

Project Team:

Architecture:
SHOPE RENO WHARTON LLC

Landscape Architecture:
GREGORY LOMBARDI DESIGN

General Contractor:
SEADAR CONSTRUCTION

Historic Preservation:
PRESERVATION TECHNOLOGY ASSOC. LLC

Back Bay Architectural Historian:
WILLIAM YOUNG

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321 - 323 MARLBOROUGH STREET

Boston, Massachusetts

PROJECT NUMBER **1911**

ISSUE DATES	ISSUED FOR B.B.A.C REVIEW: 05.19.2020	
SCALE:	As Shown	PROJECT NO: 1911
TITLE SHEET	DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	
18 MARSHALL STREET, SOUTH NORWALK, CT 06854 SHOPE RENO WHARTON LLC shoperenowharton.com T: 203.852.7250		
T1 SHEET NO.		

DESCRIPTION OF WORK

Marlborough Street Facade:

- Restore brownstone facade to original condition. Replace brownstone where stone has deteriorated beyond restoration or where original detail is missing. All replacement stone to be pre-cast material of color and texture to match original brownstone.
- Replace eave and cornice with red copper paneling, brackets, dentils and cornice to match building original. Replace all gutter and downpipes with red copper to match.
- Remove slate at mansard roofing. Repair sheathing and waterproof prior to installing new slate roofing to match original. All flashings and exposed metal roofing to be red copper. Restore all mansard level dormer trim, casings, brackets, and eave to original condition.
- Replace all exterior windows (currently aluminum) with new painted wood windows, black. New windows to be double hung units custom sized to match existing masonry openings to remain. Insulated low-e glass in 2-over-2 simulated divided light pattern. Narrow brickmold to match original conditions.
- Remove all fire balconies and ladders from this side of the building.
- Remove all window a/c units. (Renovation will include central air conditioning.)
- Painted wood entry doors for both 321 and 323 to be restored to new condition. New mortise lockset hardware to be installed with digital keypad and intercom control. Existing metal grille at the 323 entry doors to be refurbished and repainted. Brass building numbers to be restored and gold leafed.
- Replace brownstone front steps and curbing to original condition. Add code-required guardrail and handrail in painted steel pattern to match existing garden fencing design at 323. New laundry dryer vents to be concealed in sidewall of the entry steps to 323.
- See Gregory Lombardi Design drawings for proposed work at front gardens, terrace, walkways, curbs, fencing, trees and plantings.

North Facade (Alley Side):


- Clean and restore brick wall to original condition, re-point mortar joints where needed, replace broken brick where needed with matching brick.
- Replace all exterior windows (currently aluminum) with new painted wood windows, black. New windows to be double hung units custom sized to match existing masonry openings to remain. Insulated low-e glass in 2-over-2 simulated divided light pattern. Narrow brickmold to match original conditions.
- Restore original bay window features to original condition and provide new red copper flat-seam roofing at each bay.
- Remove all fire ladders and balconies from the rear facade, except for the fourth floor balcony which is shared by 319 Marlborough Street. That balcony is required by code, and shall be restored to safe condition and repainted.
- Remove existing copper gutter and downpipes and replace with new red copper. New downpipes to be relocated to the outside corners of the building (far east and far west, respectively.)
- At the existing first floor window between the two bays, replace the aluminum window with a new inswing painted wood door, black with 4-lite insulated glass pattern similar to adjacent windows. Retain sides and head of exist. masonry opening. Add painted steel Juliet Balcony, black, at this door.
- Along rear elevation of building, lower grade by 2'-4". (Existing grade appears to have been built up over time, and has buried the sills of the existing basement doors.)
- Below both existing bay windows, remove exist. aluminum windows and remove the portion of brick wall between these windows. Provide a new arched opening for a garage door at 323 and for garden doors at 321, both painted wood. Maintain the left and right side masonry openings from the prior windows. New brick arches to match configuration of original arches elsewhere on the buildings. Garage door to be "carriage house" design with overhead operation, 5 insulated glass lites at the top on each side, over solid panels below. Garden doors to have 4-lite insulated glass pattern similar to adjacent windows.
- At the exist. rear entry door at 321, maintain the masonry opening of the head and sides, but replace flat steel door with a new painted wood window, black, with 4-lite insulated glass pattern. Window to be sized smaller than the masonry opening, with 5" painted casing consistent with historical "coal chute" imagery.
- At the exist. rear entry door at 323, replace the flat steel door with a painted wood entry door. Door to have solid wood panel below and 2-lite insulated glass at the top of the door. Maintain exist. masonry opening.
- All basement level doors and windows to be painted Ben. Moore Historical Color HC-76 "Davenport Tan" to reduce contrast with surrounding brick. All units above to be painted black.
- Restore brownstone window sills at all locations where possible and replace with pre-cast where needed.
- Install 2 new copper sconces (Fourteenth Colony CN2) by basement level doors.
- New doors to have mortise locksets with keypad access and intercom.
- See Gregory Lombardi Design drawings for proposed work at driveway, garden and driveway walls, terrace, trees and plantings.

