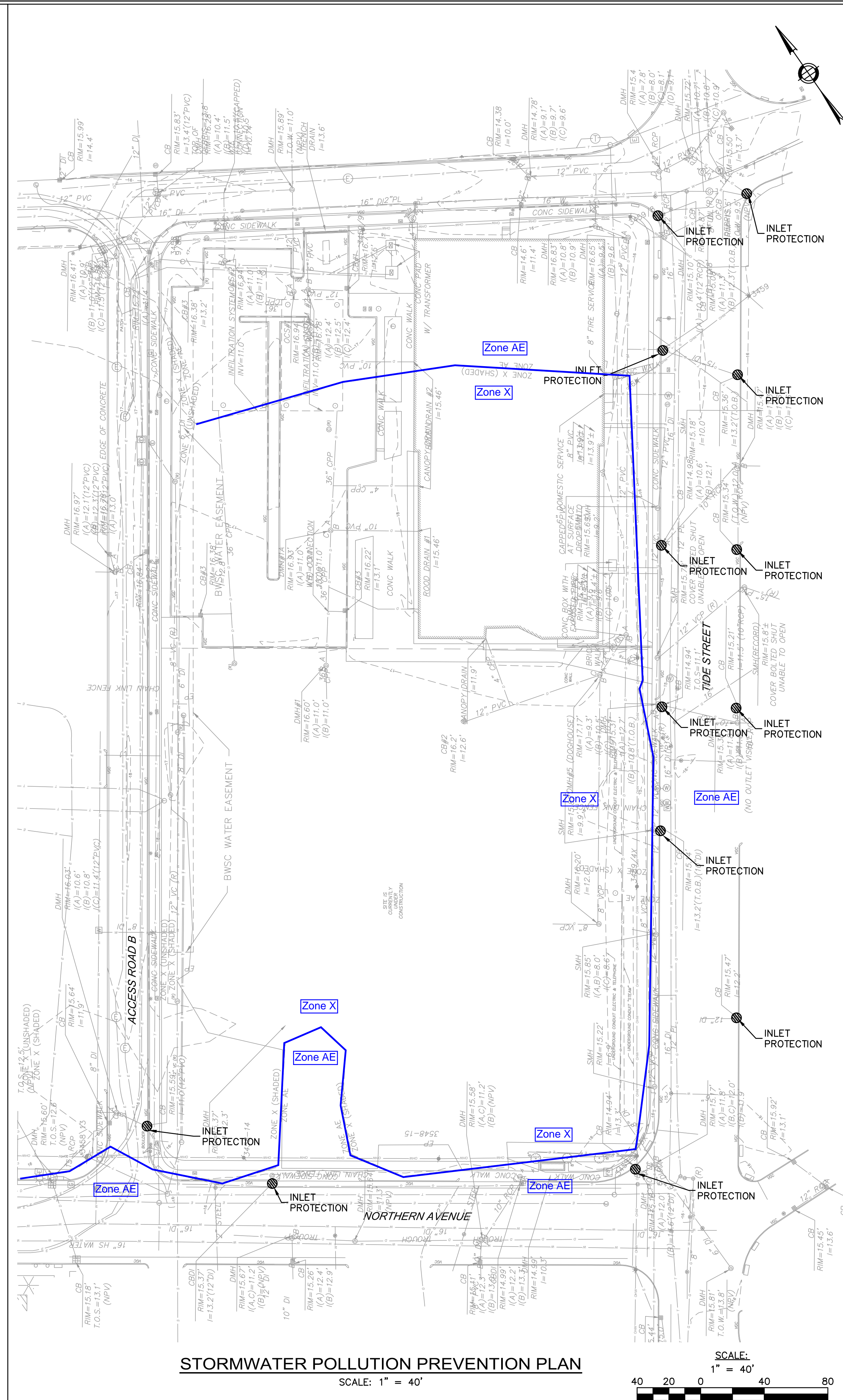
**NOTES:**

- END, GATE AND CORNER POSTS SHALL BE BRACED TO ADJACENT LINE POSTS. (MORE THAN 30° CHANGE IN DIRECTION CONSTITUTES A CORNER)
- FABRIC SHALL BE 0.148" GAUGE MIN. WIRE, WOVEN INTO APPROXIMATELY 2" DIAMOND MESH.
- ZINC-COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH PRIME WESTERN SPELTER OR EQUAL.
- ALUMINUM COATED STEEL FABRIC BASE METAL SHALL BE COATED WITH ALUMINUM ALLOY.
- LINE POSTS SHALL BE 2 1/2" O.D. END OR CORNER POSTS SHALL BE 3" O.D.
- THE CONTRACTOR IS RESPONSIBLE FOR SURFACE RESTORATION ONCE THE FENCE IS REMOVED.
- THE CONTRACTOR SHALL REMOVE AND DISPOSE OF THE TEMPORARY CONSTRUCTION FENCE AT THE CONCLUSION OF THE PROJECT.
- TEMPORARY FENCE SHALL HAVE FILTER FABRIC INSTALLED TO MEET SUPER SILT FENCE DETAIL.



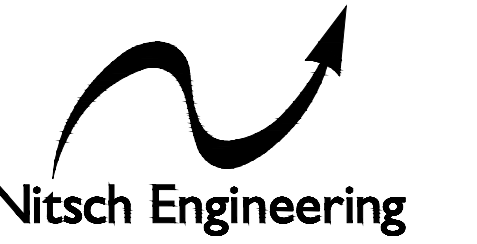
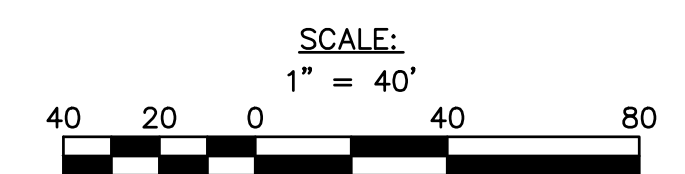
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS SHEET, OVERLAND OR CONCENTRATED FLOWS (NOT GREATER THAN 1 CFS). THE METHOD CAN DRAIN FLAT AREA TO STEEP SLOPES. INLET CAPACITY WILL BE DECREASED WITH THIS METHOD AND THE CONTRACTOR SHALL EXPECT PONDING DURING HIGH FLOW EVENTS.

**INLET PROTECTION CATCH BASIN W/ SILTATION SACK**  
NOT TO SCALE



**STORMWATER POLLUTION PREVENTION PLAN**

SCALE: 1" = 40'



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**STORMWATER POLLUTION PREVENTION PLAN AND DETAILS**

NORTHERN AVENUE AND TIDE STREET  
MARINE INDUSTRIAL PARK, SOUTH BOSTON, MA 02210

PREPARED FOR:  
RBK II TENANT, LLC  
C/O RELATED BEAL, 177 MILK STREET, BOSTON, MA 02109



100% CONSTRUCTION DOCUMENTS

NUMBER	REVISION	DATE
	100% CD REDESIGN	7/21/21

NITSCH PROJECT #: 11464.1  
FILE: 114641CSWPPP  
SCALE: AS SHOWN  
DATE: 03/31/2021  
PROJECT MANAGER: DMD  
SURVEYOR: BSC GROUP  
DRAFTED BY: DMD  
CHECKED BY: DMD

SHEET:

**C-200**



**TRAFFIC MANAGEMENT NOTES:**

- ALL TRAFFIC MANAGEMENT AND WORK ZONE TRAFFIC CONTROL MEASURES SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION WITH MASSACHUSETTS AMENDMENTS, THE STANDARD SPECIFICATIONS, THE PROJECT SPECIAL PROVISIONS, THE CITY OF BOSTON TRANSPORTATION DEPARTMENT (BTD) AND THE FOLLOWING NOTES.
- THE TRAFFIC MANAGEMENT PLANS CONTAINED HEREIN ARE GIVEN AS A GUIDE FOR TYPICAL WORK ZONE TRAFFIC CONTROL APPLICATIONS FOR THE TYPES OF WORK ANTICIPATED FOR THIS PROJECT. THEY ARE NOT INTENDED TO COVER ALL POSSIBLE CONSTRUCTION OPERATIONS WHICH THE CONTRACTOR MAY CHOOSE TO EMPLOY. WORK ZONE TRAFFIC CONTROL FOR OTHER CONSTRUCTION OPERATIONS OR OTHER TRAFFIC SITUATIONS IF APPLICABLE SHALL BE IN ACCORDANCE WITH THE MUTCD AND BTD AS APPROVED OR DIRECTED BY THE ENGINEER.
- NO CONSTRUCTION VEHICLES SHALL BE PARKED WITHIN THE TRAVEL WAY WITHOUT PROPER PROTECTION AND APPROVAL OF THE ENGINEER.
- TEMPORARY CONSTRUCTION SIGNING AND ALL OTHER TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF ANY WORK.
- ALL WARNING SIGNS SHALL BE BLACK LEGEND ON A REFLECTIVE ORANGE BACKGROUND AND IN ACCORDANCE WITH THE MUTCD. ALL REGULATORY SIGNS SHALL BE BLACK LEGEND ON A WHITE REFLECTIVE BACKGROUND. ALL CONSTRUCTION SIGNS SHALL BE ATTACHED TO THEIR OWN INDEPENDENT SUPPORTS UNLESS SHOWN OTHERWISE.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO AVOID PLACING TEMPORARY TRAFFIC CONTROL DEVICES ON PRIVATE PROPERTY. IF SUCH PLACEMENT ON PRIVATE PROPERTY IS UNAVOIDABLE, IT SHALL BE DONE WITH THE EXPLICIT APPROVAL OF THE PROPERTY OWNER AND THE ENGINEER.
- ABUTTER ACCESS SHALL NOT BE CLOSED EXCEPT FOR SHORT PERIODS AND ONLY WITH THE APPROVAL OF THE ENGINEER. THE CONTRACTOR SHALL NOTIFY EACH ABUTTER AT LEAST 24 HOURS IN ADVANCE OF THE START OF ANY WORK THAT WILL REQUIRE THE TEMPORARY CLOSURE OF ACCESS, SUCH AS CONDUIT INSTALLATION, EXISTING PAVEMENT EXCAVATION, TEMPORARY DRIVEWAY PAVEMENT PLACEMENT AND SIMILAR OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE IMMEDIATE ACCESS TO EMERGENCY VEHICLES AT ALL TIMES.
- GRADE DIFFERENCES IN EXCESS OF 2" DURING NON-WORKING HOURS WILL REQUIRE DELINEATION BY USE OF DRUMS.
- GRADE DIFFERENCES IN EXCESS OF 4" DURING NON-WORKING HOURS SHALL BE PROTECTED BY BACKFILLING WITH A TRANSITION OF GRAVEL OR OTHER MATERIAL TO BE COMPACTED AT A 4:1 SLOPE, AND DELINEATED BY DRUMS.
- CONSTRUCTION SIGNS NOT APPLICABLE TO VARIOUS STAGES OF CONSTRUCTION SHALL BE REMOVED OR COVERED.
- USE MA-W20-7b SIGNS ONLY WHEN POLICE OFFICER IS DIRECTING TRAFFIC. THEY SHALL BE TAKEN DOWN OR COVERED AT THE CLOSE OF EACH OPERATION.
- MAINTAIN PEDESTRIAN ACCESS THROUGH THE WORK AREA AT ALL TIMES. THE POLICE DETAIL SHALL PROVIDE CONTROL TO CROSS PEDESTRIANS ON ROADWAY TO SIDEWALK. PROVIDE TEMPORARY CROSSWALKS AND RAMPS AS NEEDED AND AS DIRECTED BY THE ENGINEER.
- ALL CONSTRUCTION SIGNING AND OTHER TRAFFIC MAINTENANCE DEVICES SHALL CONFORM WITH THE 2009 MUTCD AS AMENDED, NCHRP 350, MASH, BTD, AND MASSDOT STANDARDS.
- ADVANCE WARNING SIGNS NO LONGER APPLICABLE, WHICH MIGHT CREATE CONFUSION IN THE MINDS OF VEHICLE OPERATORS, SHALL EITHER BE COVERED OR REMOVED AS SOON AS POSSIBLE. NO SIGN SHALL BE VISIBLE TO TRAFFIC THAT MAY CONFLICT WITH ACTUAL ROADWAY CONDITIONS.
- ALL DISTANCES MAY BE ADJUSTED TO FIT FIELD CONDITIONS AS DIRECTED BY THE ENGINEER. HOWEVER, MINIMUM DISTANCES, WHERE INDICATED, SHOULD BE MAINTAINED.
- THE CONTRACTOR SHALL USE TEMPORARY PATCHING OR BEVELED STEEL PLATES TO COVER PIPE TRENCHES AND OTHER EXCAVATED HOLES NOT COMPLETED BY THE END OF EACH WORK DAY.
- ALL DRUMS WITH FLASHERS, SIGNS AND SIGN SUPPORTS MUST PASS THE CRITERIA SET FORTH IN NCHRP 350 AND MASH RECOMMENDED PROCEDURES FOR THE SAFETY EVALUATION OF HIGHWAY FEATURES.
- MINIMUM LANE WIDTH IS TO BE 11 FEET UNLESS OTHERWISE SHOWN. MINIMUM LANE WIDTH WILL BE MEASURED FROM THE EDGE OF DRUMS OR CONES.
- ORANGE CONSTRUCTION FLAGS MAY BE USED ON ADVANCE WARNING SIGNS AS DIRECTED BY THE ENGINEER. FLAGS SHALL BE A MINIMUM OF 16" X 16".
- MAINTAIN EXISTING PAVEMENT MARKINGS WHERE APPLICABLE. WHEN LANES SHIFT, IF NECESSARY, EXISTING MARKINGS SHALL BE REMOVED AND TEMPORARY PAVEMENT MARKING SHALL BE PROVIDED.
- AT THE END OF EACH WORK DAY, NO TRAFFIC CONTROL DEVICES SHALL REMAIN IN THE ROADWAY AND ALL LANES SHALL BE OPEN FOR TRAFFIC FLOW.
- THE CONTRACTOR MAY PROPOSE TO USE A DIFFERENT SEQUENCE OF WORK AREAS THAN WHAT IS BEING PROPOSED IN THESE DOCUMENTS. THE CONTRACTOR SHALL SUBMIT PHASING AND TRAFFIC MANAGEMENT PLANS FOR APPROVAL BY THE ENGINEER.
- MAXIMUM SPACING OF CHANNELIZING DEVICES IN A TAPER IS EQUAL IN FEET TO THE SPEED LIMIT IN MPH.
- CHANNELIZATION WILL BE ACCOMPLISHED THROUGH THE USE OF REFLECTORIZED PLASTIC DRUMS OR CONES.
- THE FIRST TEN DRUMS OF A TAPER SHALL HAVE SEQUENTIAL FLASHING LIGHTS.
- POLICE DETAIL SHALL BE USED WHILE SETTING UP THE TEMPORARY TRAFFIC CONTROL DEVICES ON THE ROADWAY.
- EACH WORK ZONE SHALL HAVE MA-R2-10a, MA-R2-10e, AND W-20 SERIES SIGNS WHERE APPLICABLE.
- POLICE DETAILS SHALL BE EMPLOYED AND SHALL BE SUBSTITUTED WITH CERTIFIED ROADWAY FLAGGERS AS DIRECTED BY THE ENGINEER AND PER SECTION 850 "TRAFFIC CONTROLS FOR CONSTRUCTION AND MAINTENANCE OPERATIONS" IN THE MASSDOT 2020 STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
- THE ADVISORY SPEED LIMIT, IF REQUIRED, SHALL BE DETERMINED BY THE ENGINEER.
- ALL DRIVEWAYS AND STREETS SHALL REMAIN OPEN AT ALL TIMES EXCEPT FOR SHORT PERIODS AS APPROVED BY THE ENGINEER.

