



221 W. Springfield St. Aug. 2nd 2016

VIEW FROM W. SPRINGFIELD ST.



221 W. Springfield St. Aug. 2nd 2016



221 W. Springfield St. Aug. 2nd 2016

VIEW FROM SPRINGFIELD STREET



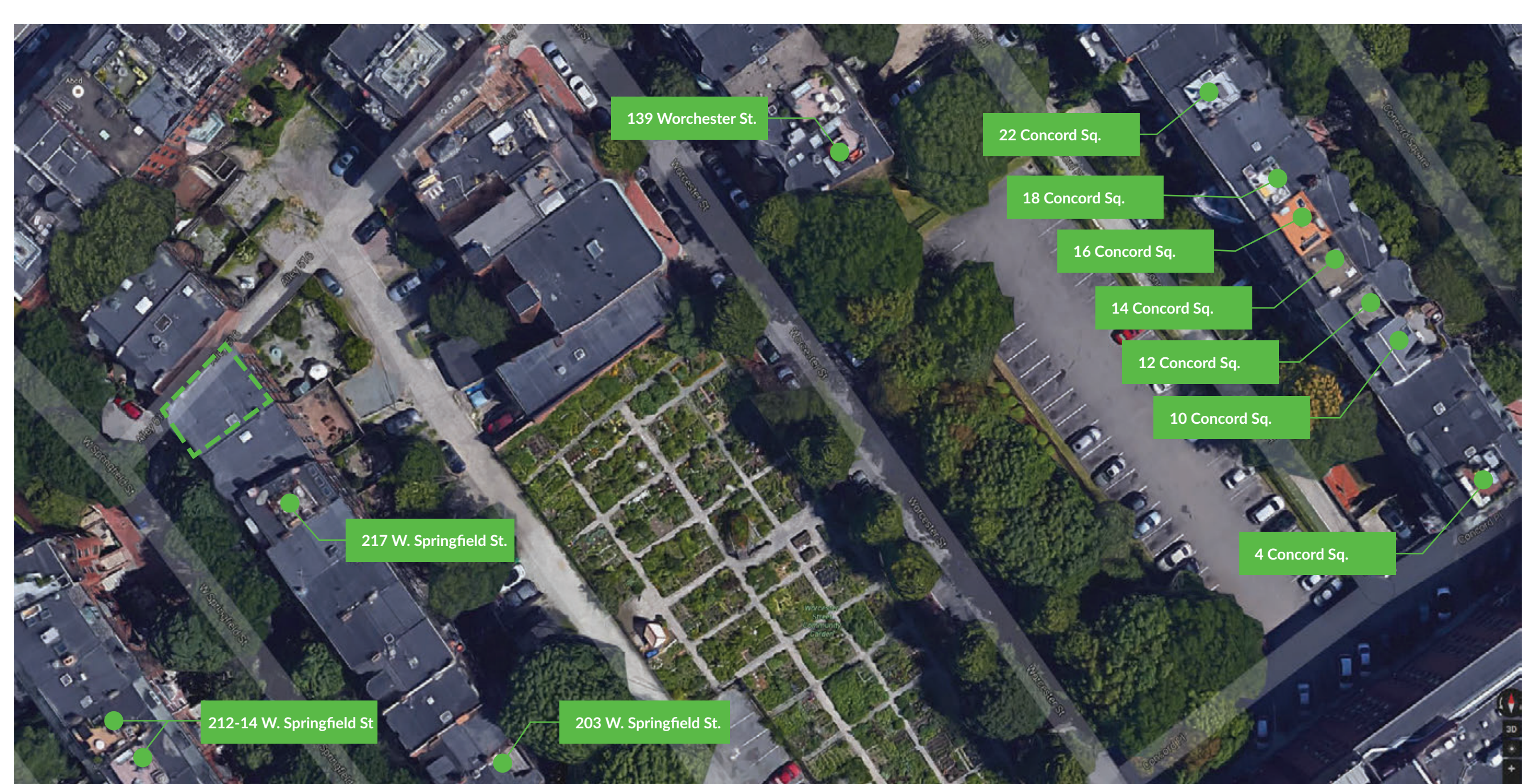
221 W. Springfield St. Aug. 2nd 2016

VIEW FROM ALLEY



221 W. Springfield St. Aug. 2nd 2016

RENDERING OF RAILING



221 W. Springfield St.

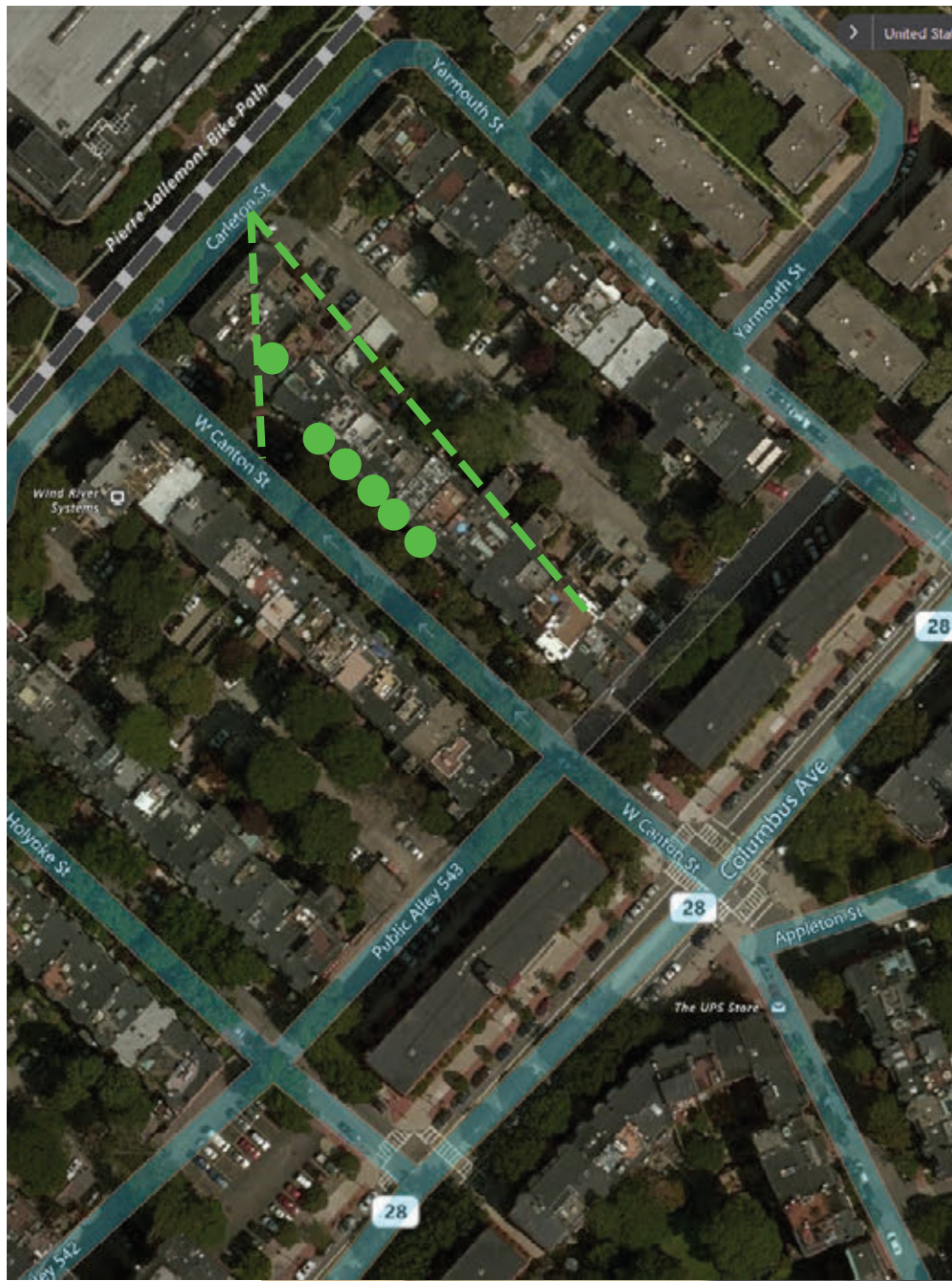
Aug. 2nd 2016

CURRENT EXISTING ROOF DECKS



221 W. Springfield St. Aug. 2nd 2016

VIEW FROM WORCESTER ST.