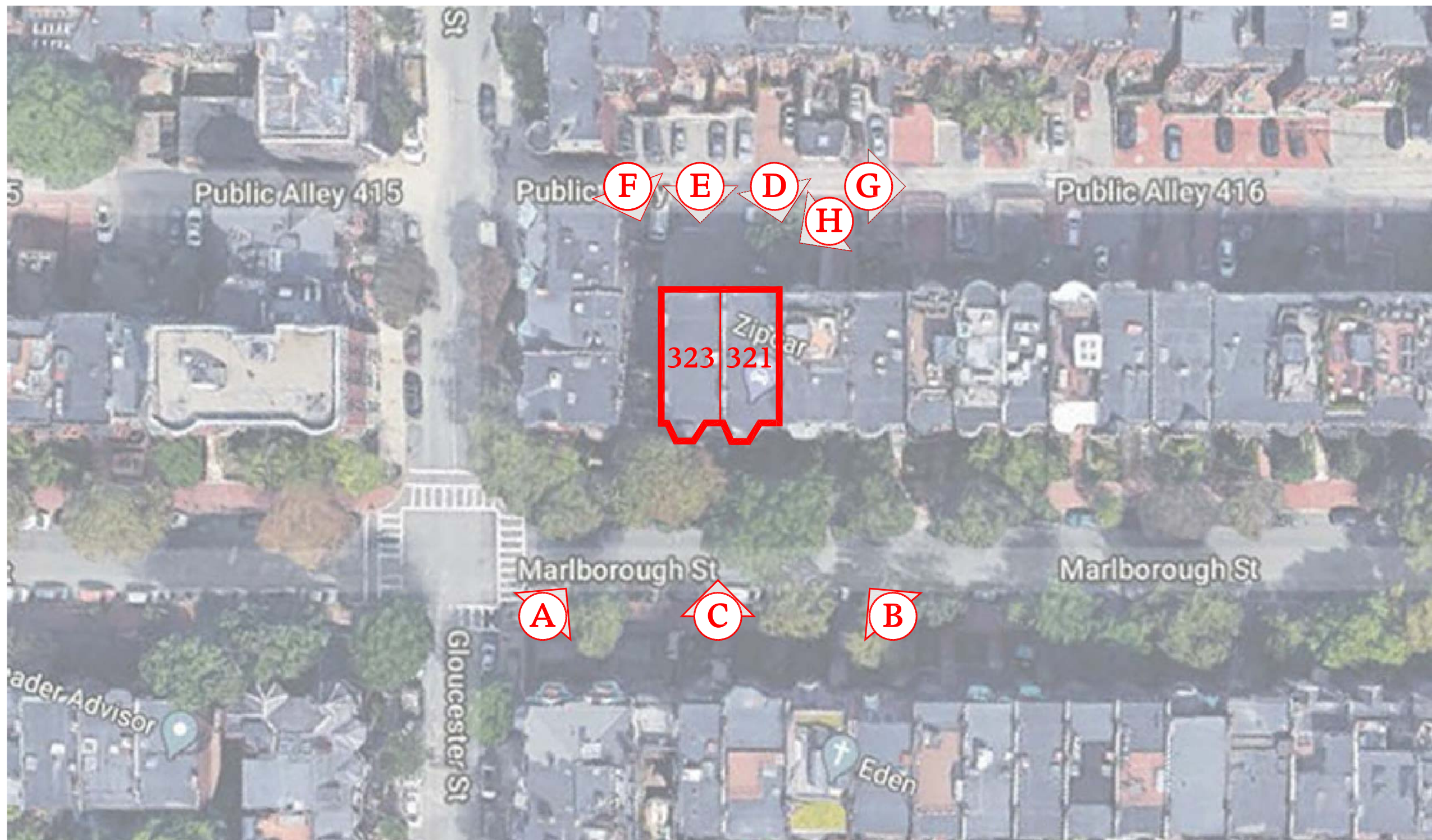
West Party Wall:

- Clean and restore brick wall to original condition, re-point mortar joints where needed, replace broken brick where needed with matching brick.
- Replace the single existing exterior window (currently aluminum) with a new painted wood window, black. New window to be double hung unit custom sized to match the existing masonry opening to remain. Insulated low-e glass in 2-over-2 simulated divided light pattern. Narrow brickmold to match original conditions.
- Add eight (8) new painted wood windows, black. New windows to be double hung units custom sized for consistency with the north wall windows on each floor. Insulated low-e glass in 2-over-2 simulated divided light pattern. Narrow brickmold to match original conditions.