**SUGGESTED WORK ZONE WARNING SIGN SPACING**

ROAD TYPE	DISTANCE BETWEEN SIGNS **		
	A	B	C
LOCAL OR LOW VOLUME ROADWAYS*	350 (100)	350 (100)	350 (100)
MOST OTHER ROADWAYS*	500 (150)	500 (150)	500 (150)
FREEWAYS AND EXPRESSWAYS*	1,000 (300)	1,500 (450)	2,640 (800)

\* ROAD TYPE TO BE DETERMINED BY MASSDOT OFFICE OF TRANSPORTATION PLANNING.

\*\* DISTANCES ARE SHOWN IN FEET (METERS). THE COLUMN HEADINGS A, B, AND C ARE THE DIMENSIONS SHOWN IN THE DETAIL/ TYPICAL SETUP FIGURES. THE A DIMENSION IS THE DISTANCE FROM THE TRANSITION OR POINT OF RESTRICTION TO THE FIRST SIGN. THE B DIMENSION IS THE DISTANCE BETWEEN THE FIRST AND SECOND SIGNS. THE C DIMENSION IS THE DISTANCE BETWEEN THE SECOND AND THIRD SIGNS. (THE "THIRD" SIGN IS THE FIRST ONE TYPICALLY ENCOUNTERED BY A DRIVER APPROACHING A TEMPORARY TRAFFIC CONTROL (TTC) ZONE.)

THE "THIRD" SIGN ABOVE IS TYPICALLY REFERRED TO AS AN "ADVANCE WARNING" SIGN ON THE TTCP SETUPS. THESE ADVANCE WARNING SIGNS ARE LOCATED PRIOR TO THE PROJECT LIMITS ON ALL APPROACHES (I.E. THE W20-1 SERIES (ROAD WORK XX FT) SIGNS), AND USUALLY REMAIN FOR THE DURATION OF THE PROJECT. ADDITIONAL SIGNS (I.E. "RIGHT LANE CLOSED 1 MILE" AND "LEFT LANE CLOSED 1 MILE") HAVE BEEN SHOWN IN SOME FIGURES AS EXAMPLES OF REINFORCEMENT SIGN PLACEMENT BUT ARE USED IN RARE OCCASIONS.

THE FIRST AND SECOND WARNING SIGNS ABOVE ARE REFERRED TO AS THE OPERATIONAL (DAY-TO-DAY) WORK ZONE SIGNS AND MAY BE MOVED DEPENDING ON WHERE THE SPECIFIC ROADWAY WORK FOR THAT DAY IS LOCATED.

R2-10a SIGNS SHALL BE PLACED BETWEEN THE SECOND AND THIRD SIGNS AS DESCRIBED ABOVE.

R2-10a, R2-10e, AND W20-1 SERIES SIGNS ARE TO BE INCLUDED ON ALL DETAILS/TYPICAL SETUPS.

**TAPER LENGTH CRITERIA FOR TEMPORARY TRAFFIC CONTROL ZONES**

TYPE OF TAPER	TAPER LENGTH (L)*
MERGING TAPER	AT LEAST L
SHIFTING TAPER	AT LEAST 0.5L
SHOULDER TAPER	AT LEAST 0.33L
ONE-LANE, TWO-WAY TRAFFIC TAPER	50 FT MIN.(15 m) 100 FT(30 m) MAX.
DOWNSTREAM TAPER	50 FT MIN.(15 m) 100 FT MAX.(30 m) PER LANE

**FORMULAS FOR DETERMINING TAPER LENGTHS**

SPEED LIMIT (S)	TAPER LENGTH (L) FEET
40 MPH OR LESS	$L = \frac{WS^2}{60}$
45 MPH OR MORE	$L = WS$

WHERE: L = TAPER LENGTH IN FEET

W = WIDTH OF OFFSET IN FEET

S = POSTED SPEED LIMIT, OR OFF-PEAK 85TH-PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED IN MPH (KM/H)

**STOPPING SIGHT DISTANCE AS A FUNCTION OF SPEED**

SPEED* (mph)	DISTANCE (ft)
20	115
25	155
30	200
35	250
40	305
45	360
50	425
55	495
60	570
65	645
70	730
75	820

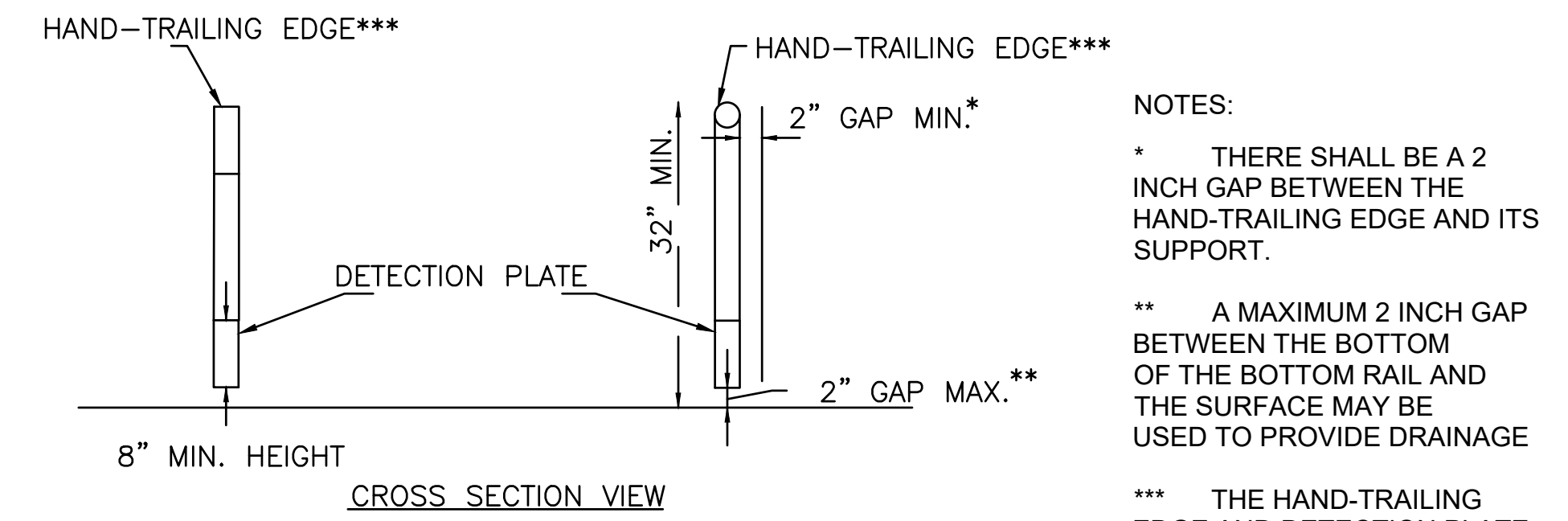
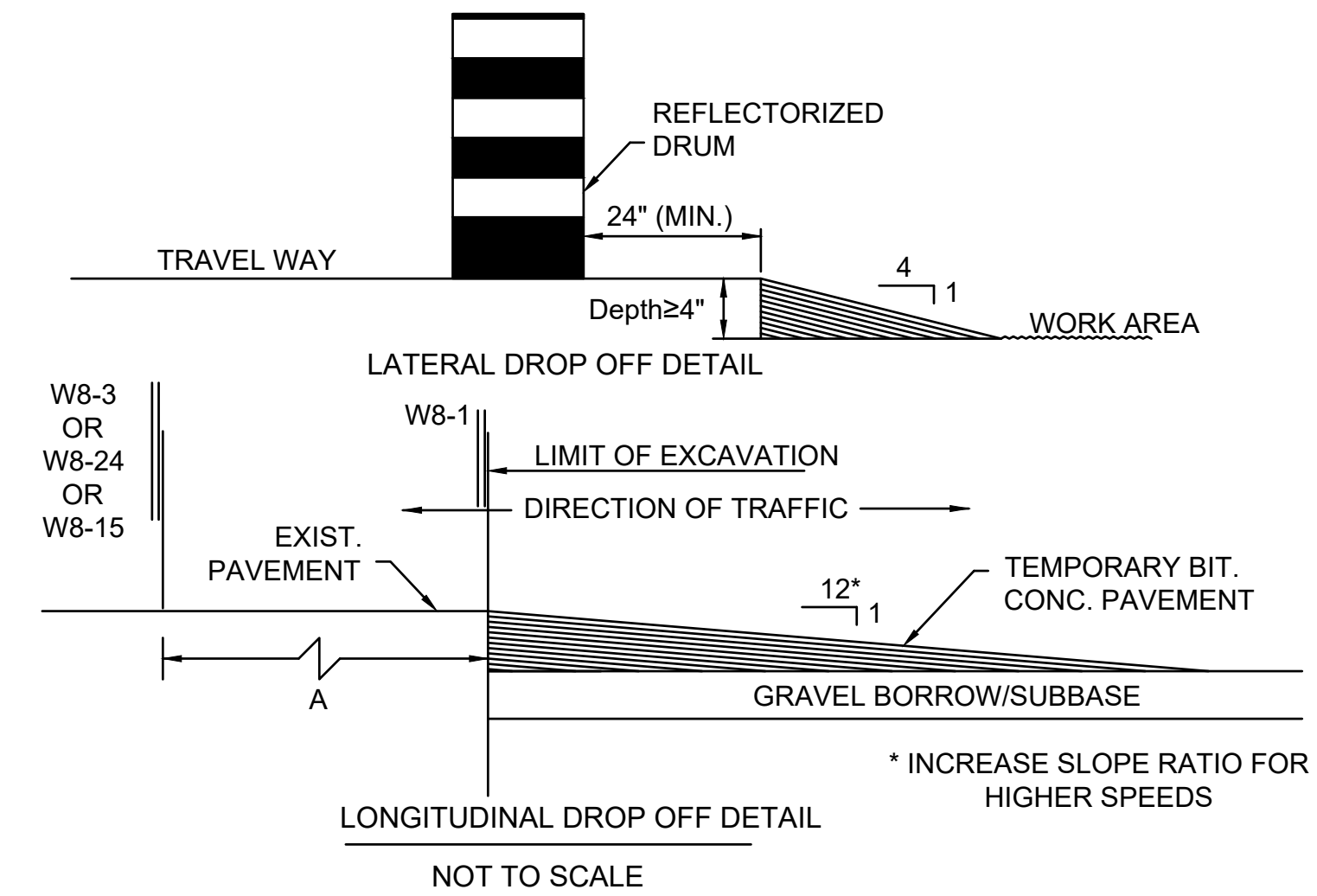
\*POSTED SPEED, OFF-PEAK 85TH-PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED

THESE VALUES MAY BE USED TO DETERMINE THE LENGTH OF LONGITUDINAL BUFFER SPACES.

THE DISTANCES IN THE ABOVE CHART REPRESENT THE MINIMAL VALUES FOR BUFFER SPACING.

**LEGEND:**

- REFLECTORIZED PLASTIC DRUM OR 36" CONE
- P/F POLICE/FLAGGER DETAIL
- TYPE III BARRICADE
- CHANGEABLE MESSAGE SIGN
- ARROW BOARD
- WORK ZONE
- DIRECTION OF TRAFFIC
- IMPACT ATTENUATOR
- MEDIAN BARRIER
- MEDIAN BARRIER WITH WARNING LIGHTS
- WORK VEHICLE
- TRUCK MOUNTED ATTENUATOR
- TRAFFIC OR PEDESTRIAN SIGNAL
- SIGN

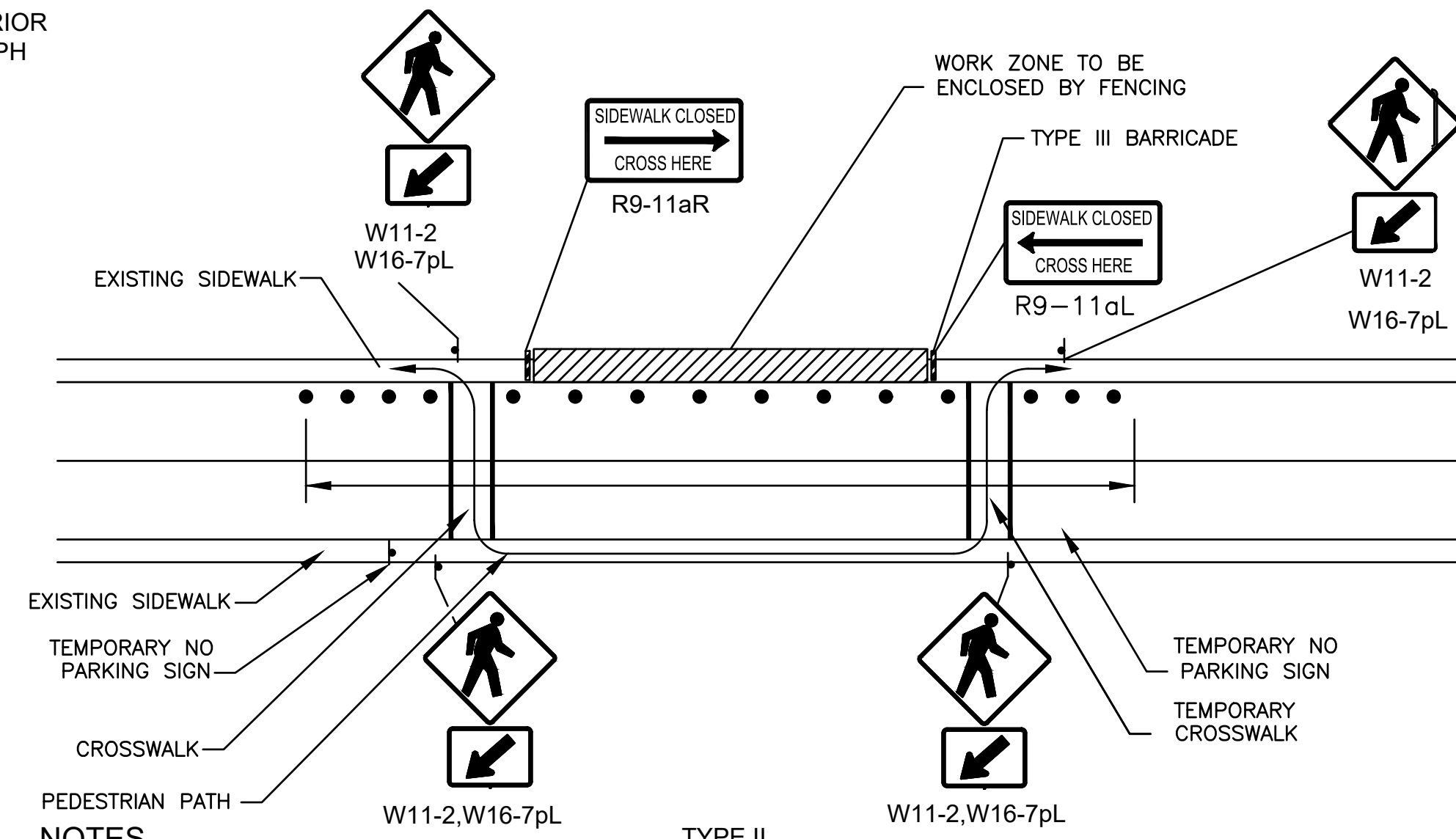


**NOTES:**

\* THERE SHALL BE A 2 INCH GAP BETWEEN THE HAND-TRAILING EDGE AND ITS SUPPORT.