221 W. Springfield St. Aug. 2nd 2016

VIEW FROM CARLETON ST



221 W. Springfield St. Aug. 2nd 2016

VIEW FROM CONCORD SQ

GENERAL REQUIREMENTS

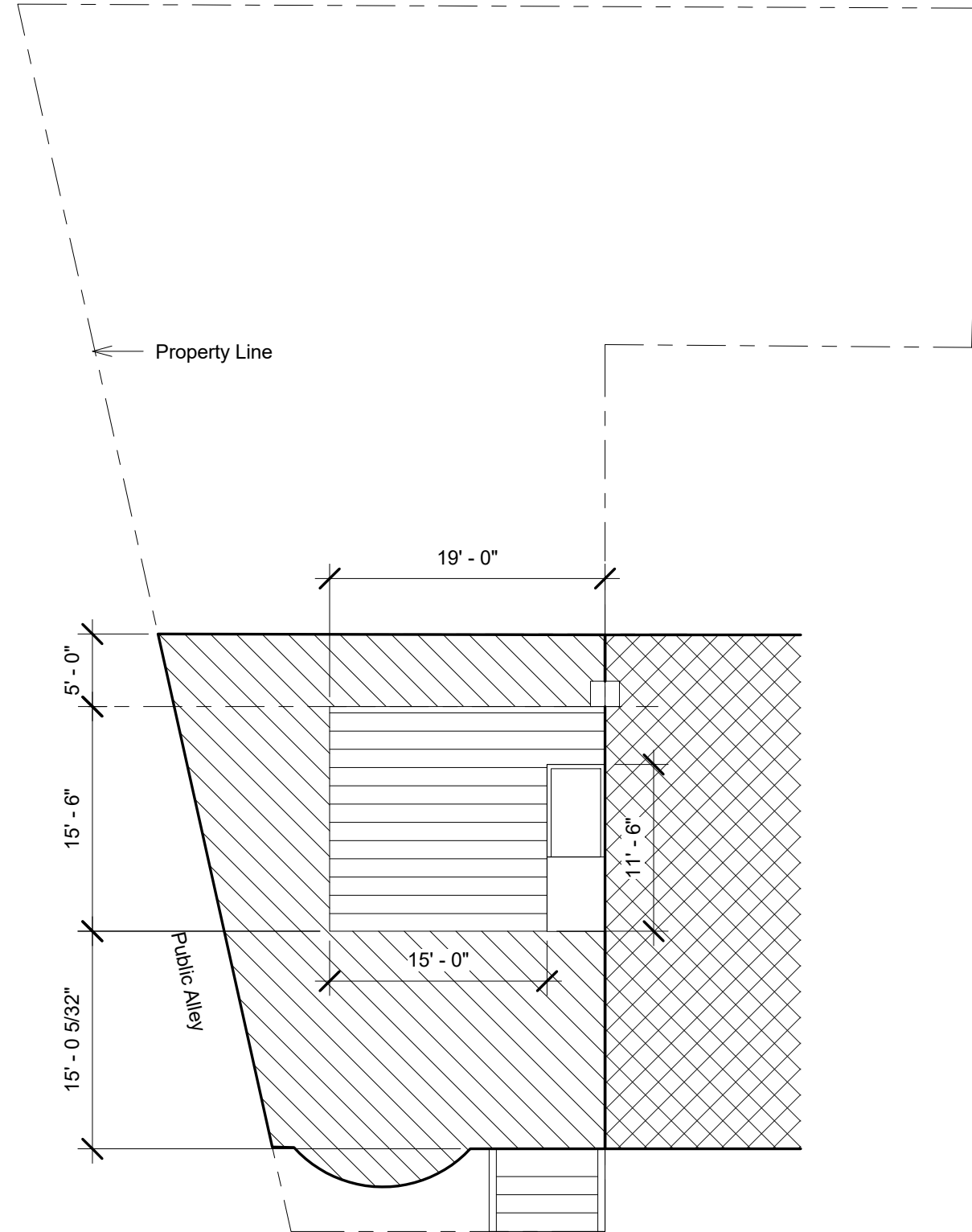
1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCALS BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
2. CONTRACTOR SHALL EXAMINE THE PREMISES AND SITE SO AS TO COMPARE THEM TO THE CONTRACT DRAWINGS AND WILL BE FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING PRIOR TO SUBMISSION OF BID NUMBER. ALLOWANCES ARE TO BE MADE TO INCLUDE ALL ITEMS OF WORK INCLUDING BOTH LABOR OR MATERIALS FOR ALL NOTED, DETAILS, OR IMPLIED ITEMS REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS AND SPECIFICATIONS.
3. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OR PERSON DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
4. CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING THE SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
5. CONTRACTOR SHALL CONFORM TO ALL NEIGHBORHOOD ASSOCIATION RULES AND GUIDELINES.
6. ALL CONSTRUCTION MATERIALS AND SUPPLIES ARE TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
7. IF ERRORS OR OMISSIONS ARE FOUND IN THE CONTRACT DOCUMENTS, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
8. DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHALL ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
9. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS.
10. ALL DIMENSIONS ARE TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF OF THE DRAWINGS.

DESIGN IS BASED ON THE INTERNATIONAL BUILDING CODE (IBC) 2009 AND THE MASSACHUSETTS BUILDING CODE 2009 AMENDMENTS. CONSTRUCTION SHALL CONFORM WITH ALL APPLICABLE SECTIONS.



Sheet List

- A1.00 Cover/Site
- A1.01 Site Survey
- A1.02 Structural Notes
- A1.03 Roof/Deck Framing
- A1.04 Roof Plan
- A1.05 3rd Floor Plan
- A1.06 Section
- A1.07 Section
- A1.08 Details



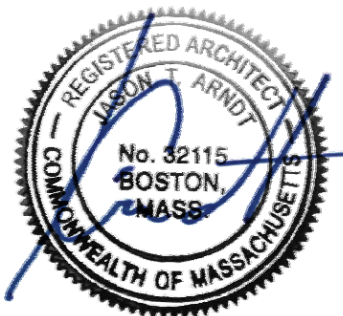
1 Site Plan
3/32" = 1'-0"

