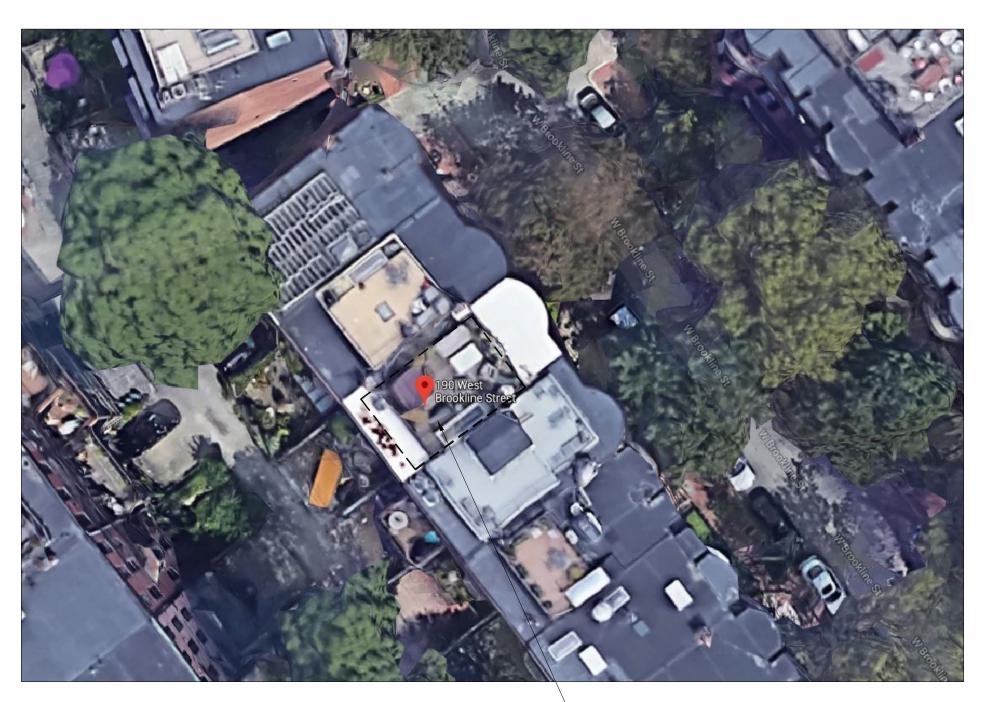
# HARRIS **RESIDENCE**

**190 WEST BROOKLINE STREET** BOSTON, MA

# **ROOF DECK RECONSTRUCTION PROJECT** PERMIT DOCUMENTS 11.22.18



### PROJECT DESCRIPTION:

SUBJECT PROPERTY

THIS PROJECT CONSISTS OF REPLACING A ROOFDECK BECAUSE OF A NEEDED ROOF REPLACEMENT.

THE EXISTING ROOFDECK WAS REMOVED DURING ROOF REPLACEMENT UNDER A SEPARATE PERMIT, THE UNDERLYING ROOFING WAS BE REPLACED UNDER A SEPARATE CONTRACT & PERMIT. THIS PROJECT FALLS UNDER THE 2009 IEBC CHAPTER 5 REPAIRS, AND THE ASSOCIATED MASSACHUSETTS AMENDMENTS.