\*\* A MAXIMUM 2 INCH GAP BETWEEN THE BOTTOM OF THE BOTTOM RAIL AND THE SURFACE MAY BE USED TO PROVIDE DRAINAGE

\*\*\* THE HAND-TRAILING EDGE AND DETECTION PLATE SHALL BE CONTINUOUS THROUGHOUT THE LENGTH OF THE PATH SUCH THAT A PEDESTRIAN USER WITH A LONG CANE CAN FOLLOW IT.

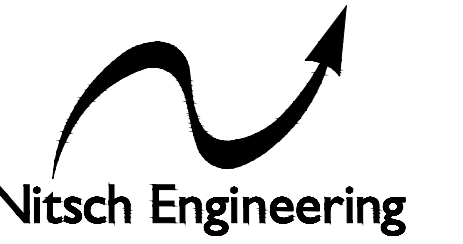


**NOTES**

- ADDITIONAL ADVANCE WARNING MAY BE NECESSARY.
- CONTROLS ONLY FOR PEDESTRIAN TRAFFIC ARE SHOWN. VEHICULAR TRAFFIC SHOULD BE HANDLED AS SHOWN ELSEWHERE.
- STREET LIGHTING SHOULD BE CONSIDERED WHEN LOCATING CONTROL DEVICES.
- IF THE WORK ZONE DOES NOT PERMIT PEDESTRIANS TO TRAVEL ADJACENT TO IT AS SHOWN IN PEDESTRIAN BYPASS TYPE I, TEMPORARY CROSSWALKS WITH APPROPRIATE SIGNS SHOULD BE INSTALLED TO CROSS PEDESTRIANS TO THE OPPOSITE SIDE OF THE STREET AS SHOWN IN PEDESTRIAN BYPASS TYPE II, AND AS DIRECTED BY THE ENGINEER. TEMPORARY CURB RAMPS WILL BE REQUIRED AT ALL TEMPORARY CROSSWALK LOCATIONS.
- THE TEMPORARY SIDEWALK SHOULD BE A MINIMUM OF 4 FEET WIDE. IF THIS WALKWAY EXCEEDS 200 FEET THEN A 5 FOOT X 5 FOOT PASSING ZONE. (FOR SHORT TERM SETUPS < 10 HOURS, THIS CONDITION MAY BE WAIVED. A NOTE WOULD NEED TO BE INCLUDED IN THE TTCP THAT STATES HOW THE CONTRACTOR SHOULD ADDRESS THIS ISSUE.)

PEDESTRIAN BY PASS

NOT TO SCALE



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**TRAFFIC MANAGEMENT PLAN 1**

NORTHERN AVENUE AND TIDE STREET  
MARINE INDUSTRIAL PARK, SOUTH BOSTON, MA 02210

PREPARED FOR:  
RBK II TENANT, LLC  
C/O RELATED BEAL, 177 MILK STREET, BOSTON, MA 02109



100% CONSTRUCTION DOCUMENTS

NUMBER	REVISION	DATE
100% CD REDESIGN		7/21/21

NITSCH PROJECT #:	11464.1
FILE:	11464.1T1MP
SCALE:	NOT TO SCALE
DATE:	03/31/2021
PROJECT MANAGER:	DMD
SURVEYOR:	BSC GROUP
DRAFTED BY:	DB
CHECKED BY:	BZ

SHEET:

**C-300**

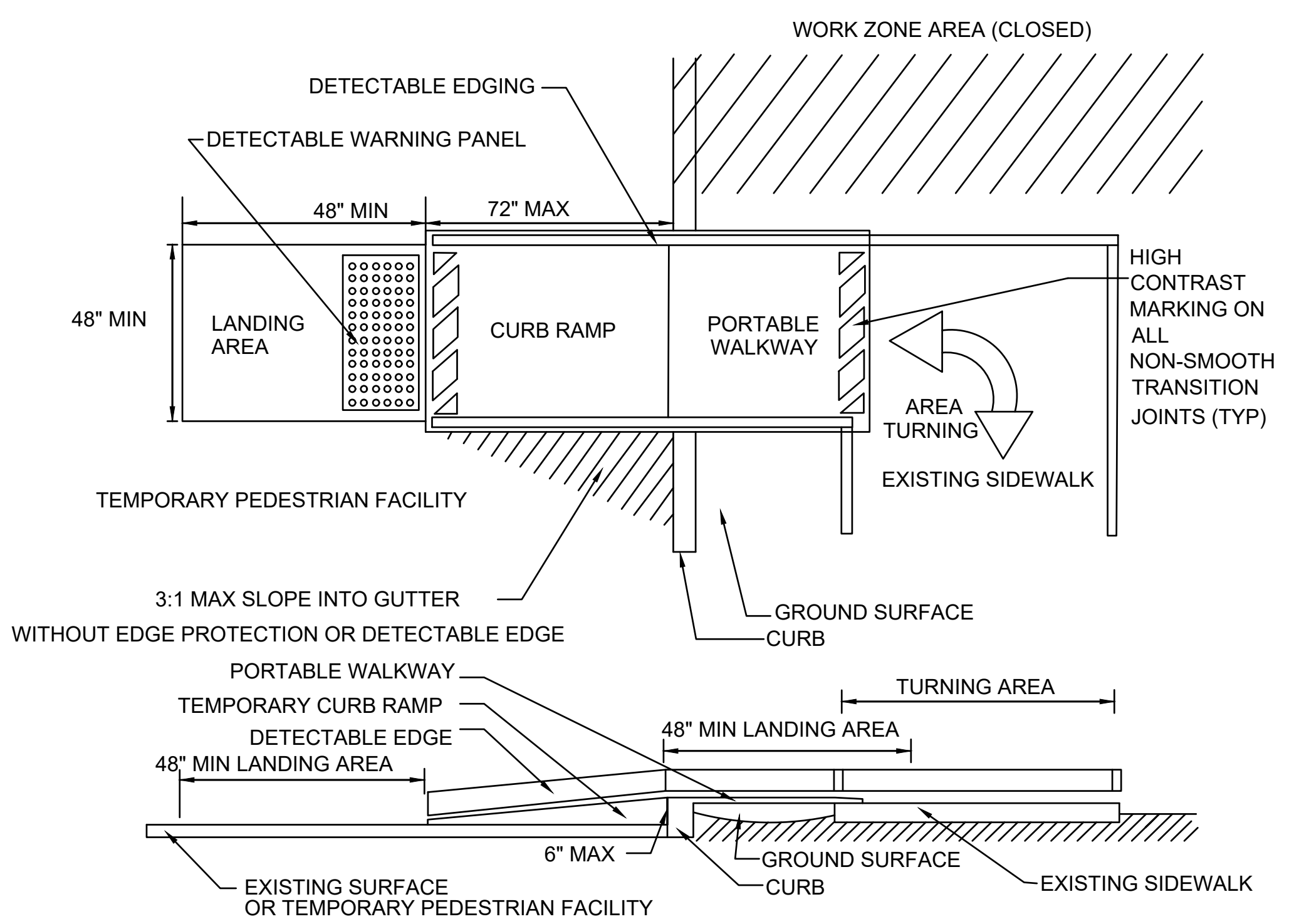




NUMBER	REVISION	DATE
	100% CD REDESIGN	7/21/21

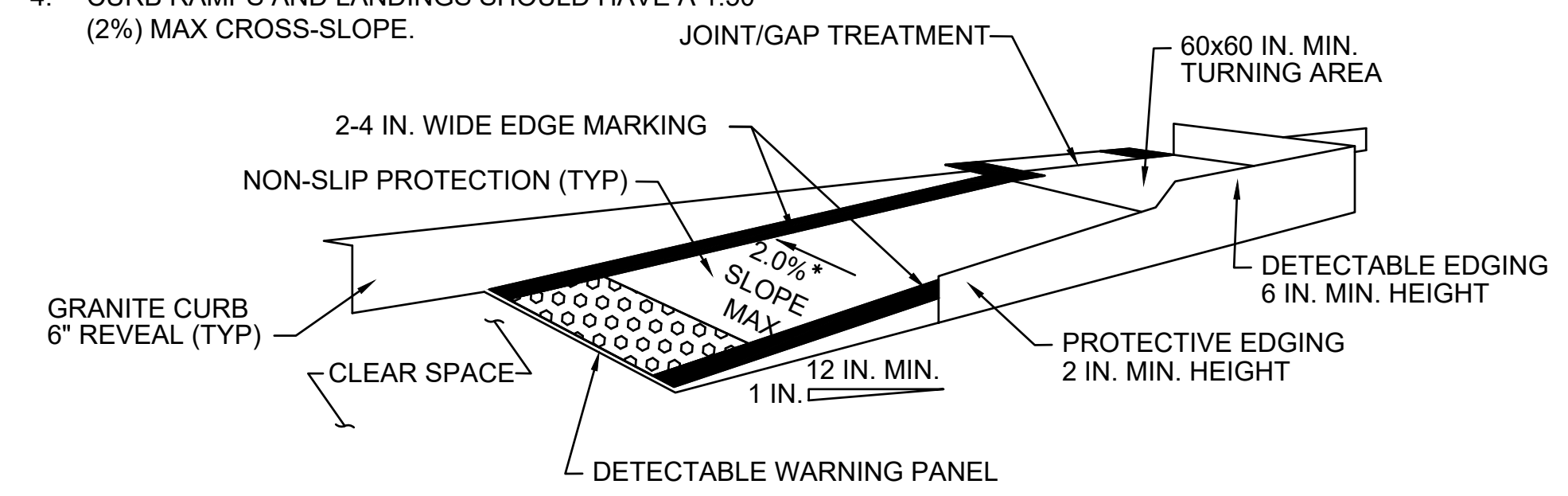
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 FILE: 11464.1TTMP  
 SCALE: NOT TO SCALE  
 DATE: 03/31/2021  
 PROJECT MANAGER: DMD  
 SURVEYOR: BSC GROUP  
 DRAFTED BY: DB  
 CHECKED BY: BZ

SHEET:

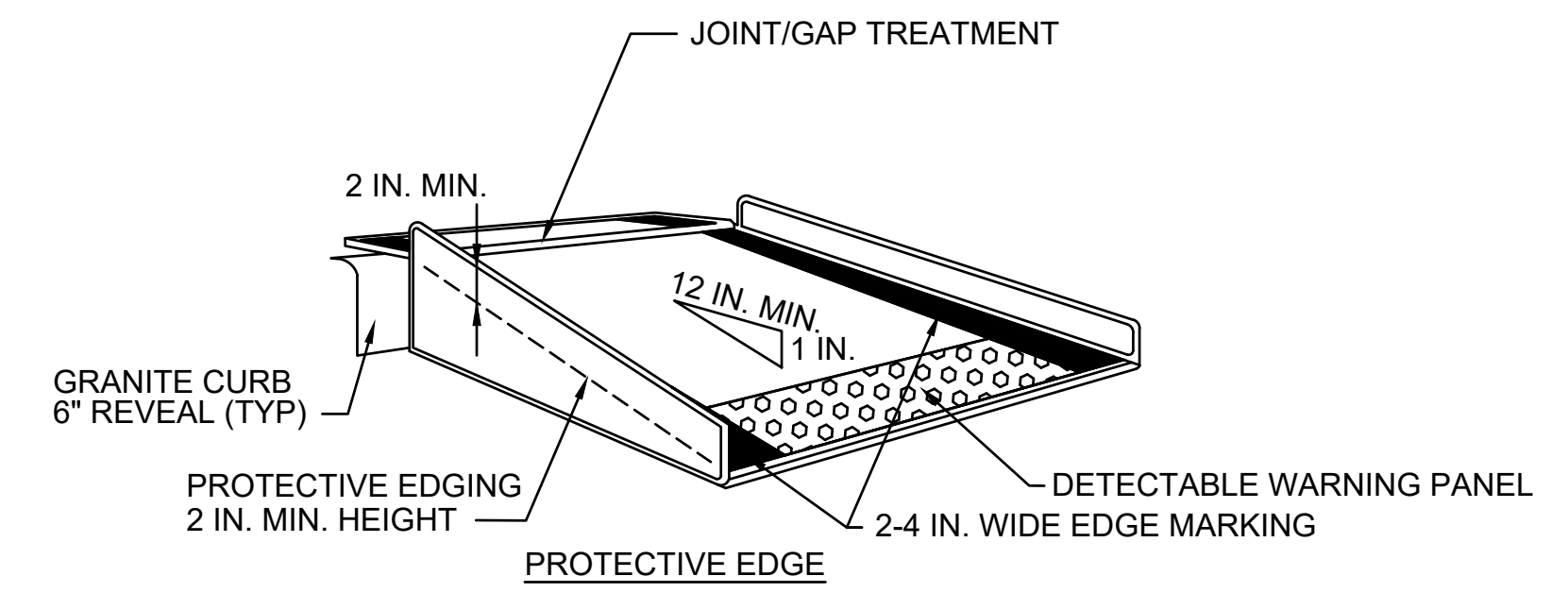


**TEMPORARY CURB RAMP-TYPE 2  
 PEDESTRIAN DETAILS**  
 NOT TO SCALE

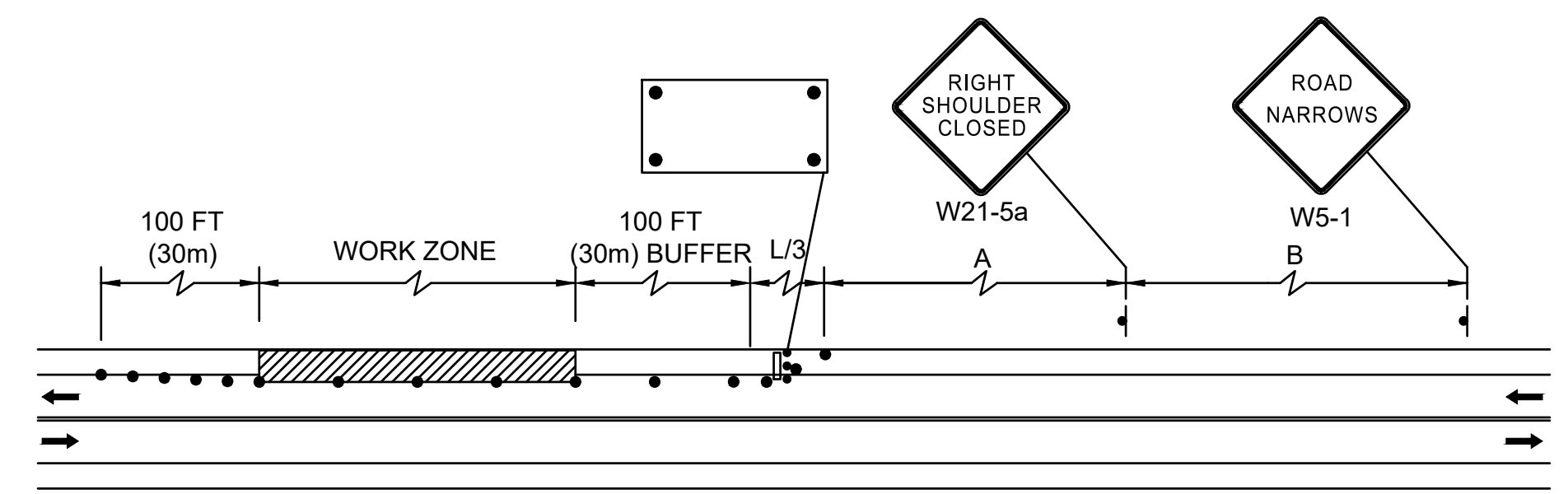
- NOTES:
- CURB RAMPS SHALL BE 60 IN. MINIMUM WIDTH WITH A FIRM, STABLE AND NON-SLIP SURFACE.
  - PROTECTIVE EDGING WITH A 2 IN. MINIMUM HEIGHT SHALL BE INSTALLED WHEN THE CURB RAMP OR LANDING PLATFORM HAS A VERTICAL DROP OF 6 IN. OR GREATER OR HAS A SIDE APRON SLOP STEEPER THAN 1:3 (33%). PROTECTIVE EDGING SHOULD BE CONSIDERED WHEN THE CURB RAMPS OR LANDING PLATFORMS HAVE A VERTICAL DROP OF 3 IN. OR MORE.
  - DETECTABLE EDGING WITH 6 IN. MINIMUM HEIGHT AND CONTRASTING COLOR SHALL BE INSTALLED ON ALL CURB RAMP LANDINGS WHERE THE WALKWAY CHANGES DIRECTION (TURNS).
  - CURB RAMPS AND LANDINGS SHOULD HAVE A 1:50 (2%) MAX CROSS-SLOPE.
  - CLEAR SPACE OF 48x48 IN. MINIMUM SHALL BE PROVIDED ABOVE AND BELOW THE CURB RAMP.
  - THE CURB RAMP WALKWAY EDGE SHALL BE MARKED WITH A CONTRASTING COLOR 2 TO 4 IN. WIDE MARKING. THE MARKING IS OPTIONAL WHERE COLOR CONTRASTING EDGING IS USED.
  - WATER FLOW IN THE GUTTER SYSTEM SHALL HAVE MINIMAL RESTRICTION.
  - LATERAL JOINTS OR GAPS BETWEEN SURFACES SHALL BE LESS THAN 0.5 IN. WIDTH.
  - CHANGES BETWEEN SURFACE HEIGHTS SHOULD NOT EXCEED 0.5 IN. LATERAL EDGES SHOULD BE VERTICAL UP TO 0.25 IN. HIGH, AND BEVELED AT 1:2 BETWEEN 0.25 IN. AND 0.5 IN. HEIGHT.



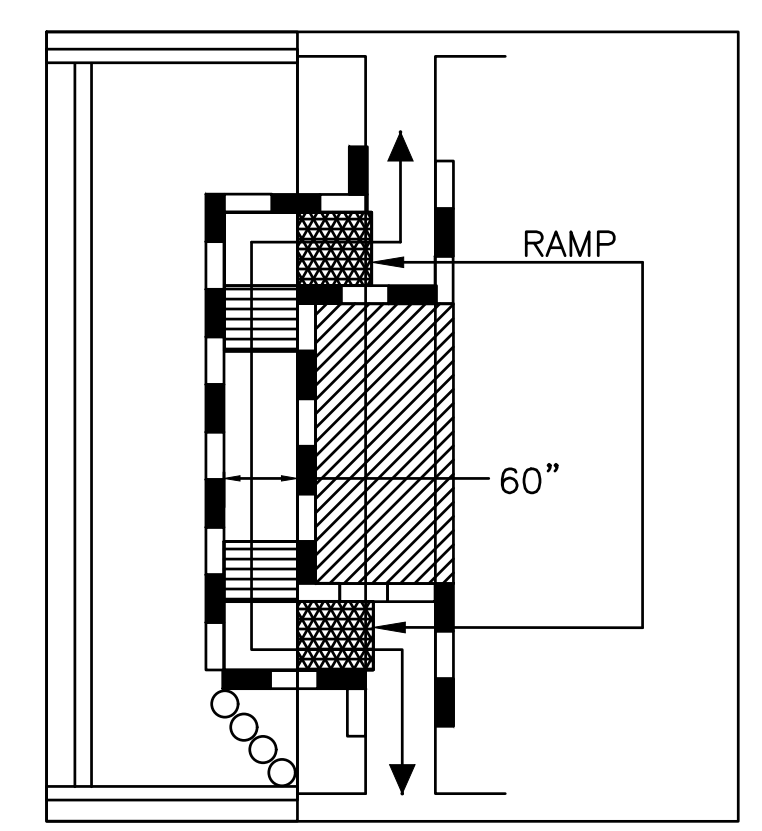
**TEMPORARY CURB RAMP-PARALLEL TO CURB  
 PEDESTRIAN DETAILS**



**TEMPORARY CURB RAMP-PERPENDICULAR TO CURB  
 PEDESTRIAN DETAILS**  
 NOT TO SCALE



**TWO LANE ROAD SHOULDER CLOSED**  
 NOT TO SCALE

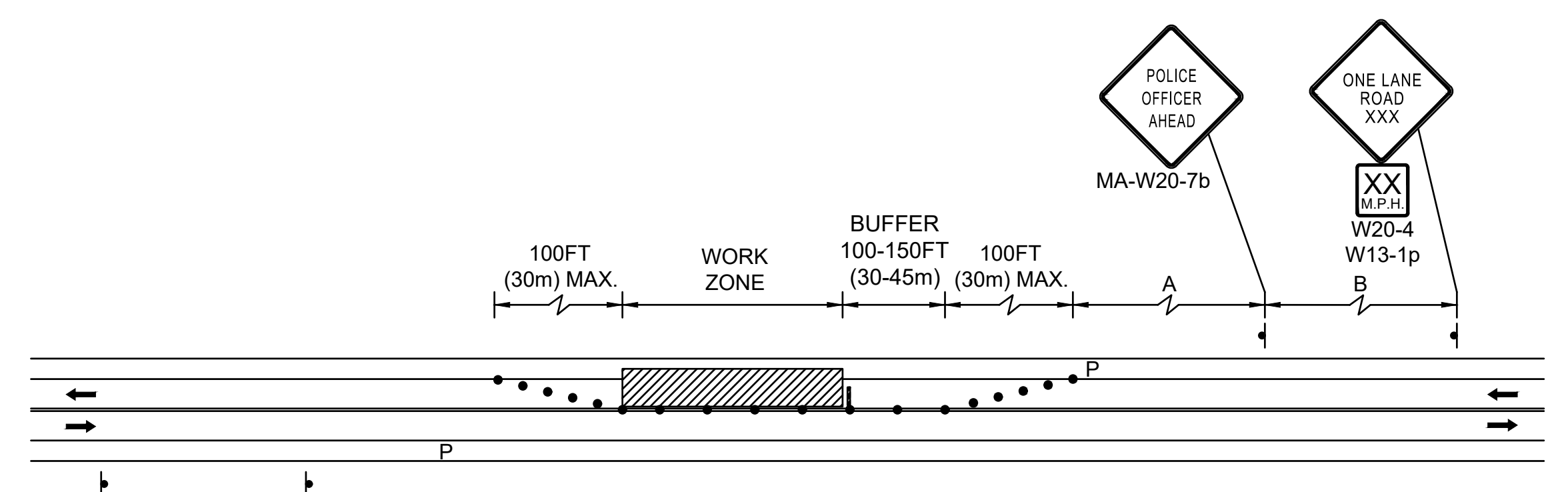


- WHEN EXISTING PEDESTRIAN FACILITIES ARE DISRUPTED, CLOSED, OR RELOCATED IN A TTC ZONE, TEMPORARY FACILITIES SHALL BE PROVIDED AND THEY SHALL BE DETECTABLE AND INCLUDE ACCESSIBILITY FEATURES CONSISTENT WITH THE FEATURES PRESENT IN THE EXISTING PEDESTRIAN FACILITY.
- A PEDESTRIAN CHANNELIZING DEVICE THAT IS DETECTABLE BY A PERSON WITH A VISUAL DISABILITY TRAVELING WITH THE AID OF A LONG CANE SHALL BE PLACED ACROSS THE FULL WIDTH OF THE CLOSED SIDEWALK.
- WHEN USED, TEMPORARY RAMPS SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT (SEE FIGURES PED-1 & PED-2).
- THE ALTERNATE PATHWAY SHOULD HAVE A SMOOTH CONTINUOUS HARD SURFACE FOR THE ENTIRE LENGTH OF THE TEMPORARY PEDESTRIAN FACILITY.
- THE PROTECTIVE REQUIREMENTS OF A TTC SITUATION HAVE PRIORITY IN DETERMINING THE NEED FOR TEMPORARY TRAFFIC BARRIERS AND THEIR USE IN THIS SITUATION SHOULD BE BASED ON ENGINEERING JUDGMENT.
- AUDIBLE INFORMATION DEVICES SHOULD BE CONSIDERED WHERE MIDBLOCK CLOSINGS AND CHANGED CROSSWALK AREAS CAUSE INADEQUATE COMMUNICATION TO BE PROVIDED TO PEDESTRIANS WHO HAVE VISUAL DISABILITIES.

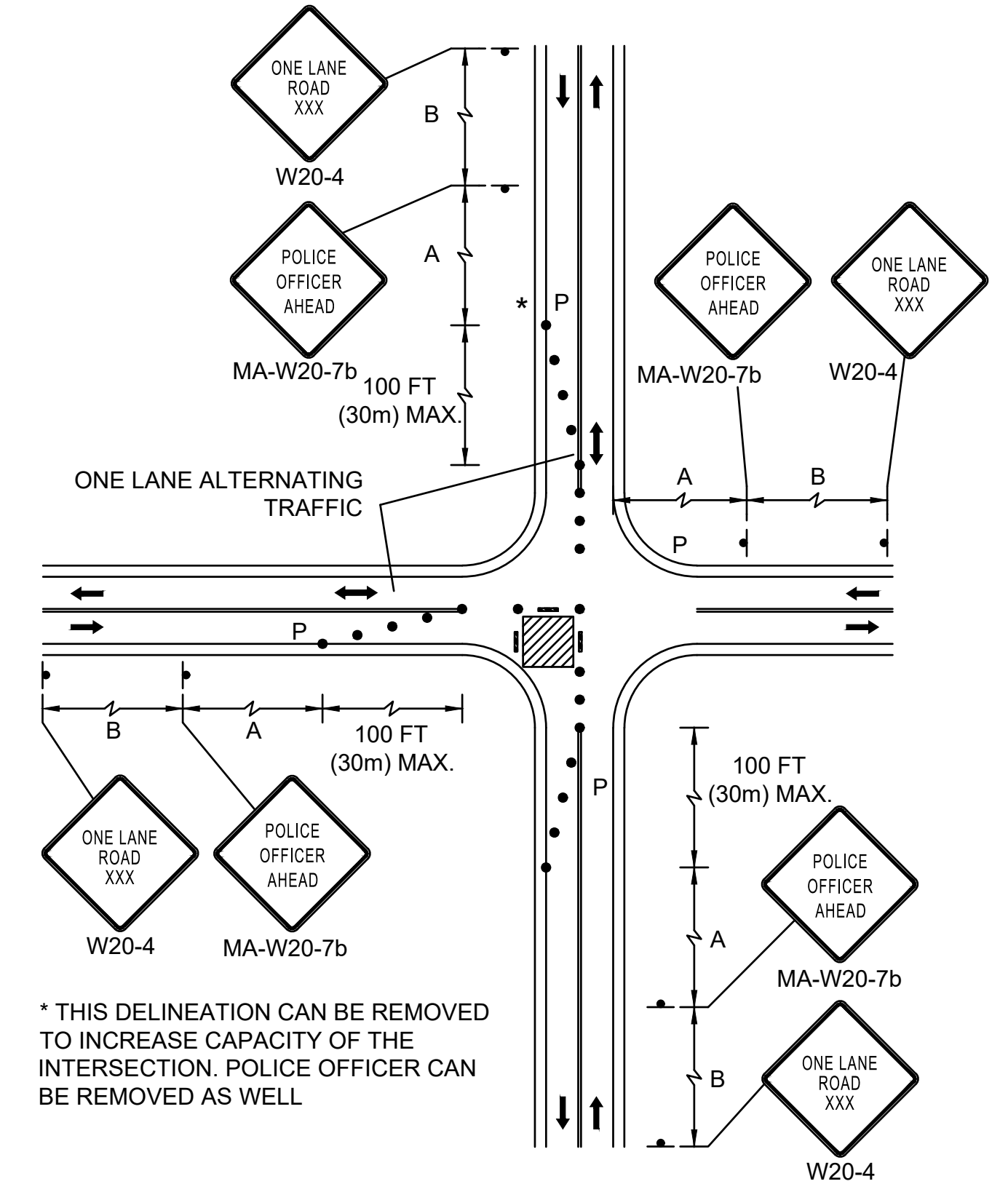
**AUDIBLE DEVICES**

FOR LONG TERM SIDEWALK CLOSURES (AT A MINIMUM OVERNIGHT) A FORM OF SPEECH MESSAGING FOR PEDESTRIANS WITH VISUAL DISABILITIES SHALL BE PROVIDED. AUDIBLE INFORMATION DEVICES SUCH AS DETECTABLE BARRIERS OR BARRICADES AND OTHER PASSIVE PEDESTRIAN ACTIVATION (MOTION ACTIVATED) DEVICES SHOULD BE CONSIDERED FOR THESE CASES. THESE AUDIBLE DEVICES CAN BE MOUNTABLE OR STAND ALONE.