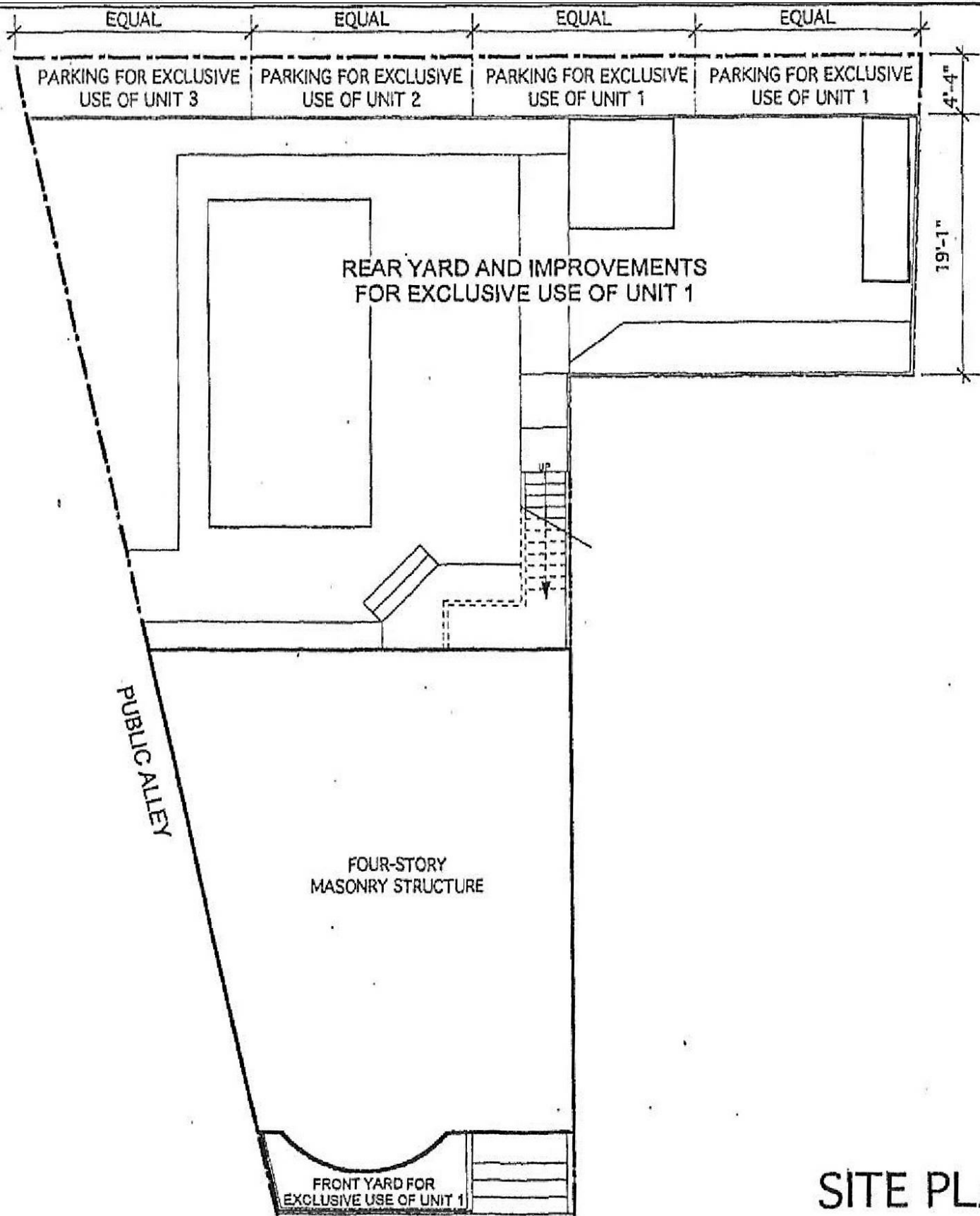


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Boston, MA 02114
(617)838-0083

Roof Deck
221 W. Springfield Street
Leslie Kulig

A1.00 Cover / Site



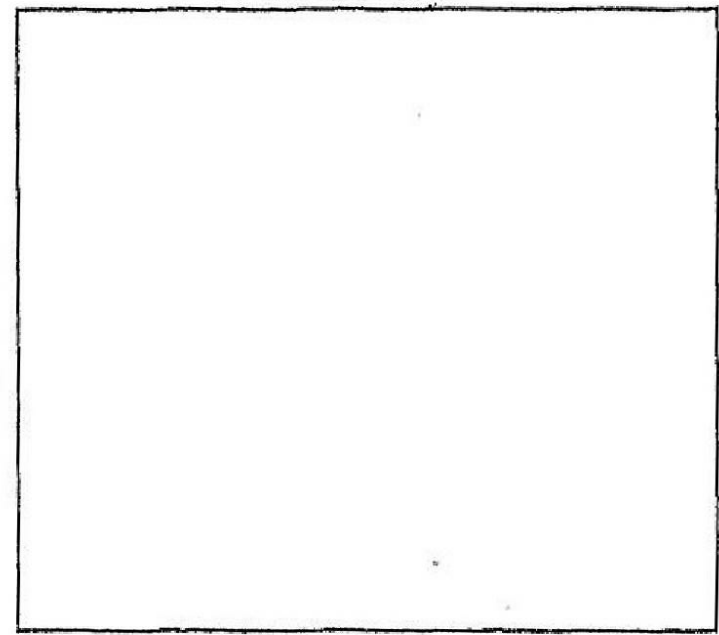


SQUARE FOOTAGE	
UNIT 1	1703
UNIT 2	820
UNIT 3	952
TOTAL	3475

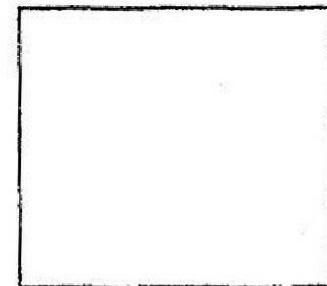
MEASUREMENTS FOR THE UNITS' AREA ARE FROM THE INSIDE FACE OF THE EXTERIOR WALLS AND WINDOWS TO THE MIDLINE OF DEMISING PARTITIONS AND INCLUDE ALL INTERIOR UNIT PARTITIONS, CHIMNEYS, AND VERTICAL CHASES.



RESERVED FOR REGISTRY OF DEEDS



I HEREBY CERTIFY THAT I HAVE CONFORMED WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS IN PREPARING THIS PLAN. THE PLAN WITHIN SHOWS THE UNIT AND IMMEDIATELY ADJOINING UNITS. SAID PLAN FULLY AND ACCURATELY DEPICTS THE APPROXIMATE AREA, MAIN ENTRANCE, AND IMMEDIATE COMMON AREA TO WHICH IT HAS ACCESS, AS BUILT.



WILLIAM H. BOEHM, ARCHITECT
 MA ARCHITECT REGISTRATION #9371
 MILLER BOEHM ARCHITECTS, INC.
 23A WARREN AVE., BOSTON, MA 02116

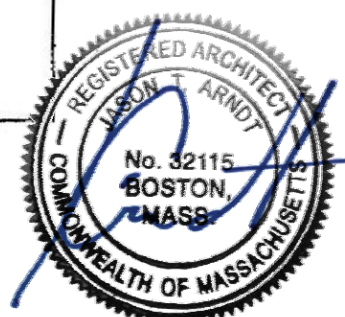
MASTER DEED
 CONDOMINIUM
 221 W. Springfield St., Boston, MA
 02.13.02 Page 1 of 5



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A1.01 Site Survey



General Structural Notes

1.1 Elevations & Dimensions

A. All dimensions, elevations and conditions shall be verified in the field by the contractors and any discrepancies shall be brought to the attention of the Engineer for clarification before proceeding with the affected part of the work. Dimensions and elevations noted in the contract documents as (+/-) and all field conditions shall be verified in the field by the contractor prior to submissions of shop drawings

1.2 Building Code and Reference Standard

- A. Massachusetts State Building Code 780 CMR - Eighth Edition
- B. International Building Code 2009 w/ Mass. Amendments
- C. ASCE/SEI 7-05, Minimum Design Loads for Buildings and Structures

1.3 Design Loads

- A. Dead Loads: All permanent Stationary Construction.
- B. Floor Live Load (uniform)
 - 1. Residential 40 psf
 - 2. Roof Snow Load Parameters: Where appropriate drifting snow loads have been considered in accordance with Section 7.7 of ASCE/SEI 7-05.
 - a) Ground Snow Load, Pg 45 psf
 - b) Flat Roof Snow Load, Pf 30 psf
- C. Wind Load Parameters
 - 1. Basic Wind Speed (3 Sec Gust) V=105 mph
 - 2. Wind Importance Factor, I 1.0
 - 3. Exposure B

Part 2- Wood Framing

2.1 Sawn Lumber

- A. All lumber to be Spruce-Pine-Fir (NLGA) #2 or better and Kiln Dried.
- B. All lumber noted as PT to be Pressure Treated
- C. All PT Lumber must be redried after treatment to a maximum moisture content of 19% and bear a stamp indicating KDAT or ADAT.

2.2 Laminated Veneer Lumber - LVL

- A. LVL shall be approved equal or better grade as follows:
 - 1. Douglas fir or southern pine veneers
 - 2. E \geq 2,000,000 psi
 - 3. Fb \geq 2,600 psi
 - 4. Fv \geq 285 psi
- B. Only LVL products with the above minimum properties will be approved. Do not use LVL products that have been stored outdoors prior to delivery to the job site. LVL must be stored flat and level off the ground, covered and protected from weather.

2.3 Parallel Strand Lumber - PSL

- A. PSL Shall be approved equal or better grade as follows:
 - 1. E \geq 1,800,000 psi
 - 2. FcII \geq 2,500 psi
- B. Only PSL products with the above minimum properties will be approved. Do not use PSL products that have been stored outdoors prior to delivery to the job site. PSL must be stored flat and level off the ground, covered and protected from weather.

2.4 Veneer Plywood

- A. Roof Sheathing: 3/4" APA rated Sturd-I-Floor Sheathing, Exposure 1.