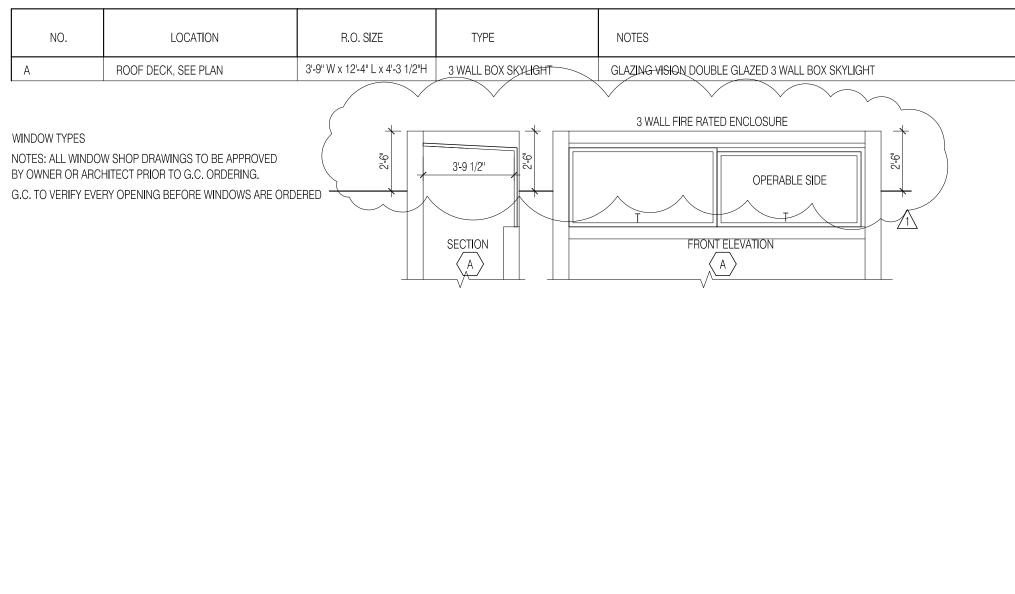
THE NEW DECK IS TO MATCH THE EXISTING DECK IN ALL OTHER AREAS EXCEPT THE OWNER WISHES TO INSTALL A NEW BOX SKYLIGHT HATCH.

THE EXISTING STAIR WILL REMAIN IN PLACE AND WILL NOT CHANGE. SEE IEBC 504.1 AND MASS AMENDMENT 504.1.

ACTIVE CHIMNEYS WILL BE EXTENDED 2'-0" ABOVE RAILINGS WITHIN 10'-0" OF THE DECK AS REQUIRED BY IBC 2113.9.

GUARDRAILS WILL BE MIN. 42" ABOVE FINISHED DECK PER IBC 1013.2.

### WINDOW SCHEDULE



A/C	AIR CONDITIONING	HD
ACT AD	ACOUSTICAL TILE AREA DRAIN	HG   H
ADD		НО
ADJ	ADJACENT	HG
AFF	AFFORDABLE UNIT	HVA
AH		
ALT	ALTERNATE	INC
ALUM		D
AP	ACCESS PANEL	INC INS
ARCH		INT
AUTO	AUTOMATIC	JT
BC	BOTTOM OF CURB	LAN
BD	BOARD	LAV
BE	BAKED ENAMEL	LC LH
BIT	BITUMINOUS	
BLDG	BUILDING	
BM	BENCH MARK	LT
BR	BEDROOM	LTV
BOT	BOTTOM	
BRG	BEARING	MA
B/T	BETWEEN	ME
BVL	BEVELED	ME MF
CFMF	COLD-FORMED METAL FRAME	MIN
CPT	CARPET	MLI
CL	CENTER LINE	MO MO
CHNL	CHANNEL	MT
CLG	CEILING	MT
CLD	CLAD	N
CLOS	CLOSET	N/A
CLR	CLEARANCE, CLEAR	NIC
CMU	CONCRETE MASONRY UNIT	
COL	COLUMN	NT
COMP	COMPOSITE	OD
CONC	CONCRETE	OC OH
CONN	CONNECTION CONSTRUCTION	OH OH
CONST	CONSTRUCTION	
CJ	CONTROL JOINT	PE
CSNK		PEI   PL
CT	CERAMIC TILE	PL/
CTR	CENTER	PL4
CRC	COLD-ROLLED CHANNEL	PL) PN
		PR PT
	DEPTH	PT
DEG DET	DEGREES DETAIL	
DEI		QT
	DRINKING FOUNTAIN DOUBLE HUNG	RA
DIAG	DIAGONAL	RD REF
DIAG	DIAGONAL	REI
	DIMENSION	RE
DN	DOWN	RE
DR	DOOR	RE
DVT	DOVETAIL	RH   RM
DWG	DRAWING	RO
E	EAST	RV
EX	EXISTING	
E	ELEVATION	SPI SH
ELEC	ELECTRIC	SC
EQ	EQUAL	SD
EQUIP		SE SH
EST	ESTIMATED	SIN
EXH EXP	EXHAUST EXPANSION	SL\ SN
EXT	EXTERIOR	SQ
EXIST	EXISTING	SS
_		STI STI
F FA	FIXED FIRE ALARM	STO
FA	FIRE ALARM	ST
F0 FD	FINISHED OPENING FLOOR DRAIN	SU SY
FDN	FOUNDATION	
FE	FIRE EXTINGUISHER	T TBI
FEC	FIRE EXTINGUISHER CABINET	TO
FIN	FINISH	TEI T&
FIXT FLR	FIXTURE FLOOR	TH
FLR FLUOR		TO TO
FOC	FACE OF CONCRETE	TV
FOF		TY
FOM FV	FACE OF MASONRY FIELD VERIFY	UN
FV	FIRE-RETARDANT TREATED	UN
FT	FOOT	
	04105	VB
GA GALV	GAUGE GALVANIZED	VC <sup>-</sup>
GALV	GALVANIZED GENERAL CONTRACTOR	VIF
GL	GLASS, GLAZED	VIN
GR		
GWB	GYPSUM WALL BOARD	VV
GYP H/C	GYPSUM HANDICAPPED	W/
H/C HDR	HANDICAPPED HEADER	W/0
HD	HEAVY DUTY	WC
HDWD	HARDWOOD	WE
		WH WI
		WI
		W/
		X