Roof Areas:

- Clean and restore brick chimneys to original condition, re-point mortar joints where needed, replace broken brick where needed with matching brick. Remove all wire flue baskets, and add new copper chimney cap flashing and three (3) Superior Clay Mini Edwardian chimney pots to each chimney.
- Replace all membrane roofing with Kemper System Kemperol 2k-PUR with Kemperdur aggregate surface system in "Dark Sandstone" color.
- Replace all party wall flashings and caps with new red copper.
- At central roof area on the western side, add roof deck of spaced Ipe' 5/4"x6" decking with concealed stainless steel fasteners over sloping sleepers. Guardrails to be painted steel and set back between chimneys.
- At southeastern roof area, not visible from public way, install one 5'-0" x 10'-6" Lamilux pyramidal skylight, frame and curb to be powder coat painted to match dark brown copper color.
- From east to west, along northern roof areas, set back from roof edge and not visible from public way, install six (6) Lamilux FE series skylights, frame and curb to be powder coat painted to match dark brown copper color. Skylights to align with existing fourth floor windows in north elevation.
- At northeast corner of roof, set back 10'-6" from north roof edge, and not visible from public way, install two (2) Mitsubishi Citi-Multi 10-ton VRF heat pumps, model PURY-EP120TNU-A, 71.75"h x 29.25"w x 49"l installed on 12" pedestal for snow.
- In same area, intall one (1) Mitsubishi P-series heat pump, model PUZ-A18NHA6, 31.5"w x 12"d x 24" high installed on 12" pedestal for snow.
- At areas along the north roof and south roof, set back from the roof edge and not visible from public way, install green roof planting trays with 12" lightweight soil depth as planting bed for natural grasses.
- At Southwest roof area, not visible from public way, two roof exhaust terminations for gas fireplaces, copper.
- Northwestern chimney at 323 will have a sidewall louver on the east side of the chimney for boiler air intake, copper. Not visible from public way.
- Southwestern chimney at 323 will have a sidewall termination for boiler exhaust, copper. Not visible from public way.
- Proposed Penthouse Addition to have flat-seam copper wall cladding and Kemper roofing membrane. Penthouse to have stainless steel sliding pocket doors, powder coat painted black, with insulated divided lites.
- Four new copper sconces between Penthouse doors to be Fourteenth Colony CN2.
- Penthouse roof to include two (2) 5'-0" x 10'-6" Lamilux pyramidal skylights, frame and curb to be powder coat painted to match dark brown copper color.
- Penthouse roof to include flat-seam copper clad elevator head house with code required 2'x2' louvered vent, copper.
- Penthouse roof to include 6" diam. plumbing vent, sheathed in copper, two copper gas fireplace exhaust flues, and Greenheck CUE updraft exhaust fan finished in medium gray performance coating to minimize glare / reflection.
- North sidewall of Penthouse to have 24" x 48" louvered air intake grille, copper.

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SCALE:	As Shown
PROJECT NO:	1911
DESCRIPTION OF WORK	DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET
	SHEET NO.



LOCUS MAP
N.T.S.

LOCUS MAP DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET		SCALE:	ISSUE DATES
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		1911	
 SHEET NO.			