2.5 Fasteners

- A. Nails - Common Wire, hot-dipped galvanized per ASTM A153
- B. Bolts: ASTM A307
- C. Self Driving Screws: SDS Wood Screws by Simpson Strong - tie or approved equal.
- D. Connectors: Simpson Strong-toe pr approved equal. Provide nailing specified by manufacturer to achieve full capacity of all connections and hangers.
- E. Construction Adhesive: Conform to APA AFG-01

2.6 Framing Notes

- A. Comply with all the relevant prescriptive requirements of 780 CMR 8th edition of the Massachusetts State Building Code (UON) and the International Residential Code.
- B. Lag Screw Installation: Drill clearance holes for lag screws to depth equal to length of unthreaded shank. Lead holes for threaded portion shall be 60% the diameter of the unthreaded shank (clearance hole). Always drill clearance hole to proper depth before drilling lead hole. Turn lag screws in place; do not drive with a hammer.
- C. Set carpentry to required levels and lines, with members plumb, true to line, cut and fitted.
- D. Produce joints which are tight, square and true with members assembled in accordance with the drawings.
- E. Do not use defective or damaged materials, such as cracked, split, warped, kinked, twisted, gouged or dented framing. Do not use bent, cracked or rusted connectors or fasteners.
- F. Install horizontally-oriented members with high side "crown" up.
- G. Clearance holes for bolts shall be a maximum of 1/16" greater than bolt diameter.
- H. Fasten roof sheathing to framing with 10d nails @ 4 in. OC at edges and 12 in OC in field.

5.7 Standard Spec

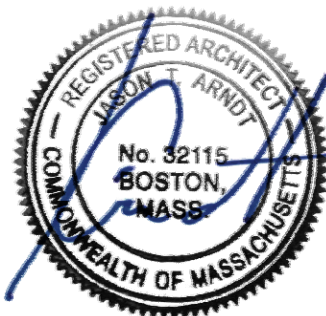
- A. AF&PA NDS-05 Nation Design Specification for Wood Construction with 2005 Supplement.

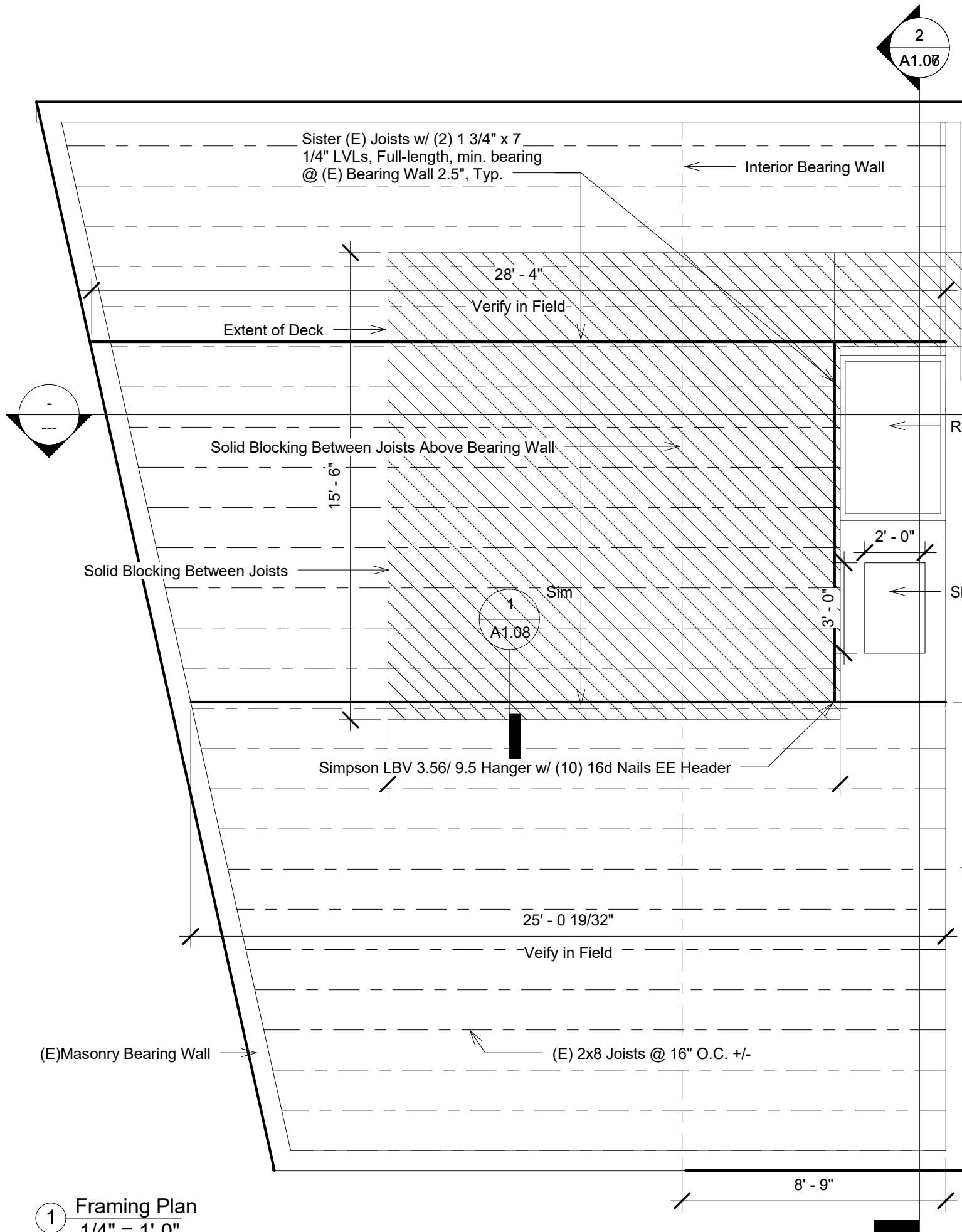


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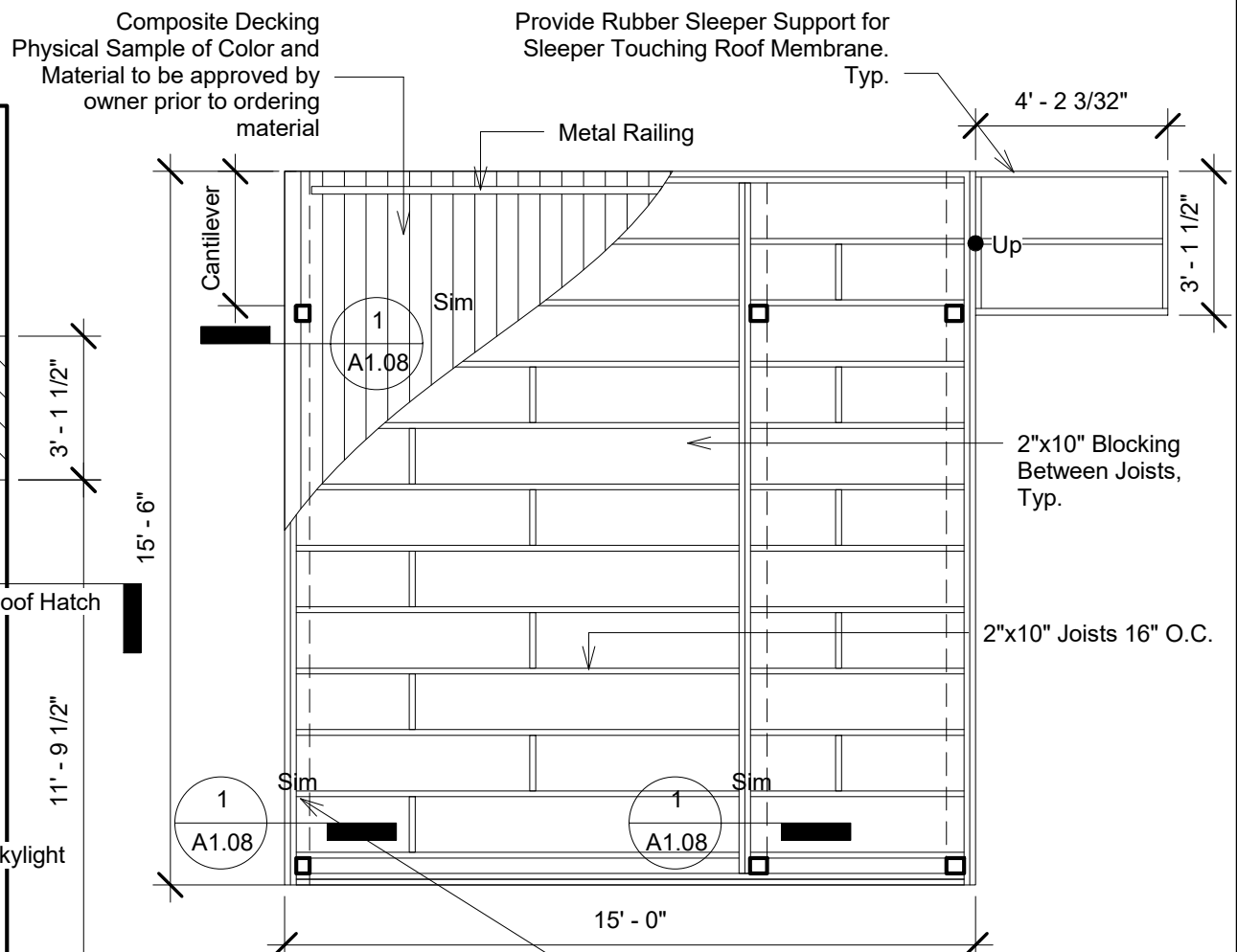
Roof Deck
221 W. Springfield Street
Leslie Kulig