### WR HARDWARE HEIGHT HOLLOW METAL HORIZONTAL A HEIGHT HEATING/VENTILATION /AIR CONDITIONING INDICATION INSIDE DIAMETER NCLUDED INSULATION INTERIOR JOINT 2 A3.4 LAMINATE LAVATORY LINEN CLOSET LEFT HAND EL: 10'-0" LENGTH OF CURVE LOW POINT LIGHT LIGHT WEIGHT MATERIAL $\langle 4 \rangle$ MECHANICAL MEDIUM METAL FRAME, FRAMING MANUFACTURER (2) (A3.4) MINIMUM MOLDED MASONRY OPENING MODULE MOUNTED A3.4 METAL NORTH NOT APPLICABLE NOT IN CONTRACT 2 (A3.4 NOMINAL NOT TO SCALE OUTSIDE DIMENSION ON CENTER OPPOSITE HAND A3.4 OVERHEAD PERPENDICULAR (12A) PERIMETER M PLATE PLASTIC PLASTIC LAMINATE PLYWOOD PANEL WD DBL SEAL PAIR PRESSURE-TREATED PAINTED $\langle 1 \rangle$ QUANTITY RETURN AIR ROOF DRAIN REFERENCE ST1 REFLECTED 2 REINFORCED REQUIRED 'n RETURN REVISION **RIGHT HAND** ROOM ROUGH OPENING REVERSE KLR SPRINKLERS SHEET IED SCHEDULE STORM DRAIN SECTION SHEET SIMILAR SLEEVE PRF SOUNDPROOF SQUARE STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURE SUSPENSION SYMMETRICAL THREAD TO BE REMOVED TOP OF CONCRETE DRAWING LIST TELEPHONE TONGUE AND GROOVE THICK(NESS) TOP OF STEEL TOP OF WALL TELEVISION TYPICAL FIN UNFINISHED UNLESS NOTED OTHERWISE ISSUED VAPOR BARRIER VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD Cover VINYL VINYL WALL COVER WEST A0.1 A1.0 WITH WITHOUT A3.0 Roof Deck Sections WATER CLOSET WOOD A5.0 Roof Deck Perspectives WALL HUNG WALK IN CLOSET WIDTH WITHOUT ΒY