**PEDESTRIAN DETAILS**  
 NOT TO SCALE



**TWO LANE ROAD ALTERNATING TRAFFIC**  
 NOT TO SCALE



**SINGLE LANE APPROACH ONE QUADRANT CLOSURE**  
 NOT TO SCALE

\* THIS DELINEATION CAN BE REMOVED TO INCREASE CAPACITY OF THE INTERSECTION. POLICE OFFICER CAN BE REMOVED AS WELL



**DEMOLITION NOTES:**

1. SITE PREPARATION AND DEMOLITION SHALL INCLUDE THOSE AREAS WITHIN THE LIMIT OF WORK LINE AS SHOWN ON THE CONTRACT DOCUMENTS.
2. ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING DEMOLITION.
4. THE CONTRACTOR SHALL COORDINATE SITE DEMOLITION EFFORTS WITH ALL TRADES THAT MAY BE AFFECTED BY THE WORK.
5. ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS OR FOUNDATIONS AS REQUIRED TO FACILITATE CONSTRUCTION, AND LEGALLY DISPOSED OF OFFSITE BY CONTRACTOR.
6. UTILITY PIPES DESIGNATED TO BE ABANDONED IN PLACE SHALL BE PLUGGED AT THEIR ENDS WITH WATERTIGHT BRICK MASONRY OR CEMENT MORTAR WITH A MINIMUM THICKNESS OF 8 INCHES.
7. UTILITY PIPES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE COMPLETE REMOVAL AND DISPOSAL OF THE ENTIRE LENGTH OF PIPE AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
8. UTILITY STRUCTURES DESIGNATED TO BE ABANDONED IN PLACE SHALL HAVE THEIR CAST IRON CASTINGS REMOVED AND DISPOSED, INLET AND OUTLET PIPES PLUGGED, THE BOTTOM OF THE STRUCTURES SHALL BE BROKEN, THE VOID OF THE STRUCTURES SHALL BE BACKFILLED AND COMPACTED TO 95% WITH ORDINARY BORROW OR FLOWABLE FILL, AND THE TOP OF THE STRUCTURE SHALL BE REMOVED SO THAT IT IS AT LEAST 36 INCHES BELOW FINISH GRADE.
9. UTILITY STRUCTURES DESIGNATED TO BE REMOVED SHALL CONSIST OF THE REMOVAL AND DISPOSAL OF CAST IRON CASTINGS, PLUGGING OF INLET AND OUTLET PIPES, REMOVAL OF THE STRUCTURE, AND BACKFILL AND 95% COMPACTION OF THE VOID WITH ORDINARY BORROW. WHEN THE VOID IS WITHIN THE FOOTPRINT OF THE NEW BUILDING, GRAVEL BORROW SHALL BE USED TO BACKFILL THE VOID.
10. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFFSITE.
11. AT ALL LOCATIONS WHERE EXISTING CURBING, CONCRETE PAVEMENT OR BITUMINOUS CONCRETE ROADWAY ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE.
12. EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, EROSION CONTROL, TREE PROTECTION, AND SITE WORK AS REQUIRED BY THESE DRAWINGS AND SPECIFICATIONS.
13. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL RUBBISH AND DEBRIS FOUND THEREON. STORAGE OF SUCH MATERIALS ON THE PROJECT SITE WILL NOT BE PERMITTED. THE CONTRACTOR SHALL LEAVE THE SITE IN SAFE, CLEAN, AND LEVEL CONDITION UPON COMPLETION OF THE SITE DEMOLITION WORK.
14. REMOVE AND STOCKPILE ALL EXISTING SITE LIGHTS, BENCHES, TRASH RECEPTACLES, TRAFFIC SIGNS, GRANITE CURB, AND OTHER SITE IMPROVEMENTS WITHIN LIMIT OF WORK LINE UNLESS OTHERWISE NOTED.
15. ALL EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE TIME OF CONSTRUCTION, AS SPECIFIED AND DIRECTED BY THE LANDSCAPE ARCHITECT.
16. BEFORE ANY TREES OR SHRUBS ARE REMOVED, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER OR OWNER'S REPRESENTATIVE TO IDENTIFY TREES AND SHRUBS THAT ARE TO BE REMOVED, AS WELL AS THOSE WHICH ARE TO BE PROTECTED. DO NOT COMMENCE CLEARING OPERATIONS WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
17. THE CONTRACTOR SHALL REMOVE FROM THE AREA OF CONSTRUCTION PAVEMENT, CONCRETE, CURBING, POLES AND FOUNDATIONS, ISLANDS, TREE BERMS AND OTHER FEATURES WITHIN THE LIMITS OF CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION WHETHER SPECIFIED ON THE DRAWINGS OR NOT.

**CITY OF BOSTON STREET LIGHTING NOTES:**

1. ALL CITY OF BOSTON PUBLIC STREET LIGHT POLE INSTALLATIONS SHALL MEET THE CITY OF BOSTON, PUBLIC WORKS DEPARTMENT, STREET LIGHTING SECTION STANDARD SPECIFICATIONS AND DETAILS.
2. PROPOSED STREET LIGHT LOCATIONS REQUIRE A CITY OF BOSTON STANDARD LIGHT POLE BASE, LIGHT POLE, LAMP, CONDUIT, CABLING & COMPOSITE PULLBOX, UNLESS OTHERWISE NOTED.
3. STREET LIGHTING CONDUIT RUNNING FROM THE LIGHT POLE TO PULLBOX SHALL BE 2" PVC.
4. STREET LIGHTING CONDUIT RUNNING FROM PULLBOX TO PULLBOX SHALL BE 3" PVC.
5. STREET LIGHTING CONDUIT RUNNING UNDER ROADWAYS, DRIVEWAYS, OR OTHER VEHICULAR TRAVELED SURFACES SHALL BE CONCRETE ENCASED.
6. REMOVE AND RETURN EXISTING CITY OF BOSTON LIGHTS WITHIN THE LIMIT OF WORK TO THE CITY OF BOSTON, UNLESS OTHERWISE NOTED.
9. EXISTING CITY OF BOSTON STREET LIGHT POLES AND LUMINARIES TO BE REPLACED SHALL BE PROTECTED, REMOVED & RETURNED TO THE CITY OF BOSTON STREET LIGHTING SECTION.
10. ALL EXISTING PULLBOXES TO BE REUSED SHALL BE CLEANED OUT AND THE FRAME AND COVER SHALL BE REPLACED WITH A STANDARD CITY OF BOSTON COMPOSITE PULLBOX.
11. STREET LIGHT LOCATIONS NEED TO BE APPROVED BY THE CITY OF BOSTON PRIOR TO INSTALLATION FOR COORDINATION ONLY. STREET LIGHT LOCATIONS SHOWN FOR COORDINATION ONLY.
12. THE CONTRACTOR SHALL COORDINATE A FINAL INSPECTION WITH THE CITY OF BOSTON STREET LIGHTING SECTION AND APPROVAL/SIGN OFF FROM THE SECTION FOR THE INSTALLED STREET LIGHTS.
13. THE CONTRACTOR SHALL CONFIRM STREET LIGHTS ARE CONNECTED TO THE CITY OF BOSTON STREET LIGHTING POWER SOURCE AND OPERATE ACCORDING TO CITY OF BOSTON STREET LIGHTING STANDARD SPECIFICATIONS AT NIGHT.
14. FOR PRIVATE LIGHTING ON SITE AND PRIVATE WAYS, SEE LANDSCAPE ARCHITECT AND ELECTRICAL ENGINEER PLANS.

**EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS" PREPARED BY DEPARTMENT OF ENVIRONMENTAL PROTECTION, BUREAU OF RESOURCE PROTECTION, AND THE CURRENT NPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
2. MEANS OF EROSION AND SEDIMENT PROTECTION AS NOTED ON THE DRAWINGS INDICATE MINIMUM RECOMMENDED PROVISIONS. THE CONTRACTOR IS RESPONSIBLE FOR FINAL SELECTION AND PLACEMENT OF EROSION AND SEDIMENTATION CONTROLS BASED ON ACTUAL SITE CONDITIONS AND CONSTRUCTION CONDITIONS. ADDITIONAL MEANS OF PROTECTION SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED FOR CONTINUED OR UNFORESEEN EROSION PROBLEMS, OR AS DIRECTED BY CONTROLLING MUNICIPAL AUTHORITIES, AT NO ADDITIONAL EXPENSE TO THE OWNER.
3. AN EROSION CONTROL BARRIER SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED IN THE PLAN PRIOR TO COMMENCEMENT OF DEMOLITION OR CONSTRUCTION OPERATIONS.
4. SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF AND DURING ALL PHASES OF CONSTRUCTION AND BE CONSTRUCTED PRIOR TO AND IMMEDIATELY AFTER ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL ON THE SITE.
5. AFTER ANY SIGNIFICANT RAINFALL (GREATER THAN 0.25 INCHES OF RAINFALL WITHIN 24 HOURS), SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED FOR INTEGRITY. ANY DAMAGE SHALL BE CORRECTED IMMEDIATELY.
6. PERIODIC INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL STRUCTURES SHALL BE PROVIDED TO ENSURE THAT THE INTENDED PURPOSE IS ACCOMPLISHED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SEDIMENT LEAVING THE LIMIT OF WORK. SEDIMENT CONTROL MEASURES SHALL BE IN WORKING CONDITION AT THE END OF EACH WORKING DAY.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING SEDIMENT FROM ENTERING ANY STORM DRAINAGE SYSTEM AND FROM BEING CONVEYED TO ANY WETLAND RESOURCE AREA, PUBLIC WAYS, ABUTTING PROPERTY, OR OUTSIDE OF THE PROJECT LIMITS.
8. THE CONTRACTOR SHALL PROTECT ALL DRAINAGE SWALES AND GROUND SURFACES WITHIN THE LIMIT OF WORK FROM EROSION CONDITIONS. STRAW BALE, CRUSHED STONE OR EQUIVALENT CHECK DAMS ARE TO BE PROVIDED AT A MAXIMUM OF TWO HUNDRED (200) FOOT SPACING, OR LESS AS SITE-SPECIFIC CONDITIONS WARRANT, WITHIN ALL DRAINAGE SWALES AND DITCHES AND AT UPSTREAM SIDES OF ALL DRAINAGE INLETS.
9. ALL STOCK PILES SHALL BE PROTECTED AND LOCATED A MINIMUM OF 100' FROM EXISTING WETLAND RESOURCE AREAS & WITHIN THE LIMIT OF WORK.
10. ANY SEDIMENT TRACKED ONTO PAVED AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
11. ALL SEDIMENT RETAINED BY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE LEGALLY DISPOSED OF OFFSITE.
12. TEMPORARY DIVERSION DITCHES, PERMANENT DITCHES, CHANNELS, EMBANKMENTS, AND ANY DENUDEED SURFACE THAT WILL BE EXPOSED FOR A PERIOD OF 14 CALENDAR DAYS OR MORE SHALL BE CONSIDERED CRITICAL VEGETATION AREAS. THESE AREAS SHALL BE STABILIZED/PROTECTED WITH APPROPRIATE EROSION CONTROL MATTING OR OTHER EROSION CONTROL METHODS.
13. DUST SHALL BE CONTROLLED BY WATERING OR OTHER APPROVED METHODS AS DIRECTED BY THE PERMITTING AUTHORITY OR OWNER.
14. THE CONTRACTOR SHALL USE TEMPORARY SEEDING, MULCHING, OR OTHER APPROVED STABILIZATION MEASURES TO PROTECT EXPOSED AREAS DURING PROLONGED CONSTRUCTION OR OTHER LAND DISTURBANCE. STOCKPILES THAT WILL BE EXPOSED FOR LONGER THAN 14 DAYS SHALL BE STABILIZED.
15. THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EROSION AND SEDIMENT CONTROLS AT THE COMPLETION OF SITE CONSTRUCTION, BUT ONLY WHEN DIRECTED BY THE CITY/TOWN OF XXXX CONSERVATION AGENT. STABILIZE OR SEED BARE AREAS LEFT AFTER EROSION CONTROL REMOVAL.

**EARTH MOVING AND GRADING NOTES:**

1. CROSS SLOPES OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 1.5%.
2. RUNNING SLOPE OF ALL PEDESTRIAN WALKS SHALL NOT EXCEED 4.5% UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL EXERCISE CAUTION IN ALL EXCAVATION ACTIVITY DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES.
4. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED.
5. PITCH EVENLY BETWEEN CONTOUR LINES AND BETWEEN SPOT GRADES. SPOT GRADE ELEVATIONS TAKE PRECEDENCE OVER CONTOUR LINES.
6. ALL PROPOSED TOP OF CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB ELEVATIONS UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BLEND NEW GRADING SMOOTHLY INTO EXISTING GRADING AT LIMITS OF GRADING.
8. WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING PAVING WITH SMOOTH TRANSITION BETWEEN EXISTING AND NEW SURFACES.
9. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT OR OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
10. SURPLUS MATERIALS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF
11. ANY AREAS OUTSIDE OF THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED BY THE CONTRACTOR TO THE PRE-CONSTRUCTION CONDITION/GRADE AT NO COST TO THE OWNER.
12. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.

**GENERAL NOTES:**

1. TOPOGRAPHIC DATA, PROPERTY LINE INFORMATION, AND EXISTING SITE FEATURES WERE OBTAINED FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN", PREPARED BY BSC GROUP, DATED 02/26/2020.
2. FLOODPLAIN INFORMATION WAS OBTAINED FROM THE FLOOD INSURANCE RATE MAPS (FIRMS) NO. 2502C0081J AND 2502C0082J THE SITE IS IN ZONE AE.
3. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82, SECTION 40, AS AMENDED, WHICH STATES THAT NO ONE MAY EXCAVATE IN THE COMMONWEALTH OF MASSACHUSETTS EXCEPT IN AN EMERGENCY WITHOUT 72 HOURS NOTICE, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS, TO NATURAL GAS PIPELINE COMPANIES, AND MUNICIPAL UTILITY DEPARTMENTS THAT SUPPLY GAS, ELECTRICITY, TELEPHONE, OR CABLE TELEVISION SERVICE IN OR TO THE CITY OR TOWN WHERE THE EXCAVATION IS TO BE MADE. THE CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-DIG-SAFE.
4. THE CONTRACTOR SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, ALSO REFERRED TO AS JACKIE'S LAW, AS DETAILED IN SECTION 520 CMR 14.00 OF THE CODE OF MASSACHUSETTS REGULATIONS.
5. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, REGULATIONS AND SAFETY CODES IN THE CONSTRUCTION OF ALL IMPROVEMENTS.
6. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES ARE APPROXIMATE AND ALL UTILITIES MAY NOT BE SHOWN. PRESENCE AND LOCATIONS OF ALL UTILITIES WITHIN THE LIMIT OF WORK MUST BE DETERMINED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND CONTACTING THE CONTROLLING AUTHORITIES AND/OR UTILITY COMPANIES RELATIVE TO THE LOCATIONS AND ELEVATIONS OF THEIR LINES. THE CONTRACTOR SHALL KEEP A RECORD OF ANY DISCREPANCIES OR CHANGES IN THE LOCATIONS OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER AND NITSCH ENGINEERING. ANY DAMAGE RESULTING FROM THE FAILURE OF THE CONTRACTOR TO MAKE THESE DETERMINATIONS AND CONTACTS SHALL BE BORNE BY THE CONTRACTOR.
7. THE CONTRACTOR SHALL, THROUGHOUT CONSTRUCTION, TAKE ADEQUATE PRECAUTIONS TO PROTECT ALL WALKS, GRADING, SIDEWALKS AND SITE DETAILS OUTSIDE OF THE LIMIT OF WORK AS DEFINED ON THE DRAWINGS AND SHALL REPAIR AND REPLACE OR OTHERWISE MAKE GOOD AS DIRECTED BY THE ENGINEER OR OWNER'S DESIGNATED REPRESENTATIVE ANY SUCH OR OTHER DAMAGE SO CAUSED.
8. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.
9. PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SITE AND CONSTRUCTION DOCUMENTS TO DEVELOP A THOROUGH UNDERSTANDING OF THE PROJECT, INCLUDING ANY SPECIAL CONDITIONS AND CONSTRAINTS.
10. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH THE PROJECT SITE AND TO VERIFY ALL CONDITIONS IN THE FIELD AND REPORT DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER OR OWNER'S REPRESENTATION IMMEDIATELY.
11. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN ALL NECESSARY CONSTRUCTION PERMITS.
12. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ESTABLISHMENT AND USE OF ALL VERTICAL AND HORIZONTAL CONSTRUCTION CONTROLS.
13. ELEVATIONS REFER TO BOSTON CITY BASE.
14. THE CONTRACTOR SHALL COMPLY WITH THE ORDER OF CONDITIONS DATED XXXX XX, XXXX AND ISSUED BY THE XXXX CONSERVATION COMMISSION (DEP #XXX-XXX).
1. ALL UTILITY CONNECTIONS ARE SUBJECT TO THE APPROVAL OF, AND GRANTING OF PERMITS BY, THE LOCAL MUNICIPALITY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL PERMITS AND APPROVALS RELATED TO UTILITY WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING ALL PERMISSIONS FOR, AND FOR CONDUCTING ALL PREPARATIONS RELATED TO, WORK AFFECTING ANY UTILITIES WITHIN THE JURISDICTION OF ANY NON-MUNICIPAL UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO ELECTRIC, TELEPHONE, AND/OR GAS. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES, DEPARTMENTS, AND UTILITY COMPANIES, IN WRITING, AT LEAST 7 DAYS (OR PER UTILITY COMPANY REQUIREMENT) AND NOT MORE THAN 30 DAYS PRIOR TO ANY CONSTRUCTION.
3. THE CONTRACTOR SHALL MAINTAIN UTILITIES SERVICING BUILDINGS AND UTILITY PROVIDER SYSTEMS UNLESS THE INTERRUPTION OF SERVICE IS COORDINATED WITH THE UTILITY PROVIDER.
4. ALL WATER, SEWER, AND DRAIN WORK SHALL BE PERFORMED ACCORDING TO THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY.
5. TELECOMMUNICATIONS AND ELECTRIC SERVICES ARE TO BE DESIGNED BY EACH UTILITY COMPANY AND ARE SHOWN FOR LAYOUT INSTALLATION.
6. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES EXCEPT THOSE NOTED TO BE ABANDONED AND/OR REMOVED & DISPOSED OF.
7. ALL UTILITIES SHALL BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
8. ALL EXISTING AND PROPOSED MANHOLE FRAMES, COVERS, VALVES, CLEANOUTS, CASTINGS, ETC. SHALL BE RAISED TO FINISHED GRADE PRIOR TO FINAL GRADING AND PAVING CONSTRUCTION.
9. UTILITY POLES SHALL NOT BE REMOVED UNTIL APPROVED BY ELECTRICAL AND TELECOMMUNICATIONS PROVIDERS, AND THE OWNER.
10. ALL ELECTRICAL IMPROVEMENTS SHALL MEET EVERSOURCE DETAILS AND SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO:
  - 10.1. EVERSOURCE SPECIFICATION M1204 AND C3813
  - 10.2. UNDERGROUND ELECTRICAL CONDUITS SHALL BE PVC, TYPE "EB" ENCASED IN CONCRETE
  - 10.3. RISER POLES SHALL MEET EVERSOURCE STANDARD DETAILS AND SPECIFICATIONS
11. ALL STREET LIGHTING IMPROVEMENTS SHALL MEET THE CITY OF BOSTON PLANNING AND DEVELOPMENT AGENCY, ECONOMIC DEVELOPMENT INDUSTRIAL CORPORATIONS' (EDIC) STANDARDS AND SPECIFICATIONS.