A1.02 Structural Notes

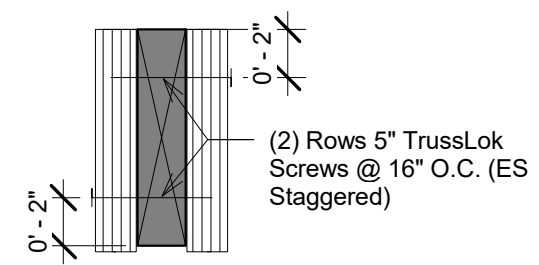




1 Framing Plan
1/4" = 1'-0"



3 Deck Framing
1/4" = 1'-0"



2 Sistering
1 1/2" = 1'-0"

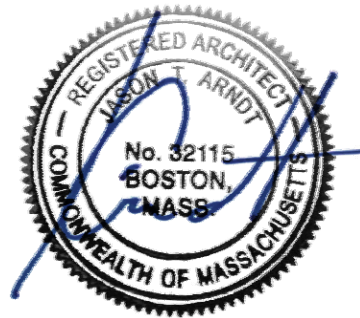
All Joists to be Connected with Galv. Joists Hangers, Typ.

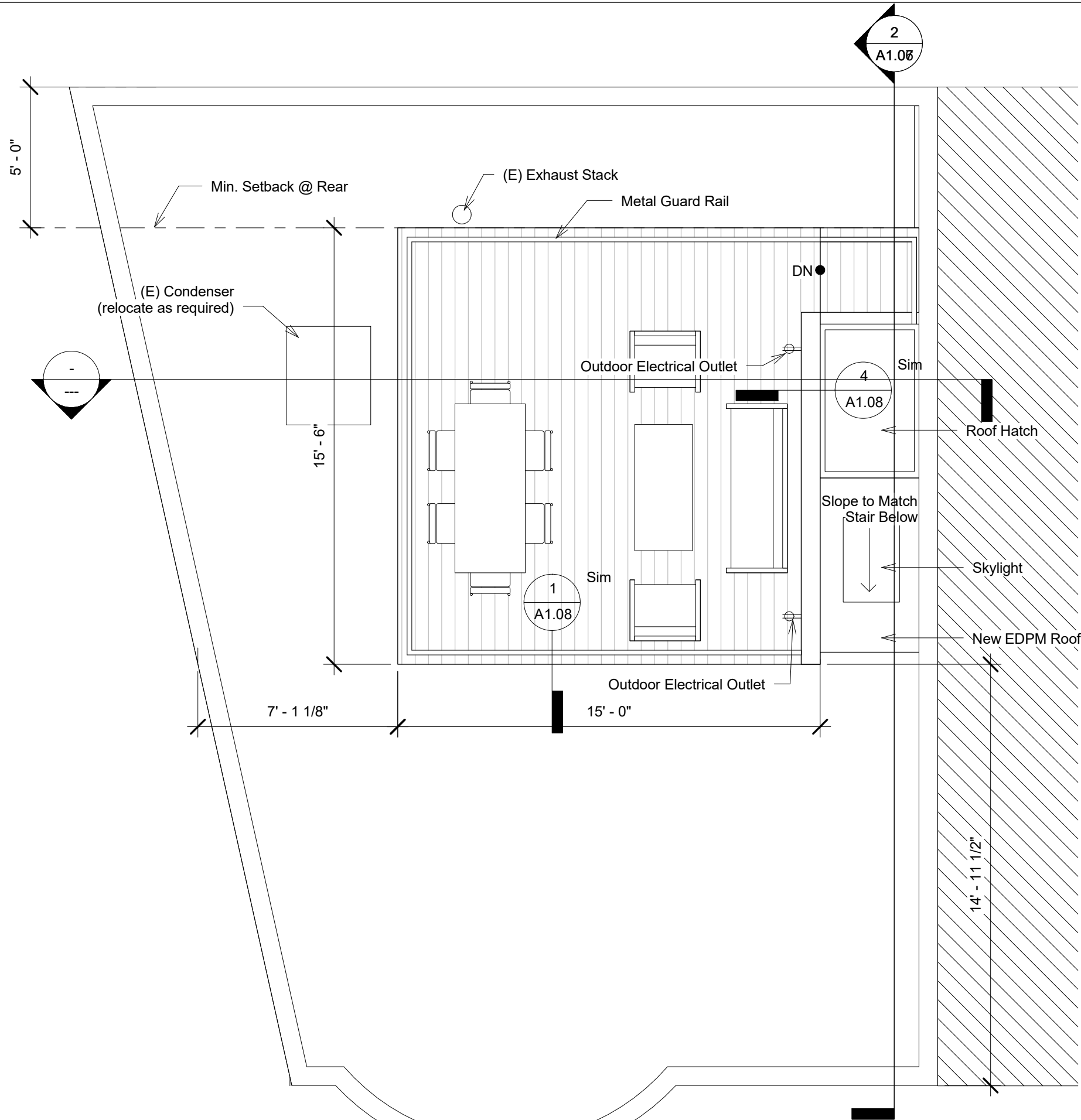
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A1.03 Roof/Deck Framing





2
A1.08

1
A1.08

4
A1.08

1 Roof
1/4" = 1'-0"

General Note:

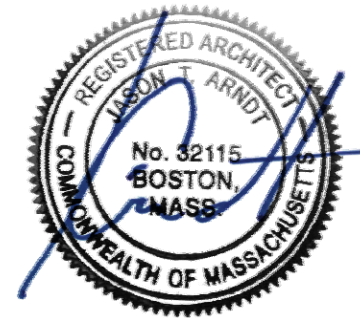
- 1) All Gas Plumbing items to be handled and installed by licensed plumber.
- 2) All electrical work to be performed by licensed electrician.
- 3) All Wood to be pressure treated wood & All anchors to be galvanized.
- 5) Roof details should align with industry standard to insure a waterproof roof.
- 6) Contractor to provide adequate waterproofing during all phases of construction.
- 7) All Demo work is to be conducted in such a manner as to protect remaining elements. Remaining elements are to be protected as required.