# ARCHITECTURAL SYMBOLS: DOOR TYPE DETAIL KEY DRAWING NUMBER SHEET NUMBER - NOTE ENLARGED PLAN KEY DRAWING NUMBER SHEET NUMBER - NOTE FLOOR ELEVATION WALL TYPE DESIGNATOR ELEVATION KEY <u>DRAWING NUMB</u>ER SHEET NUMBER - NOTE BUILDING SECTION KEY DRAWING NUMBER SHEET NUMBER NOTE WALL SECTION KEY DRAWING NUMBER SHT. NO. INTERIOR ELEVATION DESIGNATION WINDOW TYPE S SEALANT TAG NOTE WINDOW TAG DOOR TAG NOTE KEY ROOF SLOPE KEY DRAWING TITLE Basement - Scheme "A" SCALE: 1/4" = 1'-0" DRAWING SCALE -----EXISTING WALL NEW WALL HIDDEN LINE \_\_\_\_\_ DEMO WALL ARCHITECTURAL Drawing List / Notes

SYMBOLS LEGEND

GENERAL NOTES	
. IF DRAWING IN THIS SET IS LESS THAN 24" BY 36" IT IS A REDUCED DRAWING. REDUCE NOMINAL SCALE ACCORDINGLY.	ARCH
2. THIS DRAWING COVERS GENERAL NOTES SYMBOLS AND ABBREVIATIONS FOR THE ARCHITECTURAL DISCIPLINE ONLY. FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS OF OTHER DISCIPLINES SEE APPROPRIATE SHEETS FOR SUBCONSULTANT. 3. REFER TO THE PROJECT SPECIFICATIONS FOR GENERAL CONTRACT REQUIREMENTS, MATERIALS, WORKMANSHIP AND SHOP	
THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND BE KNOWLEDGEABLE OF THE CONDITIONS THEREON. THE	Stephen L. 28 Woodbin <sub>tel</sub> 617.413.
ARCHITECT IN WRITING OF ANY CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH WORK.	IE email Steph
5. THE CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR SIDEWALK, DRIVEWAYS, CURBS, GUTTERS, STREET AND SITE IGHTING, EASEMENTS, UTILITIES, ETC, ON OR ADJACENT TO THE PROPERTY WITH THE STANDARDS PUBLISHED BY THE CITY OF BOSTON (DEPARTMENT OF PUBLIC WORKS), AND OBTAIN ALL PERMITS PRIOR TO STARTING THE WORK, IF REQUIRED.	
3. ALL DIMENSIONS SHALL BE FIELD COORDINATED BY THE CONTRACTOR WITH ALL OTHER DISCIPLINE'S DRAWINGS, AND ANY NCONSISTENCIES REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.	
CONTRACTOR SHALL VERIFY ALL PROPOSED AND EXISTING DIMENSIONS AND ELEVATIONS IN THE FIELD. CONTRACTOR SHAL (ERIFY ALL EXISTING CONDITIONS IN THE FIELD. NOTIFY THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH RELEVA (SPECT OF THE WORK OF ANY LAYOUT CONDITION THAT IS NOT CONSISTENT WITH THE DRAWINGS OR THAT WILL IMPAIR LAYOU (DR ATTACHMENTS OF FINISHES.)	ANT
B. DO NOT SCALE THE DRAWINGS. USE INDICATED OR CALCULATED DIMENSIONS AND ELEVATIONS IN THE FIELD. NOTIFY THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH RELEVANT ASPECT OF THE WORK OF ANY LAYOUT CONDITIONS THAT NOT CONSISTENT WITH, OR MISSING FROM, THE DRAWINGS OR THAT WILL IMPAIR LAYOUT.	ĨIS