**UTILITY NOTES:**

**PROPOSED LEGEND**

- LIMIT OF WORK
- 3" STREET LIGHTING CONDUIT
- ELECTRIC DUCTBANK
- MATCH LINE
- SAWCUT LINE
- DRAIN MANHOLE
- ELECTRIC MANHOLE
- STREET LIGHT PULLBOX
- STREET LIGHT

**ABBREVIATIONS**

- BC BOTTOM OF CURB ELEVATION
- CJ CONTROL JOINT
- CL CENTER LINE
- EHH ELECTRIC HANDHOLE
- EMH ELECTRIC MANHOLE
- HYD FIRE HYDRANT
- INV INVERT ELEVATION
- LF LINEAR FEET
- LOW LIMIT OF WORK
- LP LOW POINT
- P&M PROTECT & MAINTAIN
- N&M NOT IN CONTRACT
- OC ON CENTER
- PVC POLYVINYL CHLORIDE PIPE
- R&D REMOVE AND DISPOSE OF
- R&S REMOVE AND STOCKPILE
- RIM RIM ELEVATION
- SMH SEWER MANHOLE
- TC TOP OF CURB ELEVATION
- TMH TELECOM MANHOLE
- TOD TOP OF DUCT BANK
- TYP TYPICAL
- VGC VERTICAL GRANITE CURB
- ADA/MAAAB AMERICANS WITH DISABILITIES ACT/ MASSACHUSETTS ARCHITECTURAL ACCESS BOARD



**Nitsch Engineering**

[www.nitscheng.com](http://www.nitscheng.com)

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- Civil Engineering
- Land Surveying
- Transportation Engineering
- Structural Engineering
- Green Infrastructure
- Planning
- GIS

**NOTES, LEGEND, AND ABBREVIATIONS**  
 NORTHERN AVENUE AND TIDE STREET  
 MARINE INDUSTRIAL PARK, SOUTH BOSTON, MA 02210  
 PREPARED FOR:  
 RBK II TENANT, LLC  
 C/O RELATED BEAL, 177 MILK STREET, BOSTON, MA 02109



Nitsch #11464.1

100% CONSTRUCTION DOCUMENTS

NUMBER	REVISION	DATE
	100% CD REDESIGN	7/21/21
NITSCH PROJECT #:	11464.1	
FILE:	11464.1.CDT	
SCALE:	NOT TO SCALE	
DATE:	03/31/2021	
PROJECT MANAGER:	DMD	
SURVEYOR:	BSC GROUP	
DRAFTED BY:	WL	
CHECKED BY:	DMD	

SHEET:

C-400







- ▶ Civil Engineering
- ▶ Land Surveying
- ▶ Transportation Engineering
- ▶ Structural Engineering
- ▶ Green Infrastructure
- ▶ Planning
- ▶ GIS