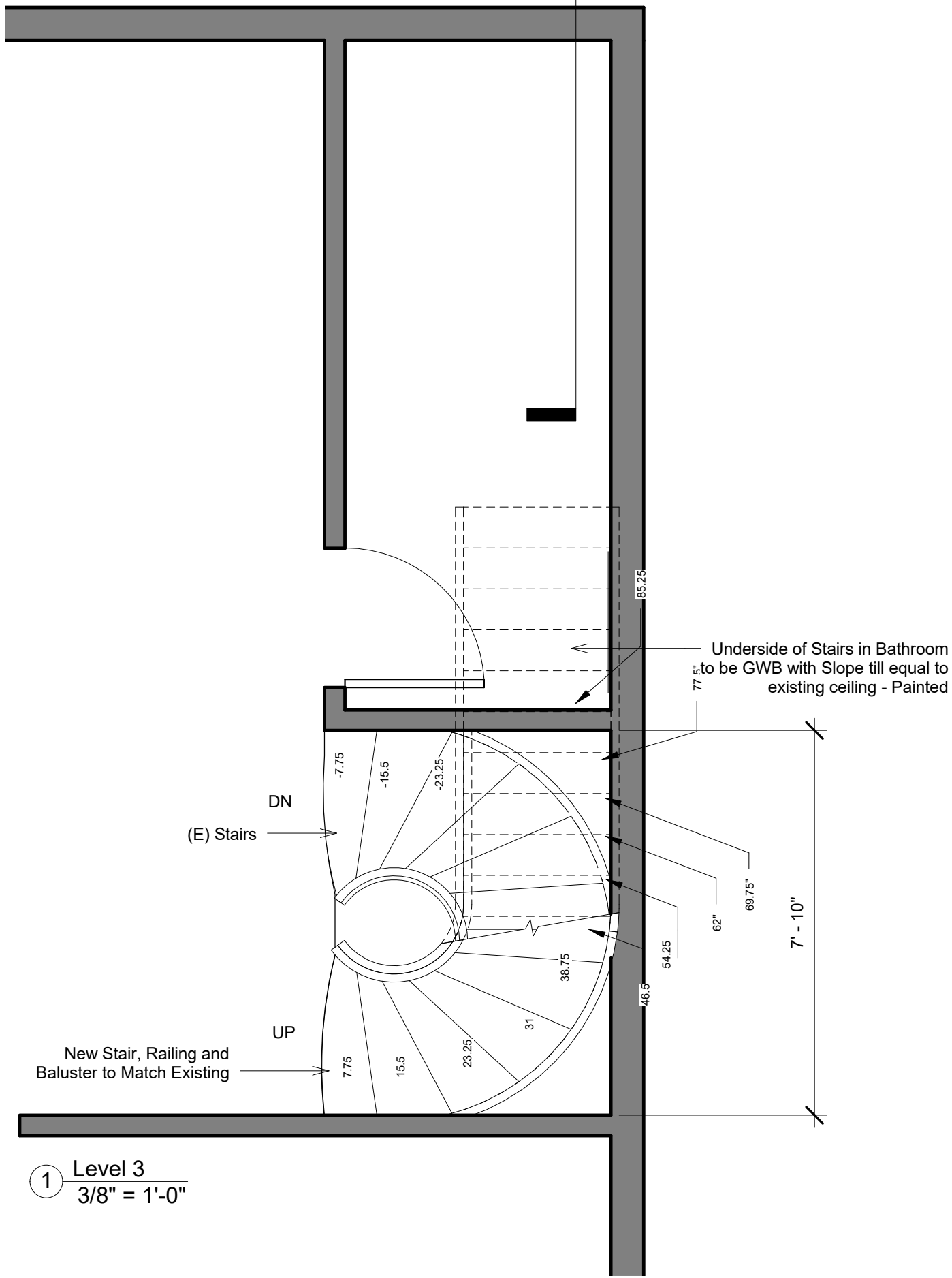


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A1.04 Roof Plan





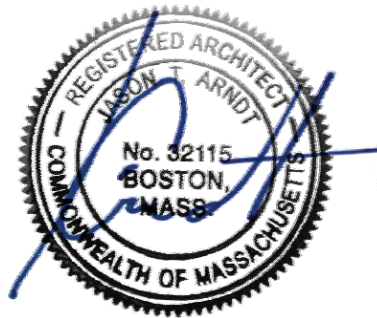
1 Level 3
3/8" = 1'-0"

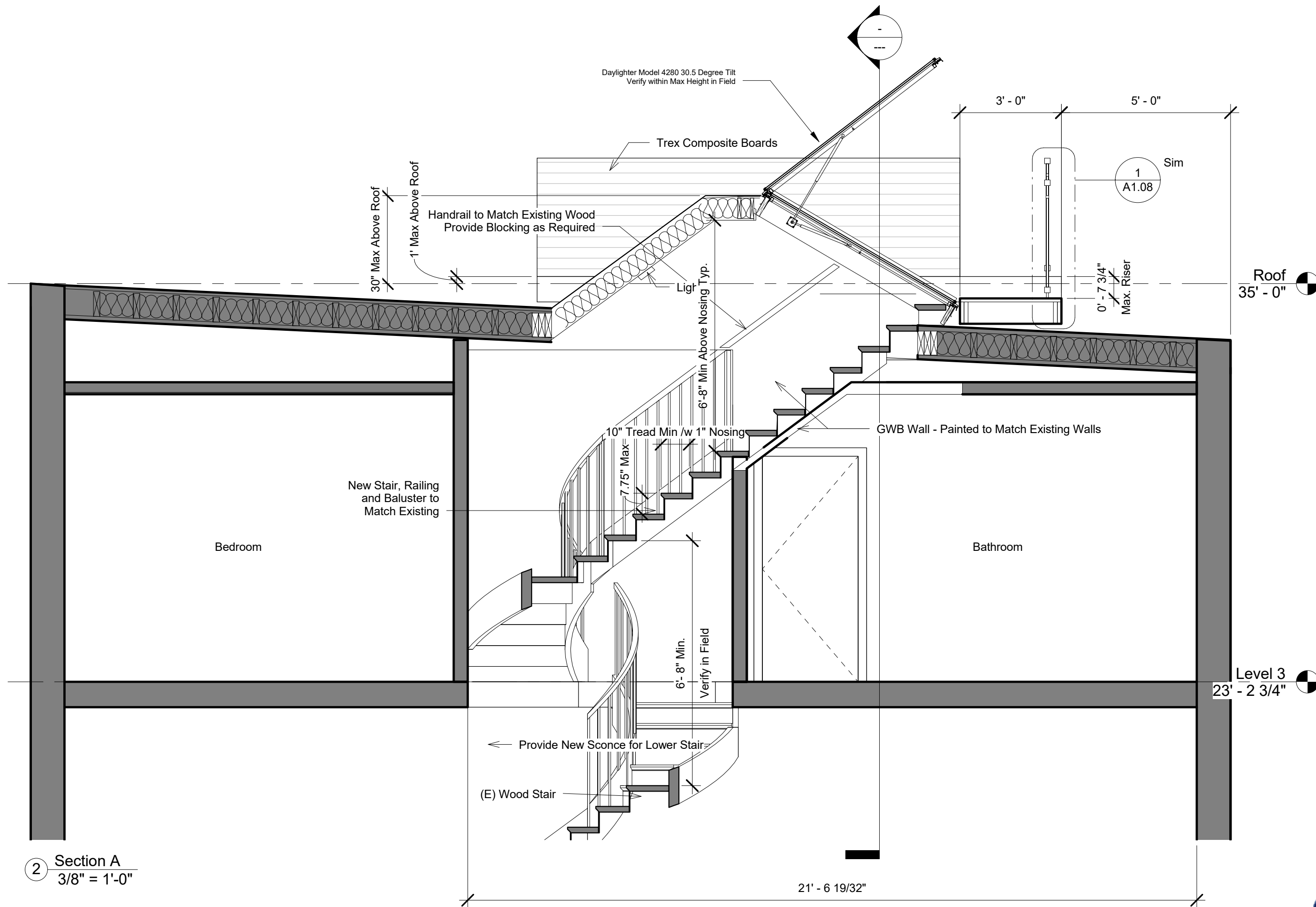

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A1.05 3rd Floor Plan





2 Section A
3/8" = 1'-0"

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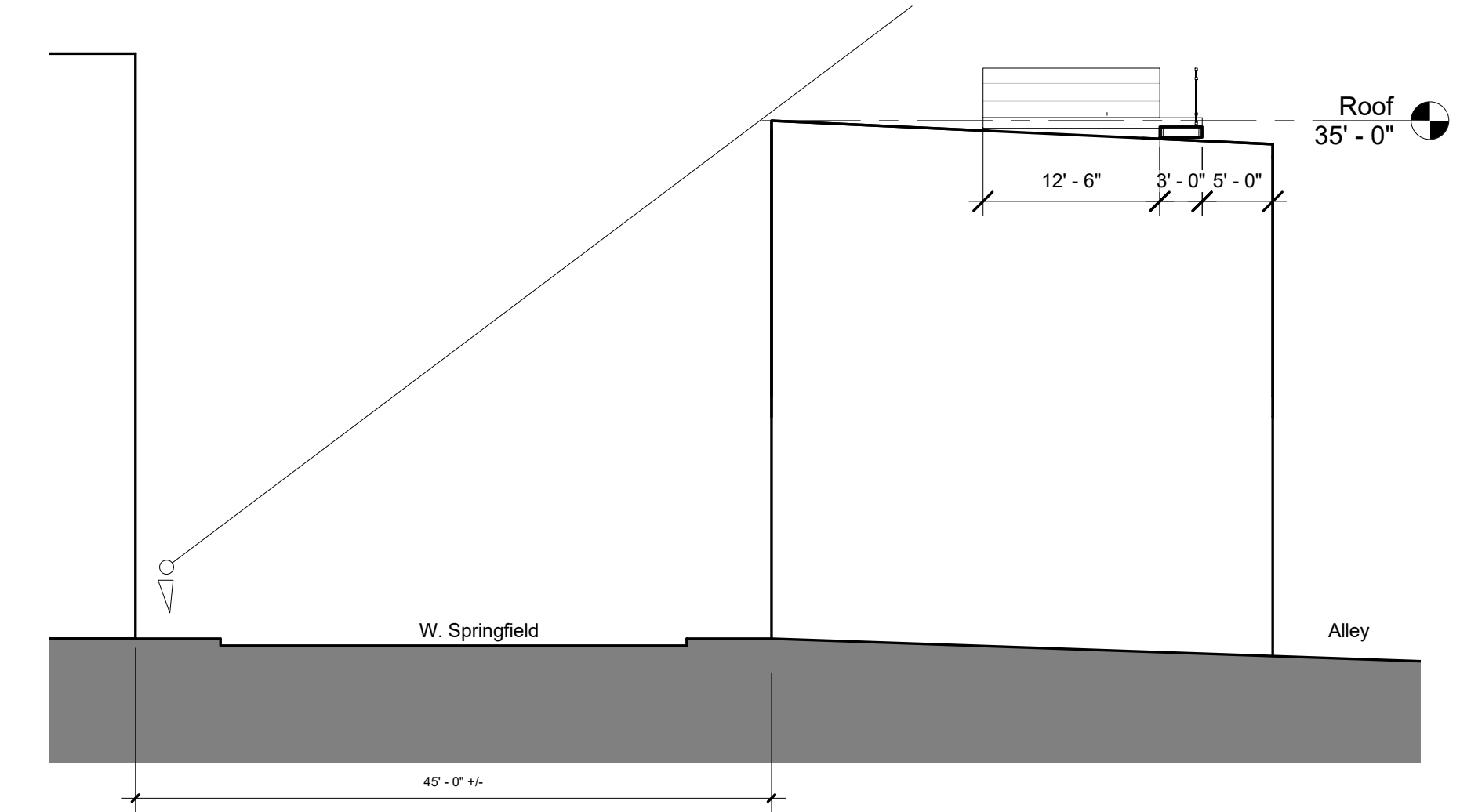
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A1.06 Section