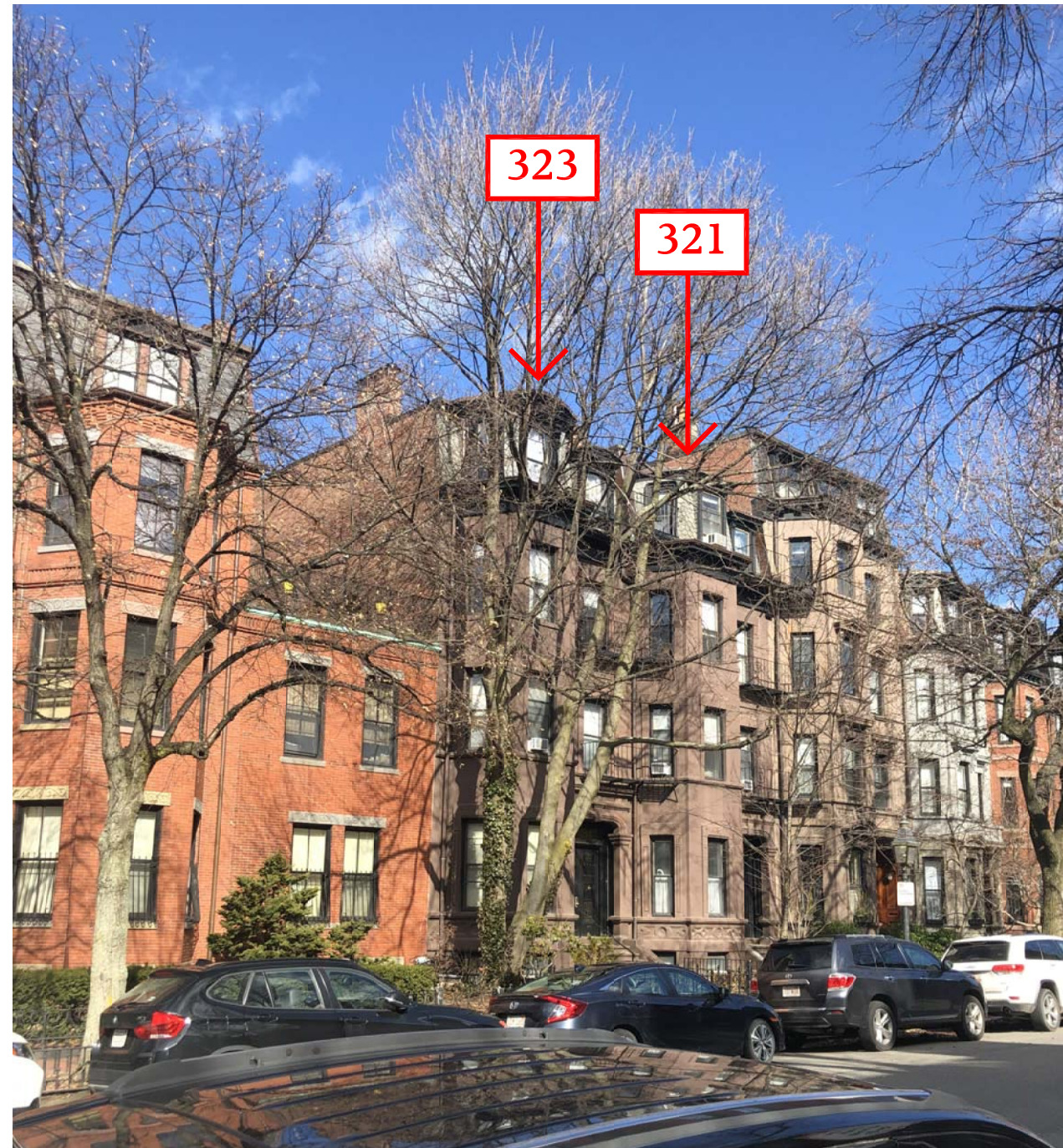


PHOTO "A" - View from Southwest



PHOTO "B" - View from Southeast

<p>EXIST. CONDITIONS PHOTOS</p> <p>DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET</p>		<p>SCALE: As Shown</p> <p>PROJECT NO: 1911</p>	<p>ISSUE DATES</p> <p>ISSUED FOR B.B.A.C REVIEW: 05.19.2020</p>
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<p>A3</p> <p>SHEET NO.</p>			



PHOTO "C" - Facade Elevation



<p>EXIST. CONDITIONS PHOTOS</p> <p>DRAWING TITLE:</p> <p>MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET</p>		<p>SCALE:</p> <p>As Shown</p>	<p>ISSUE DATES</p> <p>ISSUED FOR B.B.A.C REVIEW:</p> <p>05.19.2020</p>
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 <p>SHEET NO.</p>			



PHOTO "D" - Rear Facade
View Toward #319



PHOTO "E" - Rear Facade



PHOTO "F" - Rear Facade
Showing West Party Wall
and 325 Marlborough

(Due to the proximity of 5
Gloucester, this photo shows the
most that can be seen of the 323
west wall from any vantage point.)

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As Shown		1911	
EXIST. CONDITIONS PHOTOS		DRAWING TITLE:	
MARLBOROUGH HOME LLC		321 - 323 MARLBOROUGH STREET	
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A5		SHEET NO.	



PHOTO "G" - Public Alley
(for context)