CONSTRUCTION DETAILS 2  
 NORTHERN AVENUE AND TIDE STREET  
 MARINE INDUSTRIAL PARK, SOUTH BOSTON, MA 02210

PREPARED FOR:  
 RBK II TENANT, LLC  
 C/O RELATED BEAL, 177 MILK STREET, BOSTON, MA 02109



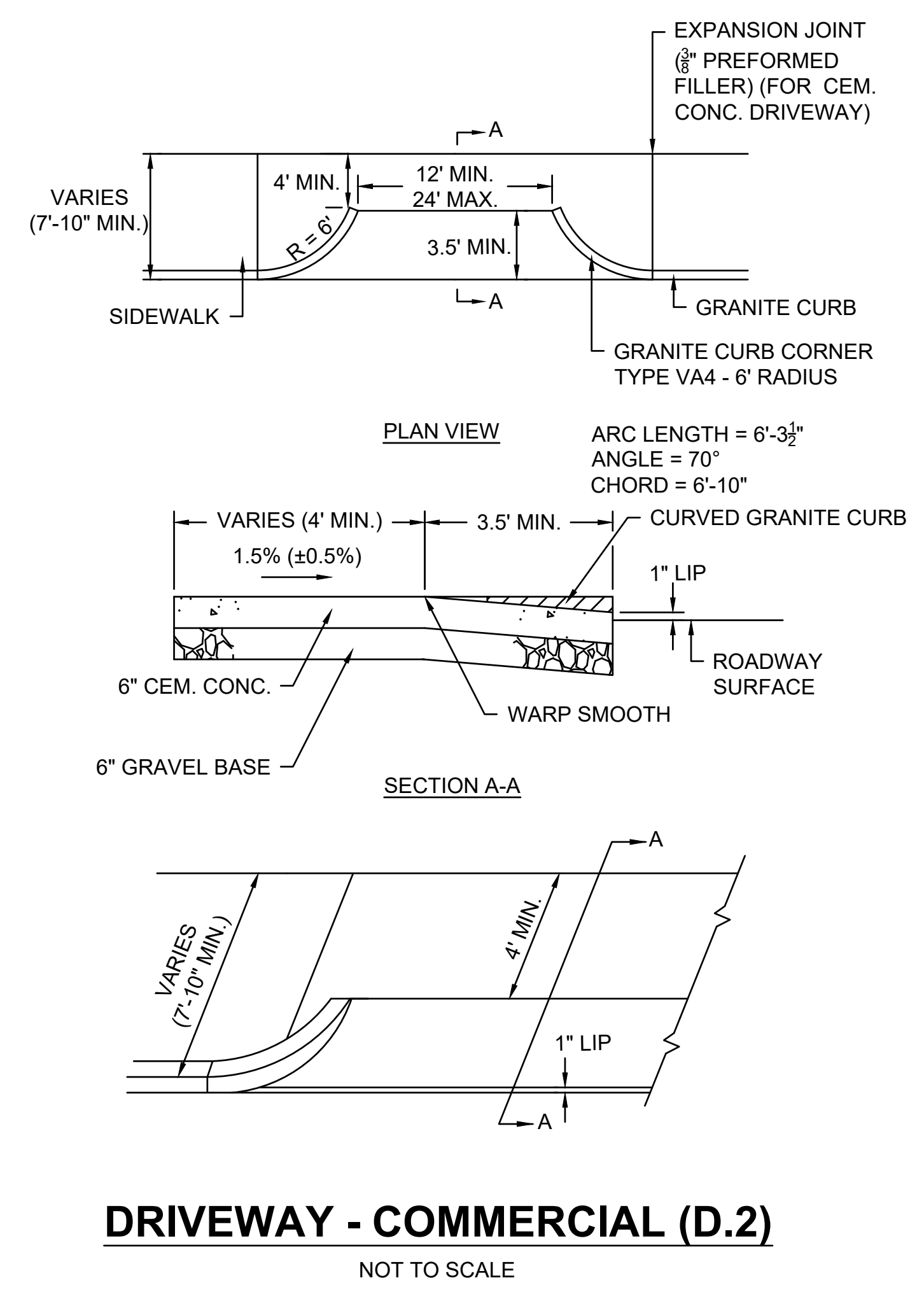
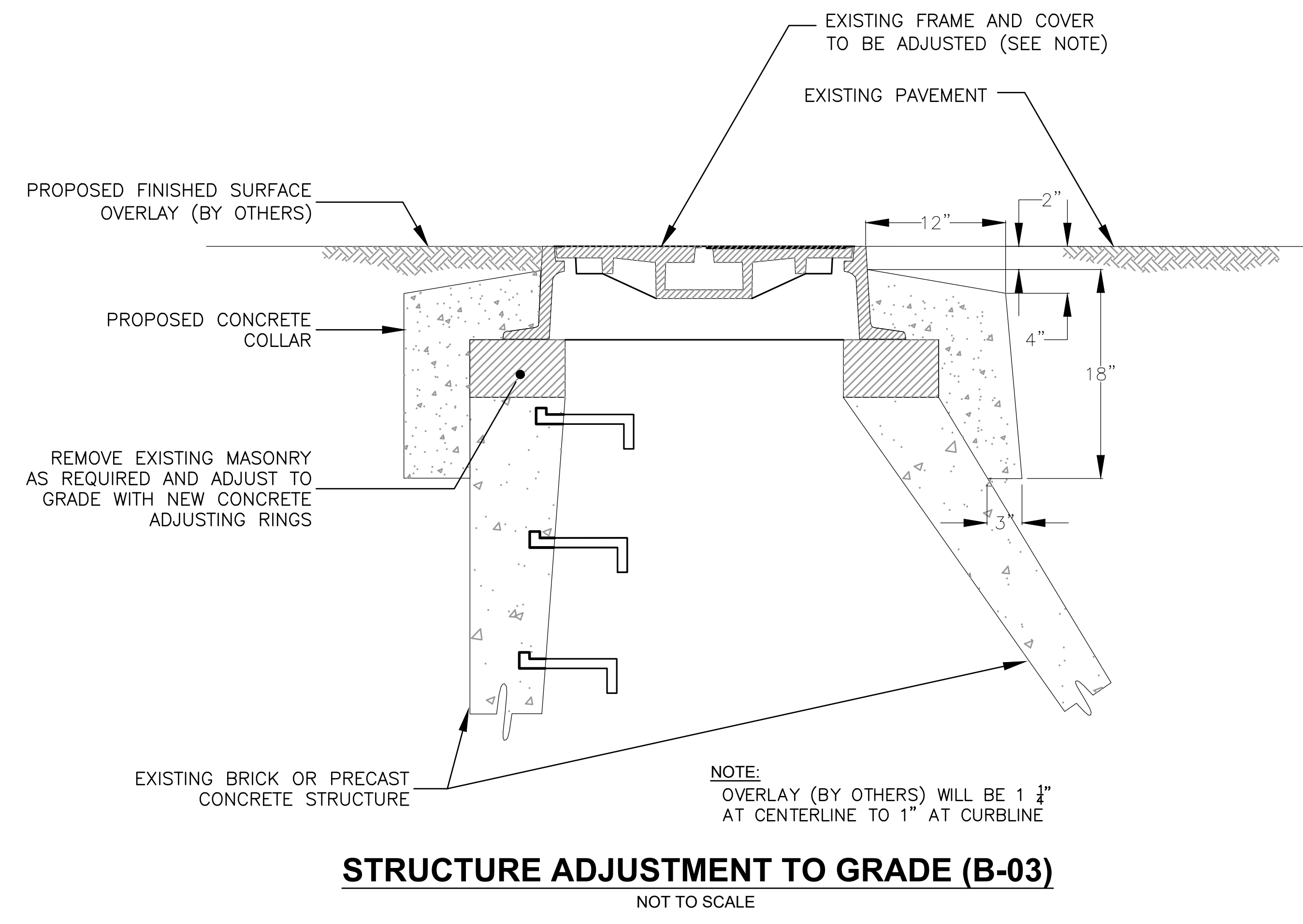
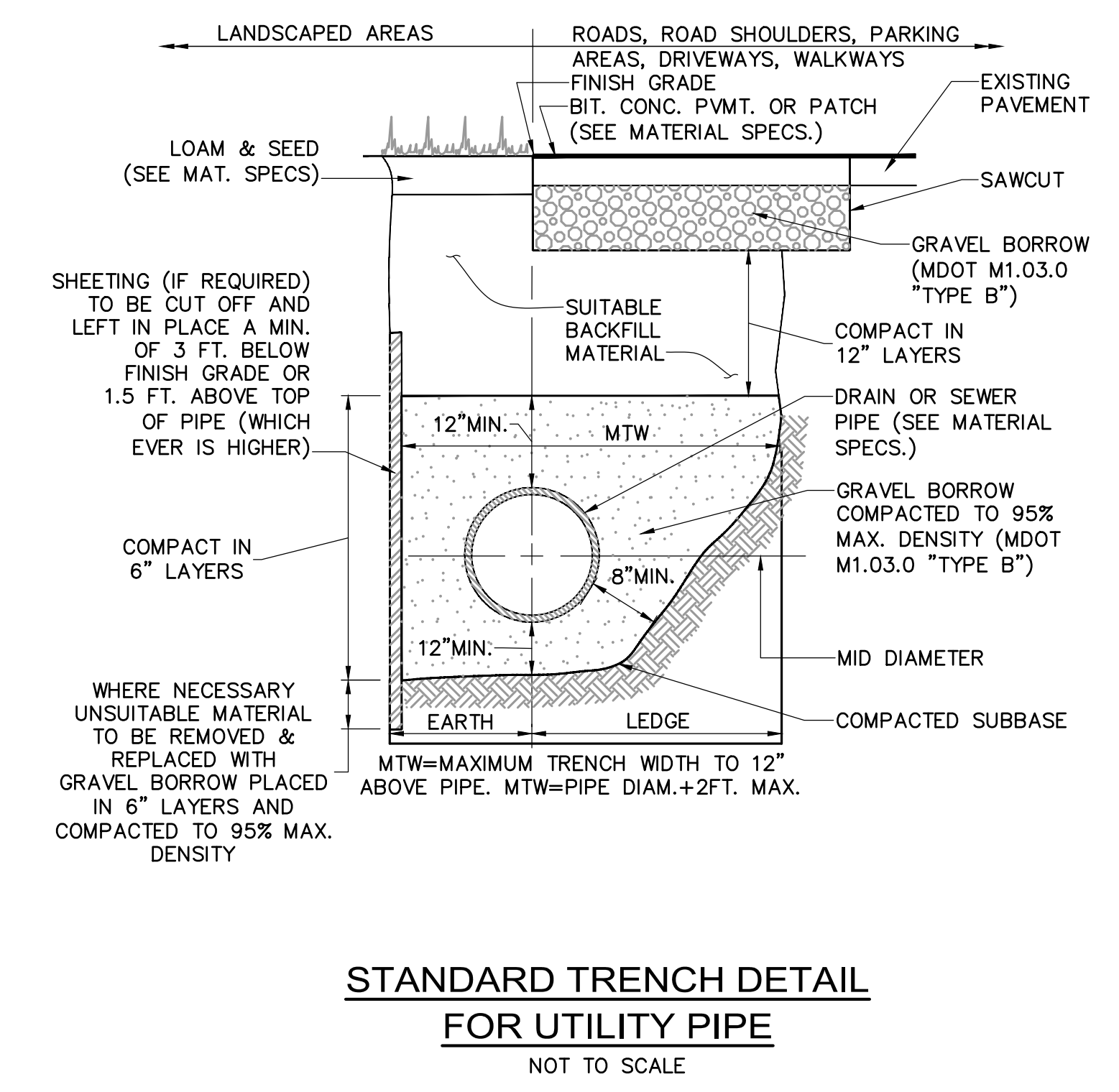
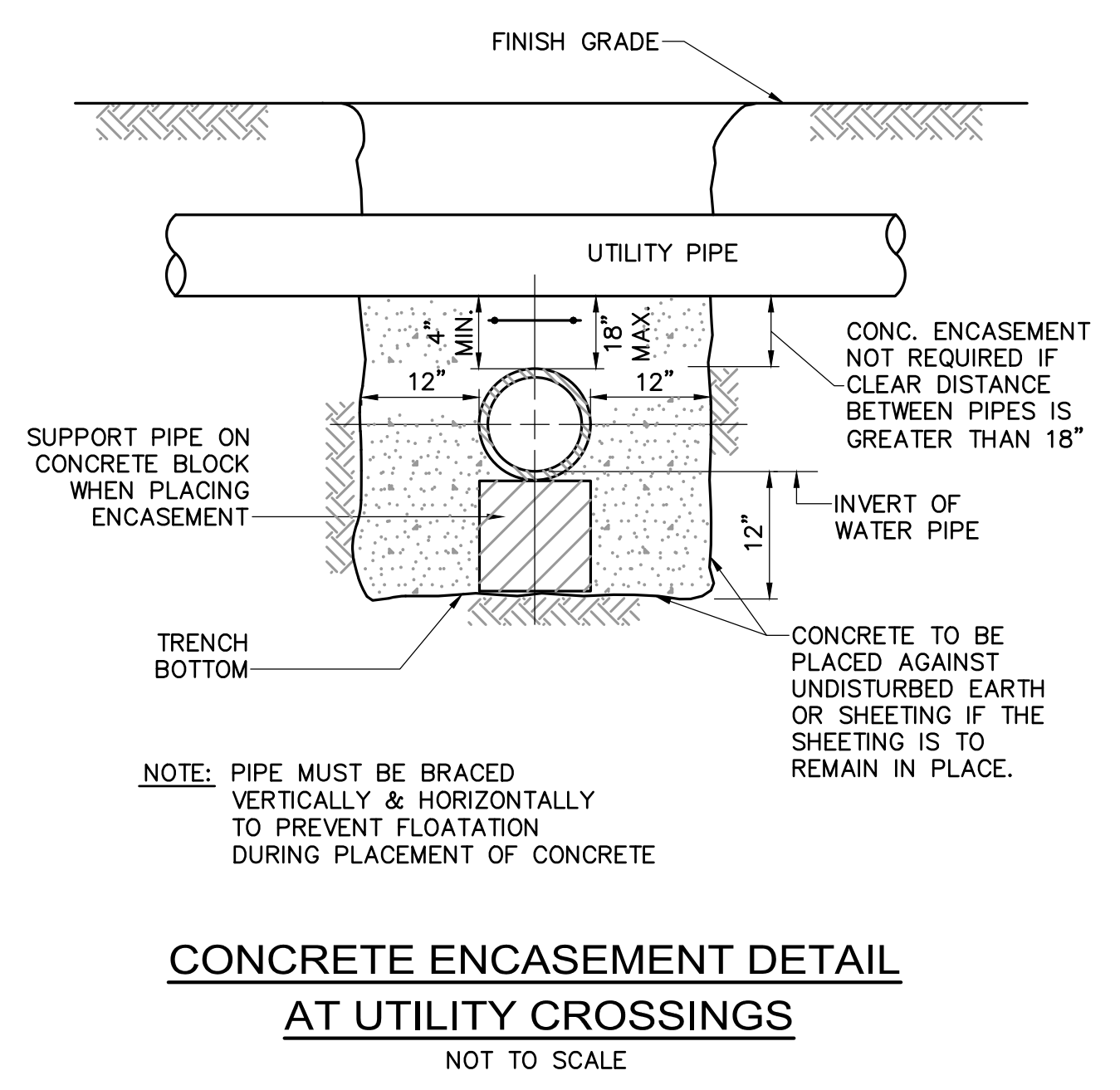
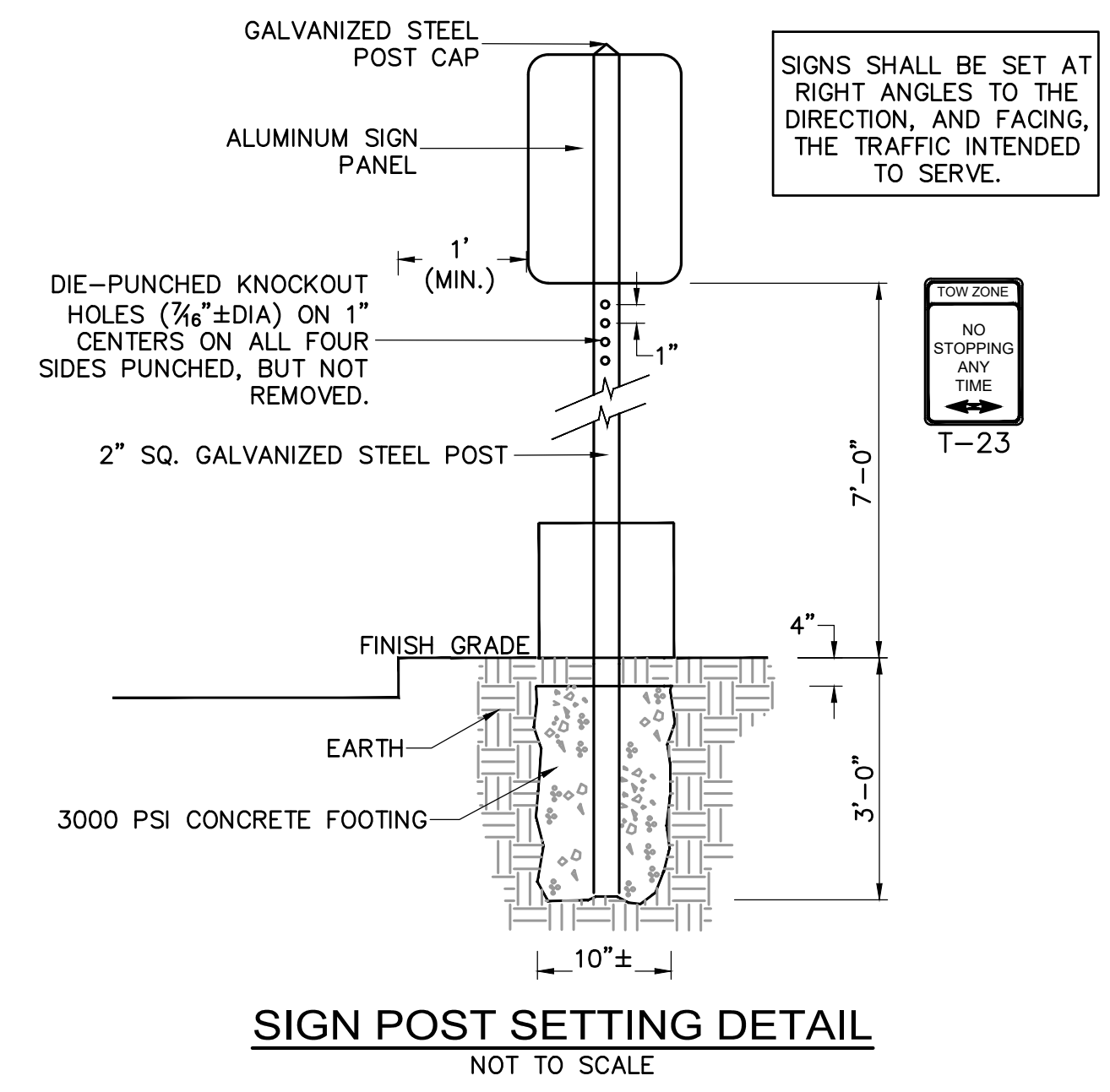
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NUMBER	REVISION	DATE

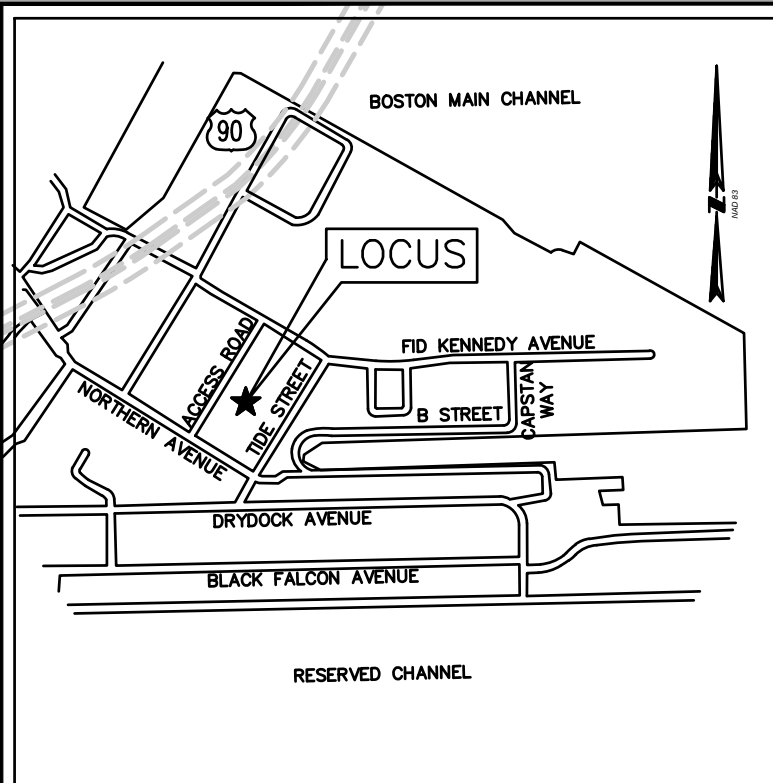
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 FILE: 11464.1.CDT  
 SCALE: NOT TO SCALE  
 DATE: 03/31/2021  
 PROJECT MANAGER: DMD  
 SURVEYOR: BSC GROUP  
 DRAFTED BY: WL  
 CHECKED BY: DMD

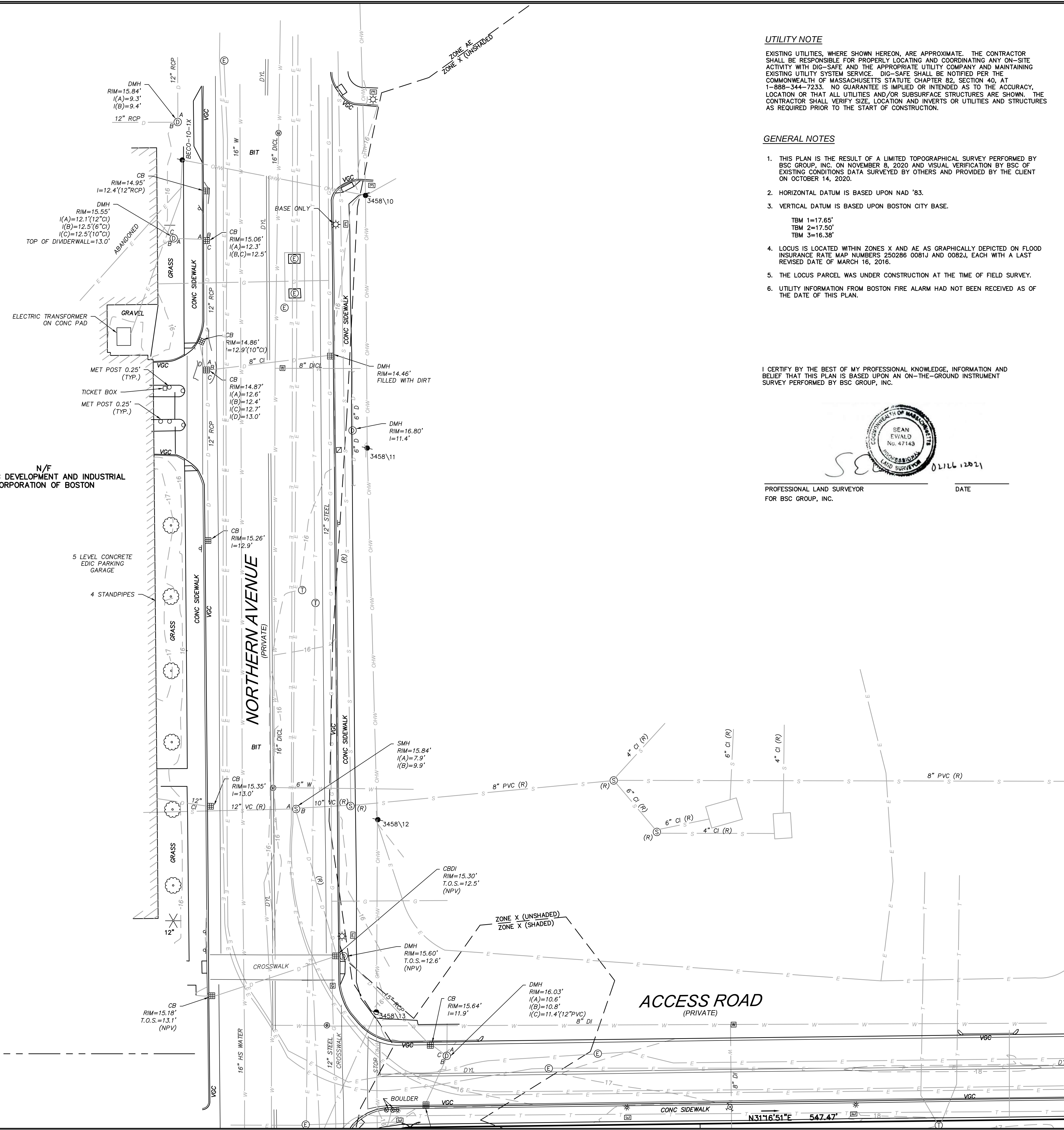
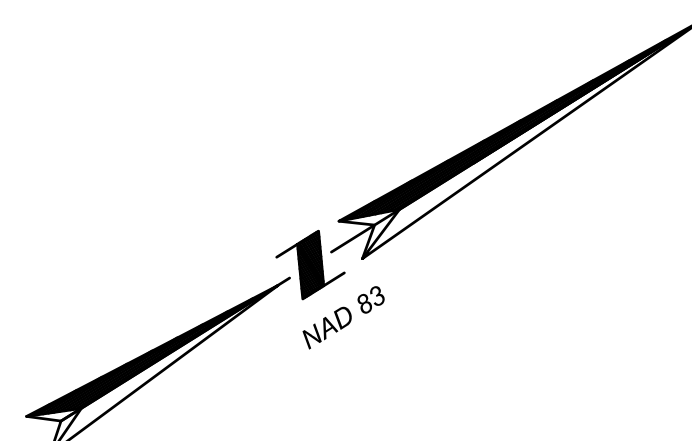
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Locus Map  
(NOT TO SCALE)