<ul> <li>DIMENSIONING FORMAT FOR THE ARCHITECTURAL DRAWINGS IS:</li> <li>DIMENSIONS FOR PRECAST OR PREFABRICATED ELEMENTS ARE TO THE FACE OF THE ELEMENT UNLESS OTHERWISE NOTED</li> <li>DIMENSIONS FOR MASONRY AREA NOMINAL UNLESS OTHERWISE NOTED.</li> <li>DIMENSIONS FOR STUD WALLS AREA TO FACE OF FINISH UNLESS OTHERWISE NOTED.</li> <li>CRITICAL CLEAR DIMENSIONS, FINISH OPENINGS AND ROUGH OPENING REQUIRED ARE INDICATED AND ARE TO FACE OF ELEMENT.</li> </ul>	). HARF
0. IT IS INTENDED THAT FACE OF EVERY CONTINUOUS PARTITION BE FLUSH WITH OUT OFFSETS. CHANGES IN PARTITION 'HICKNESS SHALL OCCUR AT CORNERS OR OTHER FEATURES WHICH INTERRUPT THE PLANS OF THE PARTITION. FACES OF CORRIDOR PARTITIONS SHALL ALIGN ALONG THEIR ENTIRE LENGTH REGARDLESS OF PARTITION TYPE CHANGES.	BROC
1. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL LUMBER OR STEEL SIZES, ALL CONCRETE REINFORCEMENT, UNIT MASONRY REINFORCEMENT, RELIEVING ANGLE SIZES, CONCRETE FILLED LINTEL BLOCK AND ALL OTHER REQUIREMENTS FOR LOAD CARRYING MEMBERS. STRUCTURAL DRAWINGS SHALL GOVERN FOR LOAD CARRYING MEMBERS.	r S
2. REFER TO CIVIL, STRUCTURAL, PLUMBING, FIRE PROTECTION, MECHANICAL AND ELECTRICAL DRAWINGS AND APPROVED SH DRAWINGS FOR LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES DEPRESSIONS AND ATTACHMENTS.	IOP
3. REFER TO STRUCTURAL DRAWINGS FOR PENETRATIONS OF STRUCTURAL ELEMENTS. REFER ALSO TO MECHANICAL, 'LUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS FOR SLEEVES, PENETRATIONS AND EMBEDIMENTS REQUIRED FOR 'HESE SYSTEMS. THE CONTRACTOR IS TO COORDINATE ALL EMBEDMENTS AND PENETRATIONS	
4. PROVIDE ALL ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND REQUIRED MECHANICAL EQUIPMENT, WHETHER ON NOT SHOWN ON DRAWINGS, ALL ACCESS PANELS SHALL BE FLUSH AND LOCATIONS SHALL BE REVIEWED WITH THE ARCHITECT.	
5. SEE MECHANICAL, PLUMBING, FIRE PROTECTION AND ELECTRICAL DRAWINGS FOR EQUIPMENT REQUIRING HOUSEKEEPING PADS. SEE STRUCTURAL DRAWINGS FOR TYPICAL PAD DETAILS AND REINFORCEMENT.	
6. WHERE DISCREPANCIES EXIST BETWEEN THE DRAWINGS OF THE VARIOUS TRADES, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH WORK.	Drainet Number
7. COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL AND ELECTRICAL INSTALLER. WHERE DISCREPANC XIST BETWEEN DRAWINGS AND INSTALLATIONS, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH WORK.	Project Number CIES
8. CONTRACTOR SHALL COORDINATE SIZE AND LOCATION OF ALL SLAB AND WALL OPENINGS INCLUDING BUT NOT LIMITED TO OPENINGS IN ELECTRICAL CLOSETS, CONTROL ROOMS, BOILER AND MECHANICAL ROOMS, ETC, PER EQUIPMENT MANUFACTU	
RECOMMENDATIONS. 9. BACK KEYING REFERENCES ARE NOT INTENDED TO GIVE QUANTITY OF LOCATIONS IN WHICH A PARTICULAR DETAIL OCCURS BUT ARE TO AID CONTRACTOR IN FINDING SAMPLE LOCATION(S) IN WHICH A PARTICULAR DETAIL OCCURS.	
20. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN NTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH WORK.	
21. DETAIL DRAWINGS AND LARGER DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. ALL ROOF PENETRATION DETAILS SHALL FOLLOW ROOFING MANUFACTURERS STANDARDS TO MAINTAIN WARRENTY AND BEST PRACTICES.	
22. HVAC NOTES - DUCTS OUTSIDE CONDITIONED SPACE SHALL BE INSULATED R-8 FOR SUPPLY AND R-6 FOR RETURNS. HOT AN COLD WATER PIPING TO BE INSULATED TO R-3. SEAL ALL DUCTS TO PASS DUCT BLASTER TEST, EQUIPMENT SIZING USING MANU I CALCULATIONS, DO NOT OVERSIZE. POST ALL R-VALUES OF WALLS AND U VALUES OF WINDOWS NEAR THE ELECTRIC PANEL A EACH UNIT.	JAL
23. AT INTERSECTIONS OF DISSIMILAR WALL TYPES, HIGHEST RATED WALL IS TO RUN THROUGH THE INTERSECTION TO MAINTAI IRE ENCLOSURE. MAINTAIN FIRE RATING OF RATED WALLS AT INTERSECTION WITH COLUMN ENCLOSURES BY EXTENDING FIRE	
THE ENCLOSURE. MAINTAIN FIRE RATING OF RATED WALLS AT INTERSECTION WITH COLUMIN ENCLOSURES BY EXTENDING FIRE ATED CLOSURE AS REQUIRED. 24. THE G.C., AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE FOLLOWING:	Revisions
PROVIDE COMPLETE DESIGN/BUILD (D/B) PLUMBING, FIRE PROTECTION, H.V.A.C., SMOKE & HEAT DETECTORS, ELEC. DESIGN, FIF ALARM SYSTEM AND LAYOUT DRAWINGS WITH CALCULATIONS & LOADS WHICH CONFORM TO ALL STATE AND LOCAL CODES ATAMPED AND CERTIFIED BY A REGISTERED P.E. AS MAY BE REQUIRED BY THE CITY OF BOSTON BUILDING & FIRE DEPT., THIS	RE <u>Number</u> -
NCLUDES ANY ENERGY CONSERVATION DATA AS PER THE MASSACHUSETTS STATE BUILDING CODE. 5. ALL STAMPED AND CERTIFIED DESIGN/BUILD DRAWINGS COMPLETED BY G.C.'S SUBCONTRACTORS MUST BE SUBMITTED TO HE CLIENT FOR REVIEW PRIOR TO ANY CONSTRUCTION START. THE G.C. MUST RECEIVE WRITTEN PERMISSION FROM THE CLIEN	
BEFORE BEGINNING ANY WORK. 26. ISOLATE DISSIMILAR METALS AND CORROSIVE MATERIALS FROM DIRECT CONTACT AS INDICATED OR BY THE USE OF	
EOPRENE OR EPDM WASHERS/GASKETS OR BY OTHER SUITABLE MEANS TO ELIMINATE OPPORTUNITIES FOR GALVANIC ACTION 7. THE E.C. WILL BE RESPONSIBLE FOR CONFORMING TO NEC & MEC LATEST EDITIONS FOR ALL ELECTRICAL WORK.	JS
29. THE G.C. SHALL BE RESPONSIBLE FOR DAILY REMOVAL AND LEGAL DISPOSAL OF ALL DEBRIS. 20. THE G.C. AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES AS REQUIRED BY THE CITY OF BOSTO	 
BUILDING DEPARTMENTS.	
REQUIREMENTS WITH THE CITY OF BOSTON FIRE DEPARTMENT.	Scale: SEE
MATERIALS LEGEND	
EARTH ALUMINUM RIGID INSULATION	GENE SYMBO
GRAVEL CONCRETE BATT INSULATION	LIST, (
GRANITE WOOD CMU	