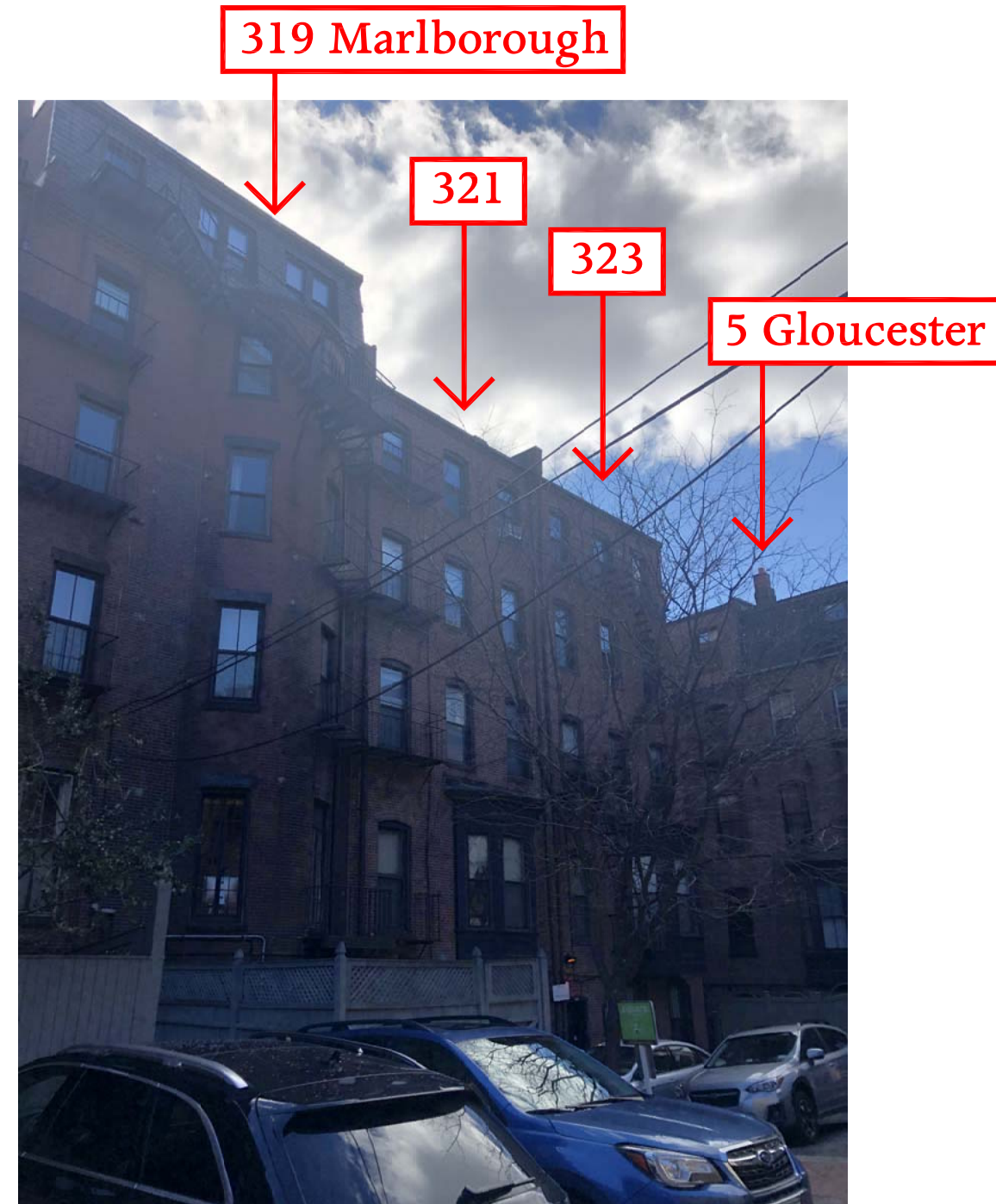


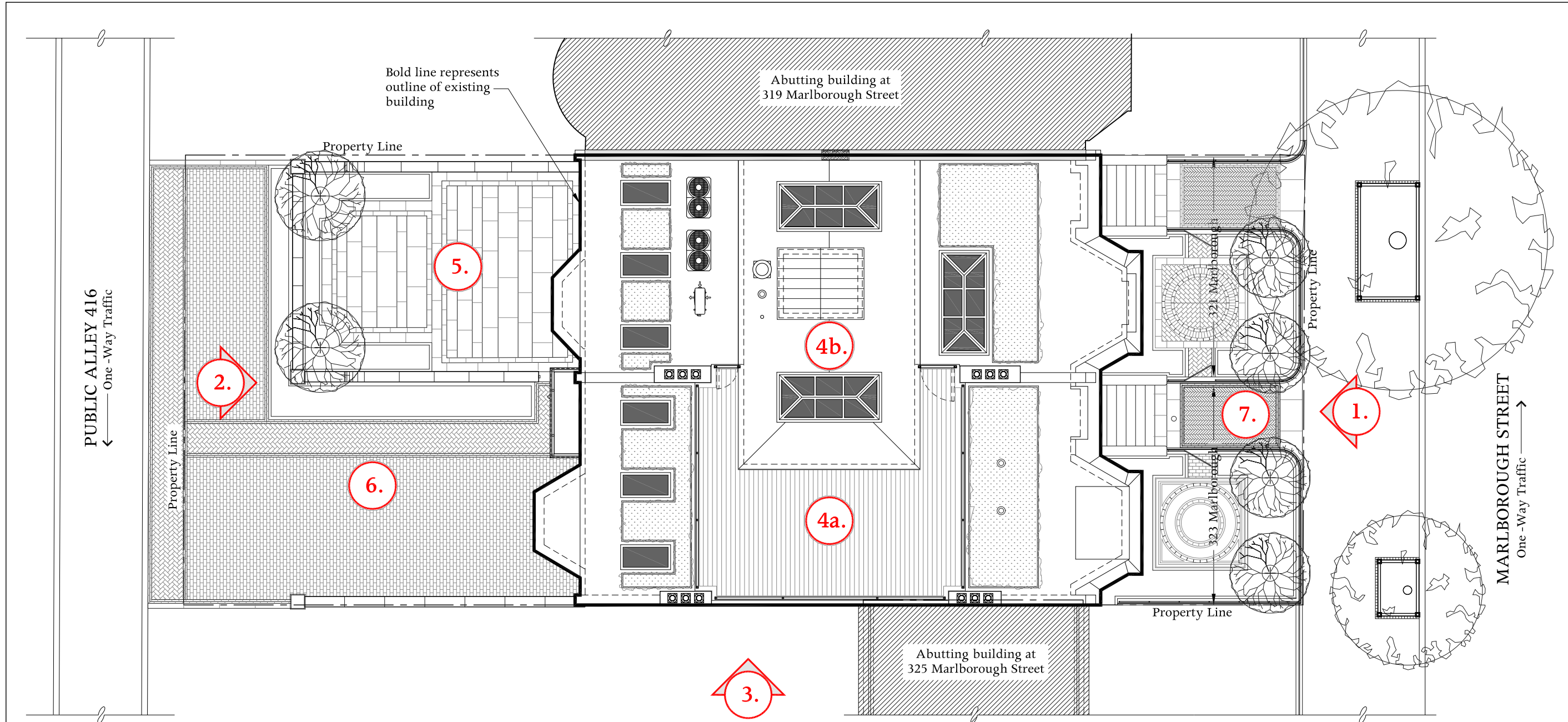


PHOTO "H" - Rear Facade
Showing both abutting buildings

EXIST. CONDITIONS PHOTOS DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET		SCALE: As Shown PROJECT NO: 1911	18 MARSHALL STREET, SOUTH NORWALK, CT 06854 SHOPE RENO WHARTON LLC shoperenowharton.com  T.203.852.7250	ISSUE DATES ISSUED FOR B.B.A.C REVIEW: 05.19.2020
		SHEET NO.		



Bold line represents outline of existing building

PUBLIC ALLEY 416
← One -Way Traffic

Abutting building at 319 Marlborough Street

MARLBOROUGH STREET
One -Way Traffic →

Abutting building at 325 Marlborough Street

KEY PLAN OF PROPOSED WORK

3 / 3 2 " = 1 ' - 0 "

- | | |
|---|---|
| <ul style="list-style-type: none"> 1. South Elevation, Marlborough Street Facade, See SRW sheets B1 - B5 2. North Elevation, Public Alley Facade, See SRW sheets C1 - C4 3. West Elevation, See SRW sheets D1 - D3 4a. Rooftop Areas, including proposed roof deck, skylights, mechanical equipment and other improvements. See SRW sheets E1 - E10 | <ul style="list-style-type: none"> 4b. Rooftop Areas, proposed Penthouse Addition, including skylights and elevator head house. See SRW sheets E1 - E10 5. Brick Walls and Garden Terrace, See Lombardi Design sheets LA.2 - LA.10 and LA.20 6. Brick-paved driveway, see Lombardi Design sheets LA.2 - LA.10 and LA.20 7. East and West Front Gardens, Terraces, Walkways, Curbs and Fencing, see Lombardi Design sheets LA.11 - LA.19 and LA.21 |
|---|---|

	KEY PLAN DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	SCALE: $\frac{3}{32}'' = 1'-0''$ PROJECT NO: 1911	ISSUE DATES ISSUED FOR B.B.A.C REVIEW: 05.19.2020
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HISTORICAL PHOTO
 circa 1942, by Bainbridge Bunting

SHEET NO.

B1

HISTORICAL PHOTO

DRAWING TITLE:

MARLBOROUGH HOME LLC
 321 - 323 MARLBOROUGH STREET

SCALE:

As Shown

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

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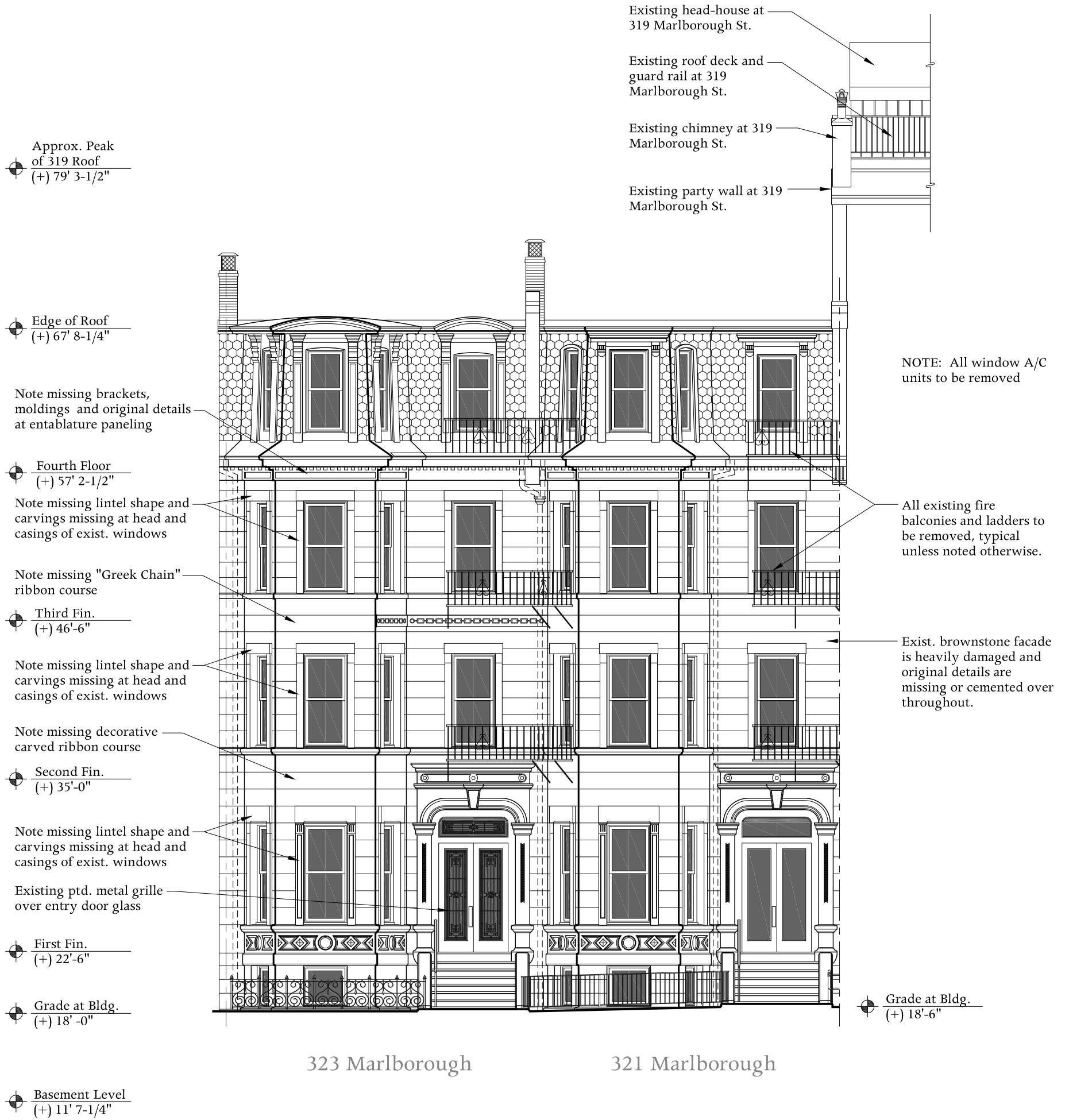
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EXISTING SOUTH ELEVATION

1/8" = 1'-0"

SEE HISTORICAL PHOTO, PRIOR PAGE, FOR EVIDENCE OF BUILDING'S ORIGINAL DETAILS

SHEET NO.

B2

SOUTH ELEVATION - EXIST.

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

1/8" = 1'-0"

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

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ISSUE DATES

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Clumsy and over-simplified entablature paneling

Raised ribbon courses of carved detail missing

Carving details filled in with cement, lintels sawed off over windows, casing and bracket carvings filled in with cement

Cemented-over grout joints



Existing Condition at 321 Marlborough



Example of Original Detail at 177 Marlborough

Clumsy and over-simplified entablature paneling

Raised ribbon courses of carved detail missing

Carving details filled in with cement, lintels sawed off over windows, casing and bracket carvings filled in with cement

Cemented-over grout joints



Existing Condition at 321 Marlborough



Example of Original Detail at 175 Marlborough

NOTE:

The designs of 321 and 323 Marlborough are attributed to F.H. Moore, Architect. The buildings are nearly identical to another matching pair of brownstone town houses built two years prior at 175 and 177 Marlborough. The architect of 175-177 is unknown, but it seems evident that F.H. Moore designed these buildings also, unless he copied their design rather flagrantly which seems unlikely. In any case, the configuration and remaining detail is remarkably consistent between 175-177 and the historical photographs of 321-323. Therefore it is reasonable to look to 175-177 for physical examples of renovation detail.

Please see the EXTERIOR CONDITIONS AND HISTORICAL ANALYSIS prepared by Dr. Judith Selwyn of Preservation Technology Associates, LLC.

SHEET NO.