**UTILITY NOTE**

EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

**GENERAL NOTES**

1. THIS PLAN IS THE RESULT OF A LIMITED TOPOGRAPHICAL SURVEY PERFORMED BY BSC GROUP, INC. ON NOVEMBER 8, 2020 AND VISUAL VERIFICATION BY BSC OF EXISTING CONDITIONS DATA SURVEYED BY OTHERS AND PROVIDED BY THE CLIENT ON OCTOBER 14, 2020.
2. HORIZONTAL DATUM IS BASED UPON NAD '83.
3. VERTICAL DATUM IS BASED UPON BOSTON CITY BASE.  
TBM 1=17.65'  
TBM 2=17.50'  
TBM 3=16.38'
4. LOCUS IS LOCATED WITHIN ZONES X AND AE AS GRAPHICALLY DEPICTED ON FLOOD INSURANCE RATE MAP NUMBERS 250286 0081J AND 0082J, EACH WITH A LAST REVISED DATE OF MARCH 16, 2016.
5. THE LOCUS PARCEL WAS UNDER CONSTRUCTION AT THE TIME OF FIELD SURVEY.
6. UTILITY INFORMATION FROM BOSTON FIRE ALARM HAD NOT BEEN RECEIVED AS OF THE DATE OF THIS PLAN.

I CERTIFY BY THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THIS PLAN IS BASED UPON AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY BSC GROUP, INC.



PROFESSIONAL LAND SURVEYOR  
FOR BSC GROUP, INC. DATE

**EXISTING CONDITIONS PLAN**  
316-318 NORTHERN AVENUE  
IN  
BOSTON  
MASSACHUSETTS  
(SUFFOLK COUNTY)

FEBRUARY 5, 2021

REVISIONS:

NO.	DATE	DESC.
1	2/26/21	COMBINED SEWER EDIT

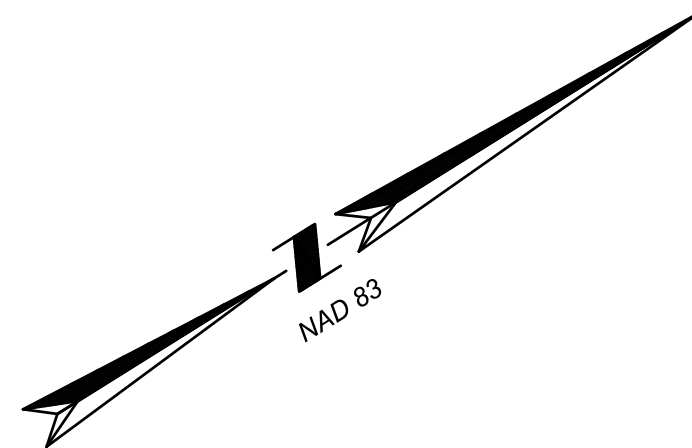
PREPARED FOR:  
RELATED BEAL CONSTRUCTION, LLC  
177 MILK STREET  
BOSTON, MA 02109

**BSC GROUP**  
803 Summer Street  
Boston, Massachusetts  
02127  
617 896 4300

© 2020 BSC Group, Inc.  
SCALE: 1" = 20'  
0 2.5 5 10 METERS  
0 10 20 40 FEET

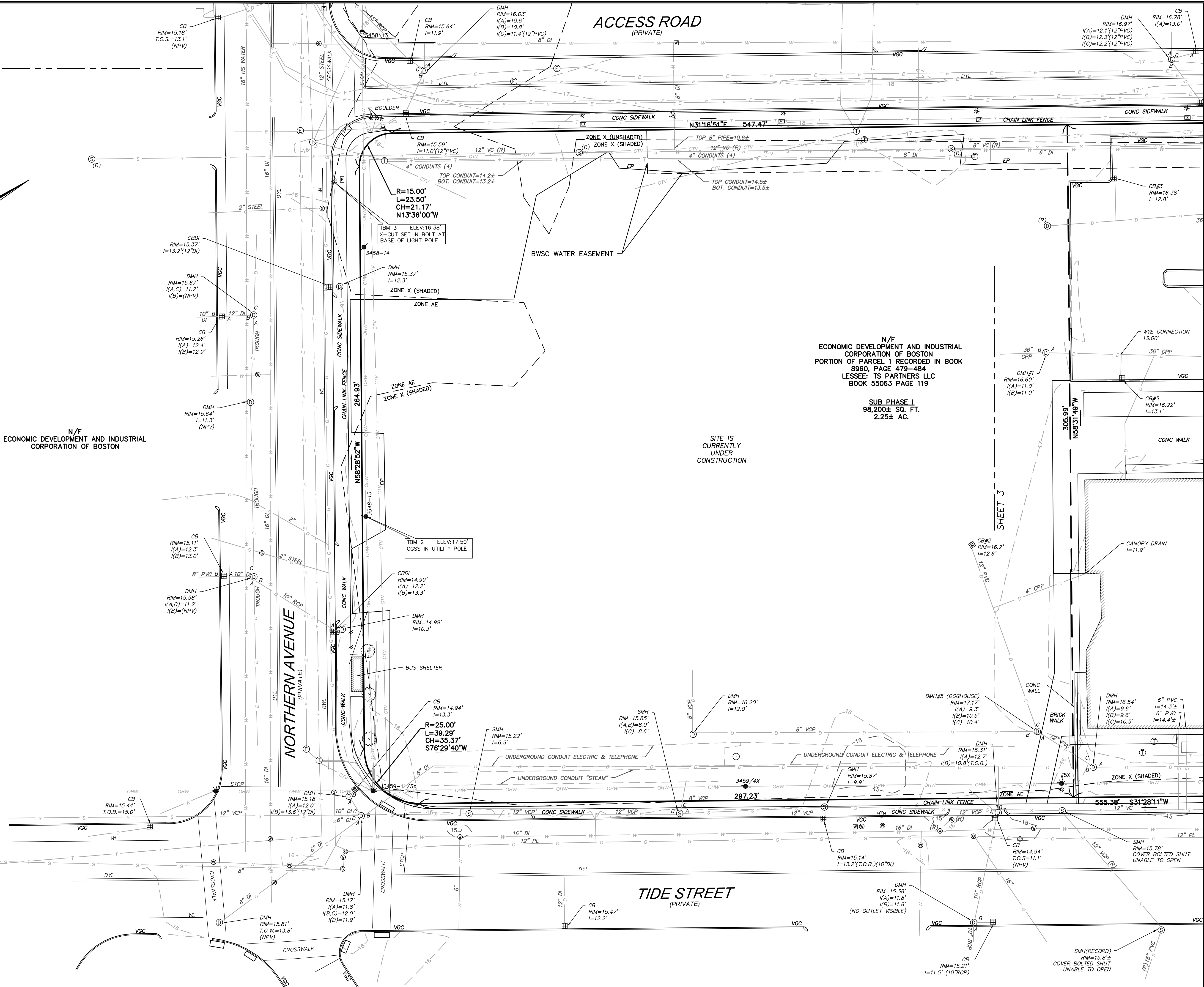
PROJ. MGR.: K. THOMPSON  
FIELD: P. MCIVER \ K. BLIGH  
CALC./DESIGN: K. THOMPSON  
DRAWN: A. STAMENKOVIC  
CHECK: S. EWALD  
FILE: P:\1350501\SURVEY\DRAWINGS  
DWG.: 1350501ECR1 SHEET  
JOB. NO: 1-3505.01 1 OF 3





N/F  
ECONOMIC DEVELOPMENT AND INDUSTRIAL  
CORPORATION OF BOSTON

ACCESS ROAD  
(PRIVATE)



N/F  
ECONOMIC DEVELOPMENT AND INDUSTRIAL  
CORPORATION OF BOSTON  
PORTION OF PARCEL 1 RECORDED IN BOOK  
8960, PAGE 479-484  
LESSEE: TS PARTNERS LLC  
BOOK 55063 PAGE 119  
  
SUB PHASE I  
98,200± SQ. FT.  
2.25± AC.

SITE IS  
CURRENTLY  
UNDER  
CONSTRUCTION

EXISTING  
CONDITIONS  
PLAN  
316-318 NORTHERN AVENUE  
IN  
BOSTON  
MASSACHUSETTS  
(SUFFOLK COUNTY)

FEBRUARY 5, 2021

REVISIONS:

NO.	DATE	DESC.
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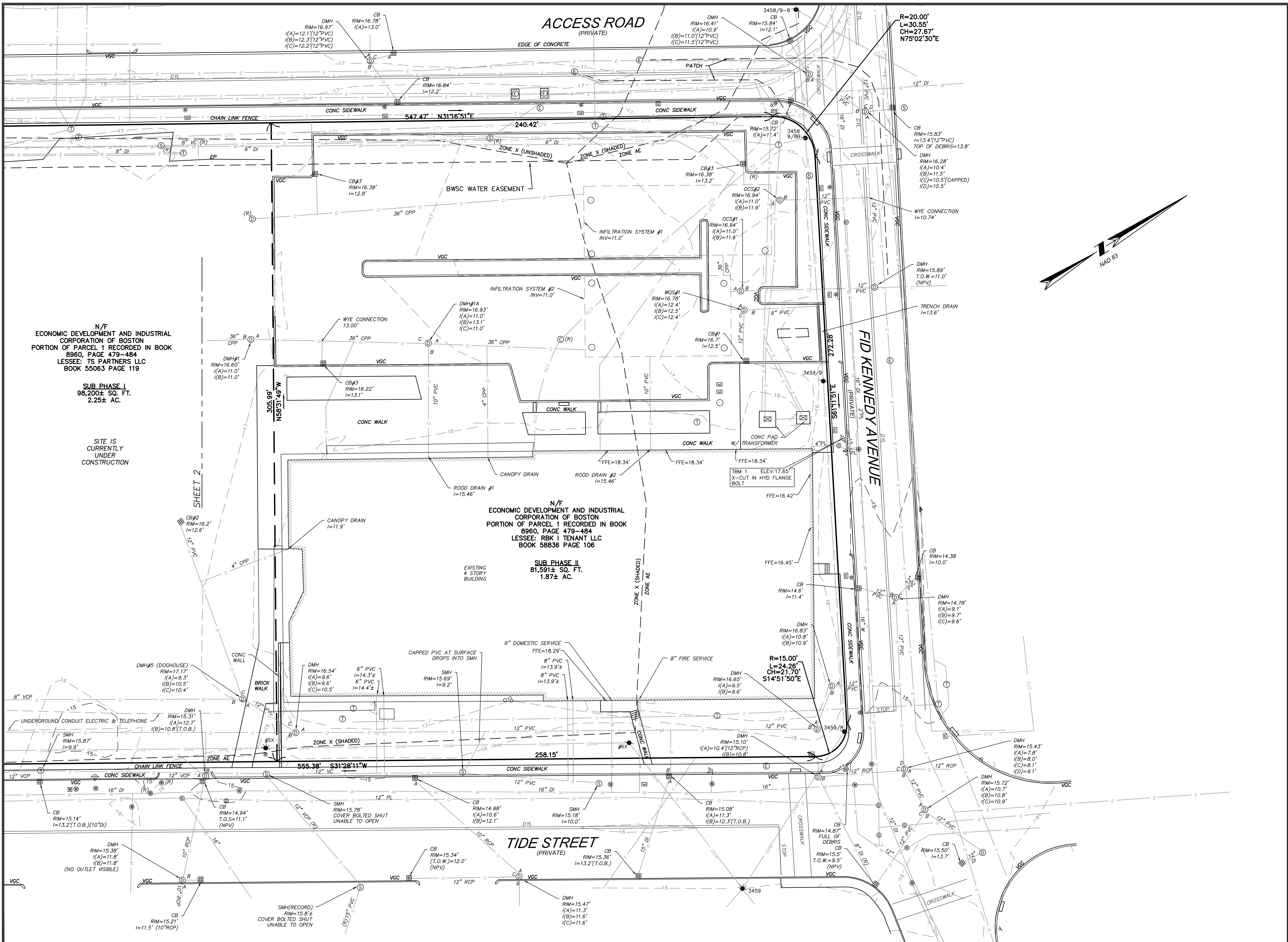
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SCALE: 1" = 20'  
0 2.5 5 10 20 40 FEET

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DWG.: 1350501ECR1 SHEET  
JOB. NO: 1-3505.01 2 OF 3





N/F  
ECONOMIC DEVELOPMENT AND INDUSTRIAL  
CORPORATION OF BOSTON  
PORTION OF PARCEL 1 RECORDED IN BOOK  
8960, PAGE 479-484  
LESSEE: TS PARTNERS LLC  
BOOK 55063 PAGE 119

SUB PHASE I  
98,200± SQ. FT.  
2.25± AC.

SITE IS  
CURRENTLY  
UNDER  
CONSTRUCTION

N/F  
ECONOMIC DEVELOPMENT AND INDUSTRIAL  
CORPORATION OF BOSTON  
PORTION OF PARCEL 1 RECORDED IN BOOK  
8960, PAGE 479-484  
LESSEE: RBK 1 TENANT LLC  
BOOK 58836 PAGE 106

SUB PHASE II  
81,591± SQ. FT.  
1.87± AC.

EXISTING  
4 STORY  
BUILDING

**EXISTING  
CONDITIONS  
PLAN**

316-318 NORTHERN AVENUE  
IN  
BOSTON  
MASSACHUSETTS  
(SUFFOLK COUNTY)

FEBRUARY 5, 2021

REVISIONS:

NO.	DATE	DESC.
1	2/26/21	COMBINED SEWER EDIT

PREPARED FOR:  
RELATED BEAL CONSTRUCTION, LLC  
177 MILK STREET  
BOSTON, MA 02109

**BSC GROUP**

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02127

617 896 4300

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SCALE: 1" = 20'

0 2.5 5 10 METERS  
0 10 20 40 FEET

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JOB. NO: 1-3505.01	3 OF 3