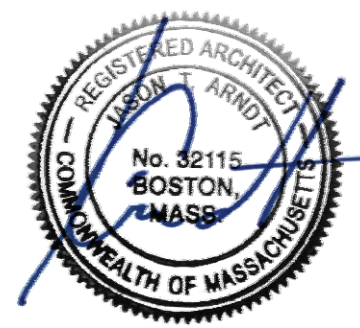
② Sight Line Section
 3/32" = 1'-0"

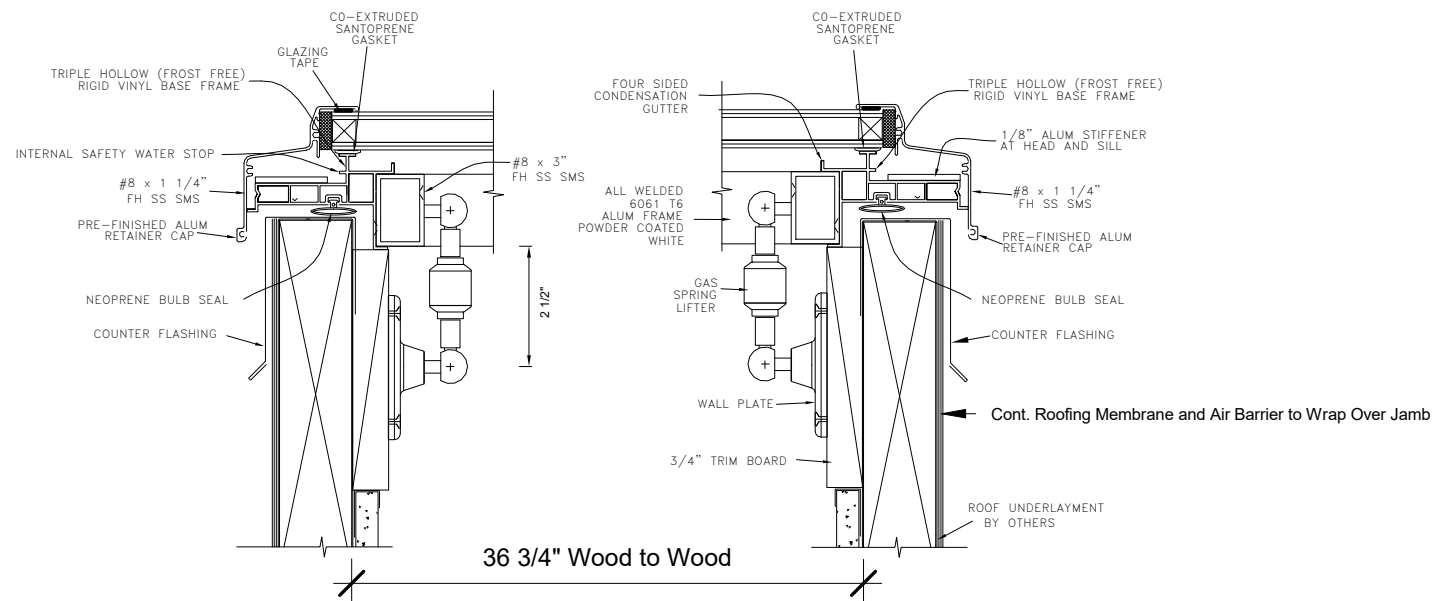


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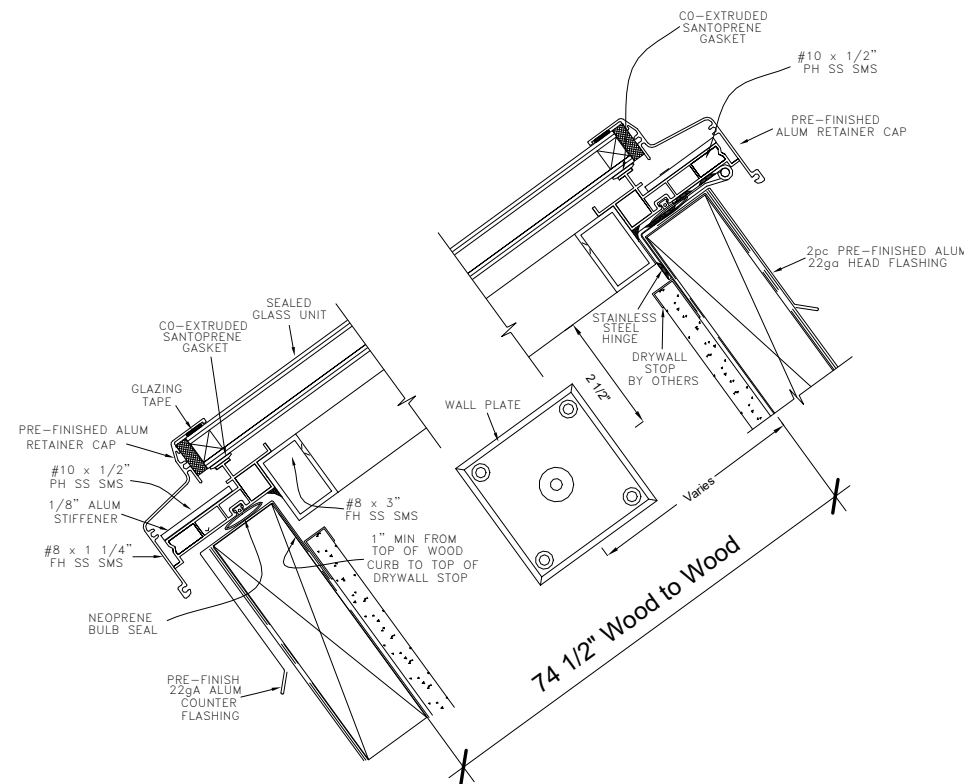
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A1.07 Section