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RRIS RESIDENCE

190 WEST DOKLINE STREET

SOUTH END

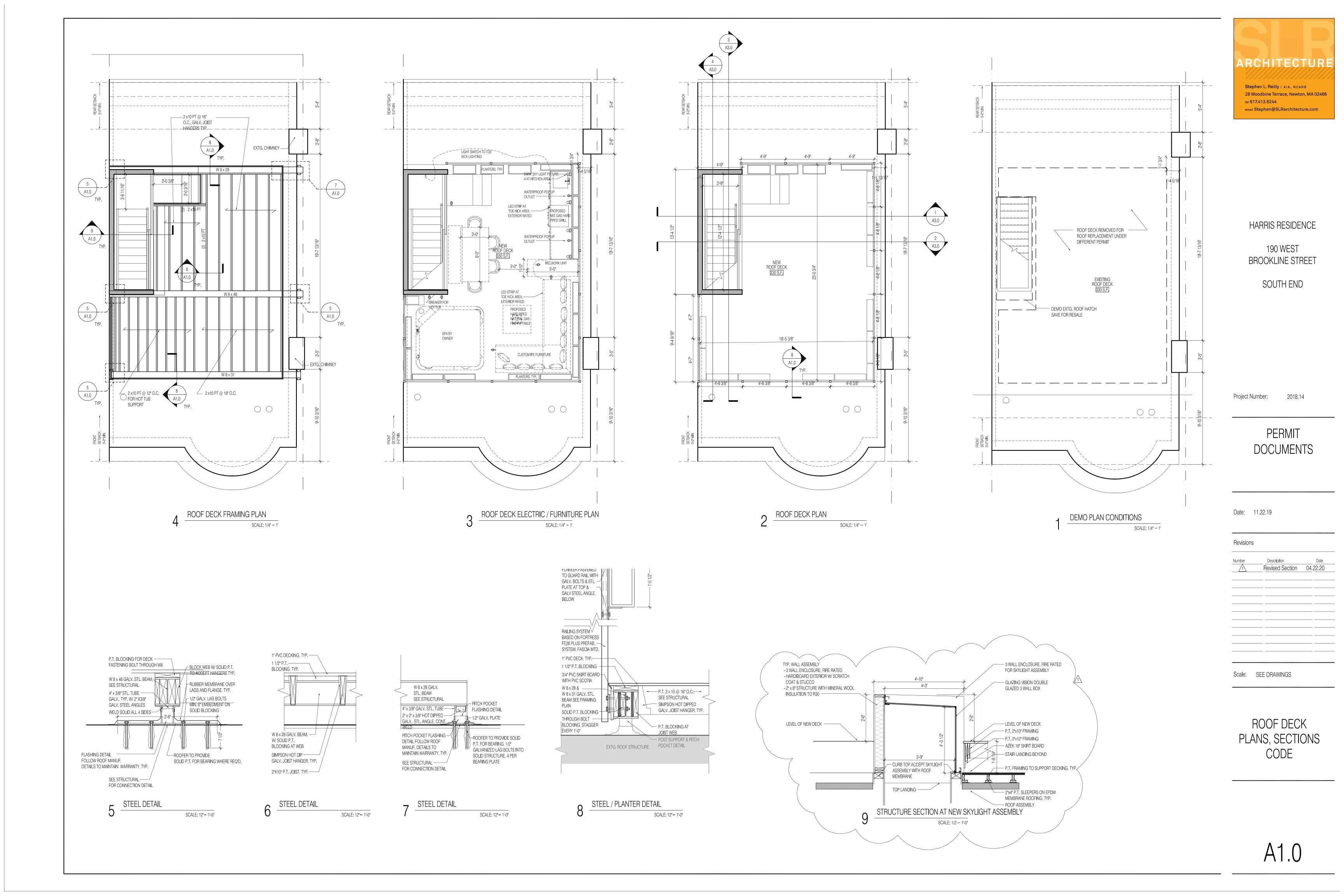
ber: 2018.14

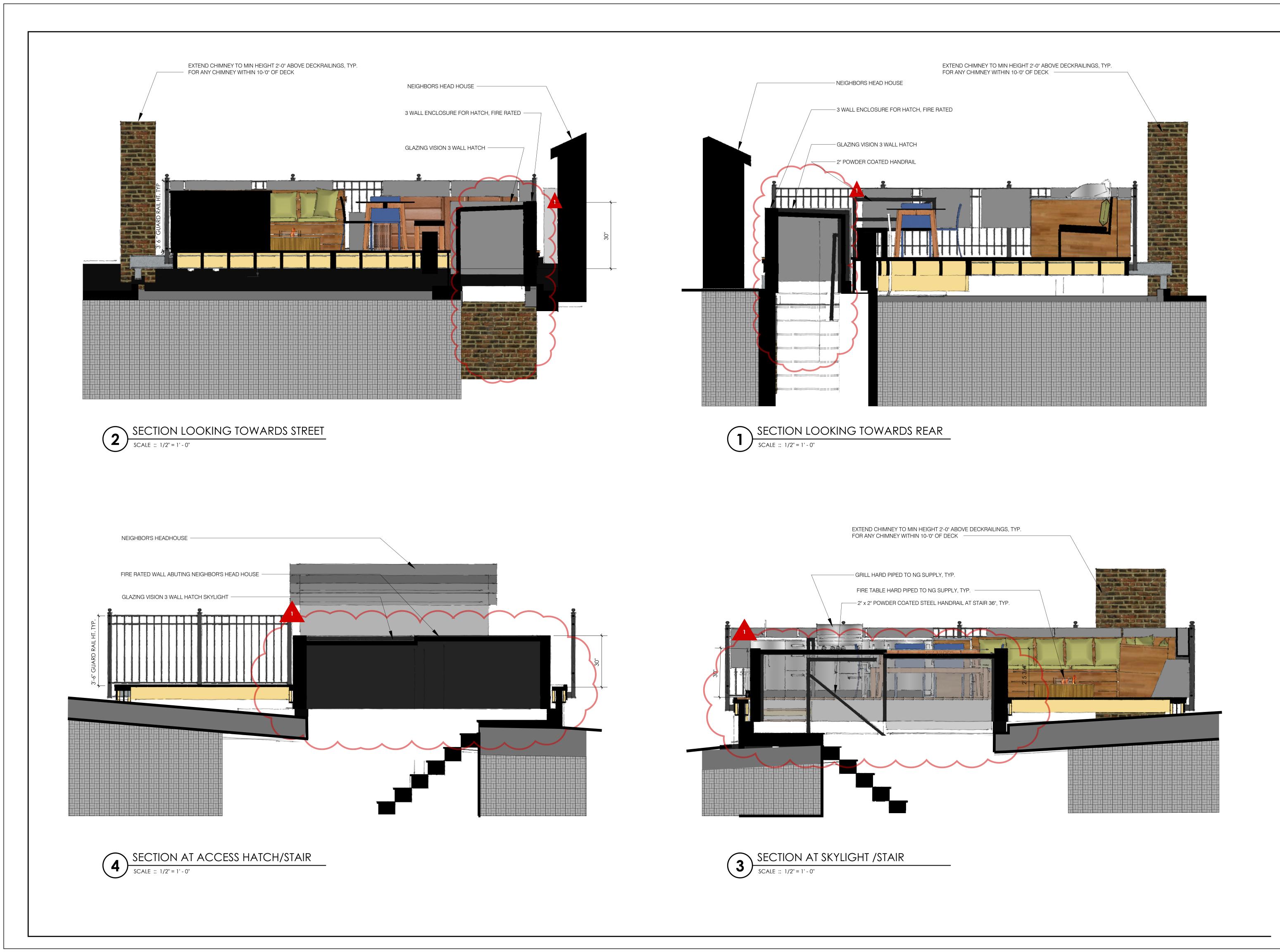
# PERMIT OCUMENTS

Date: 11	.22.18	
Revisions		
Number	Description	Date
1	Revised Section	04.22.20
Scale: S	EE DRAWINGS	

## ERAL NOTES, OLS, DRAWING CODE INFO

DATE ISSUED Demo / Roof / Framing Plans / Details 







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### HARRIS RESIDENCE

190 WEST BROOKLINE BOSTON, MA

PROJECT NUMBER: 2018.14

### **PERMIT DRAWINGS**

DATE: 12.22.19

REVISIONS

Num	ber	Description	Date
1	HEAD	HOUSE MOD	04.22.20
Scale	e: As No	oted	

### ROOF DECK SECTIONS





# **A5.0**

## **ROOF DECK** PERSPECTIVES

Scale: As Noted

1 HEADHOUSE MOD 04.22.20

Description

Date

REVISIONS

Number

DATE: 12.22.19

### PERMIT DRAWINGS

PROJECT NUMBER: 2018.14

190 WEST BROOKLINE BOSTON, MA

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