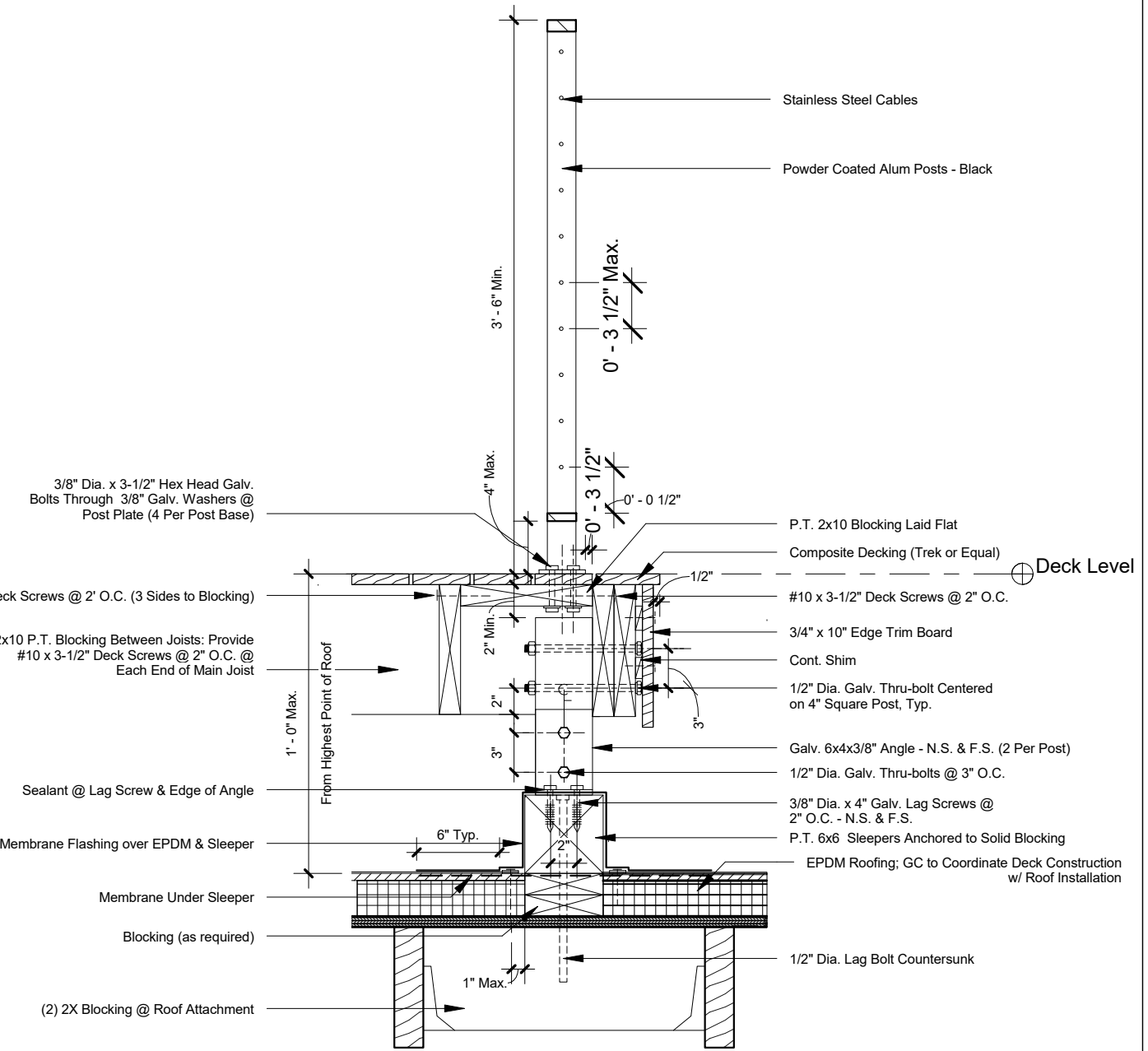


2 Roof Hatch Section @ Jamb
3" = 1'-0"

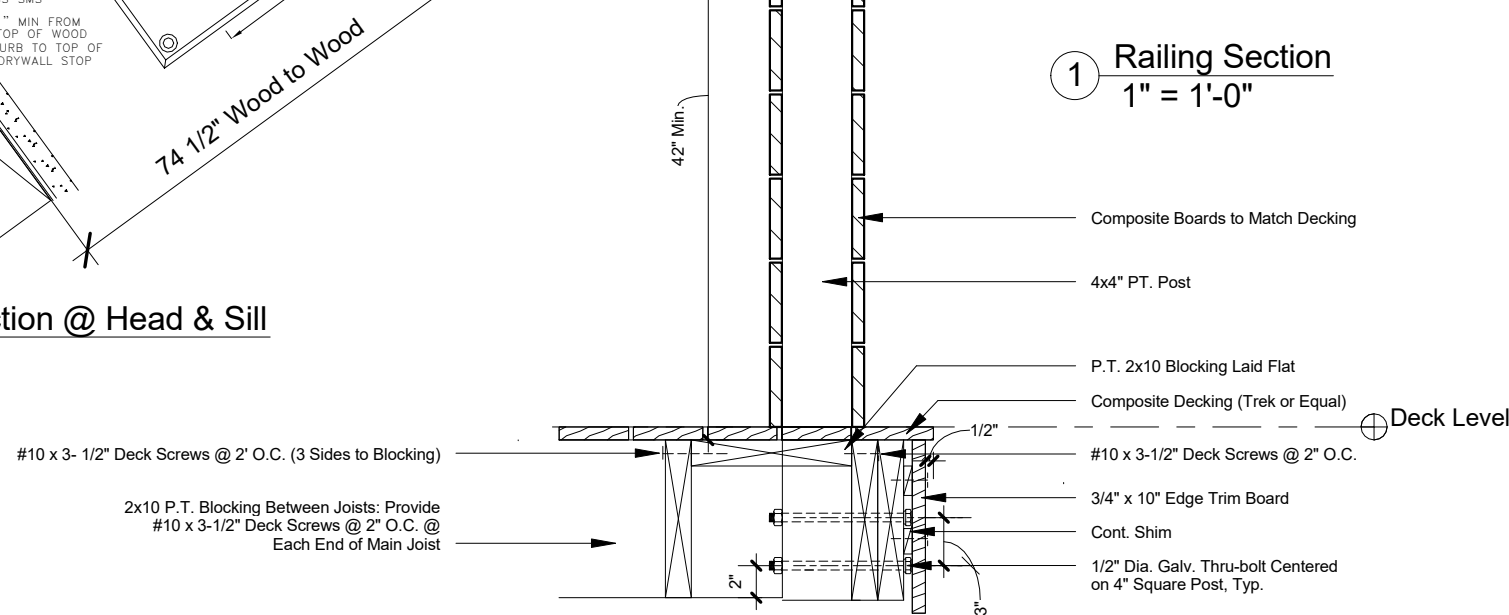


3 Roof Hatch Section @ Head & Sill
3" = 1'-0"

4 Composite Wall Section
1" = 1'-0"



1 Railing Section
1" = 1'-0"

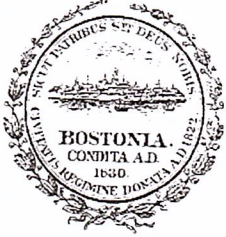


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A1.08 Details





CITY OF BOSTON

THE ENVIRONMENT DEPARTMENT

Boston City Hall, Room 709 • Boston, MA 02201 • 617/635-3850 • FAX: 617/635-3435

August 11, 2016

SOUTH END LANDMARK DISTRICT COMMISSION

Jason Arndt
Studio Arndt Architects
4 Longfellow Place #1807
Boston, MA 02114

CERTIFICATE OF DESIGN APPROVAL Approved

NOTICE OF DECISION
Application #16.1680 SE
221 West Springfield Street

Dear Mr. Arndt:

At its August 2, 2016 public hearing, the South End Landmark District Commission (SELDC) reviewed your application to install a roof deck and bubble dome.

At the August hearing, the Commission chose to approve the application. They understood that other decks along West Springfield that were more visible across the Worcester Street Community Garden had been approved by the SELDC in the past. Therefore, they were comfortable approving the considerably distant visibility of the 221 West Springfield roof deck.

These determinations are based solely upon the information submitted to the staff with the application and presented before the Commission. If statutory reviews by other authorities conflict with this decision, those actions may affect the status of this certificate. This certificate is valid for two years from the date of issue. The applicant is required to notify the Commission of any changes to this proposal, and failure to do so may affect the status of this certificate. The Commission reserves the right to require remedial action to bring work into compliance with Commission standards if any work occurring without a Certificate of Design Approval results in significant change in the appearance of the building or if work does not meet the noted specifications of a Certificate of Design Approval. Please bring a copy of this certificate with you when filing for permits from the Inspectional Services Department (1010 Massachusetts Avenue). Photographs of the completed project should be submitted to the Commission office to confirm compliance with the terms of this certificate. If you have any questions about this certificate, do not hesitate to contact me at 617-635-3850.

Sincerely,

Katie K. Reed
Preservation Planner
Boston Landmarks Commission

August 2, 2016 vote of Application #16.1680 SE approved
Motion by Hunt Second by Parcon
AFFIRMATIVE: Amodco, Freeman, Hunt, Parcon NEGATIVE: (none)