EXIST. CONDITIONS PHOTOS

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

Not to Scale

PROJECT NO:

1911

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SEE SHEETS E1 - E10 FOR MORE DETAIL REGARDING ROOF LEVEL PROPOSED WORK

Peak of Elevator Head House (+) 82'-8"

Peak of Penthouse Roof (+) 77'-11" (59'-9" above average Grade)

New terra cotta chimney pots, Superior Clay Corp. "Mini Edwardian", typ.

Edge of Roof (+) 67' 8-1/4"

Existing slate mansard roof to be removed for restoration and waterproofing of substrate, then replaced with new slate roofing to match existing.

Fourth Floor (+) 57' 2-1/2"

All red copper gutter and down-pipes to be replaced with new to match exist, typ.

Third Fin. (+) 46'-6"

All existing alum. replacement windows to be removed and replaced with period-correct ptd. wood double-hung windows, typical

Second Fin. (+) 35'-0"

Ptd. wood entry doors and transoms to be restored to new condition, typ.

Existing ptd. metal grilles to be restored and to remain

First Fin. (+) 22'-6"

Grade at Bldg. (+) 18'-0"

See LA-11 through LA-19 and LA-21 for curbs, garden fencing, paving and plantings

New iron security grill set into masonry openings at each basement window only. See detail, this sheet.

New pyramidal skylight and curb behind existing bay feature

New pyramidal skylights and curb in penthouse roof, see roof plan

New ptd. steel Guardrail at roof deck, set back between existing chimneys

New elevator head-house and sidewall vent, red copper cladding

New pyramidal skylights and curb in penthouse roof, see roof plan

New Penthouse Addition, red copper cladding, membrane roofing

Native grasses in green roof planting frames - not visible from Public Way. See Roof Areas E1 - E10

Replace red copper mansard window surrounds and overhangs - match all original detail

New red copper paneled entablature and brackets to match building original

New "Greek Chain" ribbon course to match building original

New carved brownstone lintels, brackets and casing to match building original, typical

New decorative carved brownstone ribbon course to match building original

Where existing brownstone carved detail is still visible, Restore brownstone pieces if possible, replace if not. (Entry Door surrounds and base course carvings below first floor windows.)

Ptd. wood entry door and transom to be restored to new condition.

Grade at Bldg. (+) 18'-6"

Brownstone steps and curb to be replaced with new stone to match existing. All details to match exist.



323 Marlborough

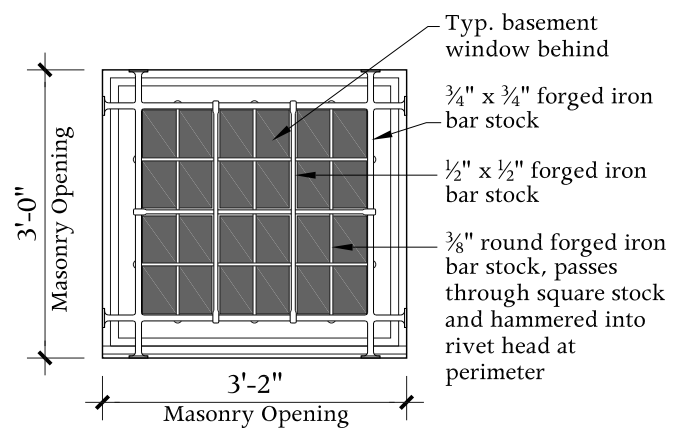
321 Marlborough

PROPOSED SOUTH ELEVATION

1/8" = 1' - 0"

GENERAL NOTES REGARDING FACADE BROWNSTONE:

- All existing paint and other coatings shall be removed from the facade's brownstone to assess the condition of the underlying stone.
- In these documents, the term "new stone" shall mean new pre-cast stone to match the color and texture of the original brownstone.
- Existing brownstone shall be restored wherever possible. Where deterioration of the original stone requires replacement, new stone shall be used in the same configuration, spacing, and mortar joint thickness as original.
- All of the building's original carved details shall be restored where allowed by the condition of the existing stone.
- Where original detail is missing, obscured, or where the condition of the stone does not allow restoration, the stone shall be replaced with new stone carved to match the original configuration and detail.
- Water resistive masonry coating to be applied where required by condition of original brownstone.



Proposed Iron Grille at Street Side Basement Windows

1/2" = 1' - 0"

SHEET NO. B4

SOUTH ELEVATION - PROPOSED

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

1/8" = 1' - 0"

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

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RENDERING OF PROPOSED
CONDITIONS
Showing Facade Restored to Original



Door access and intercom keypad, black, hidden on side wall behind right-hand pilaster at each front entry door

All windows and exterior doors to be painted black, Benjamin Moore Historical Color HC-190, typical unless noted otherwise



SHEET NO.

BS

RENDERING - PROPOSED

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

Not to Scale

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

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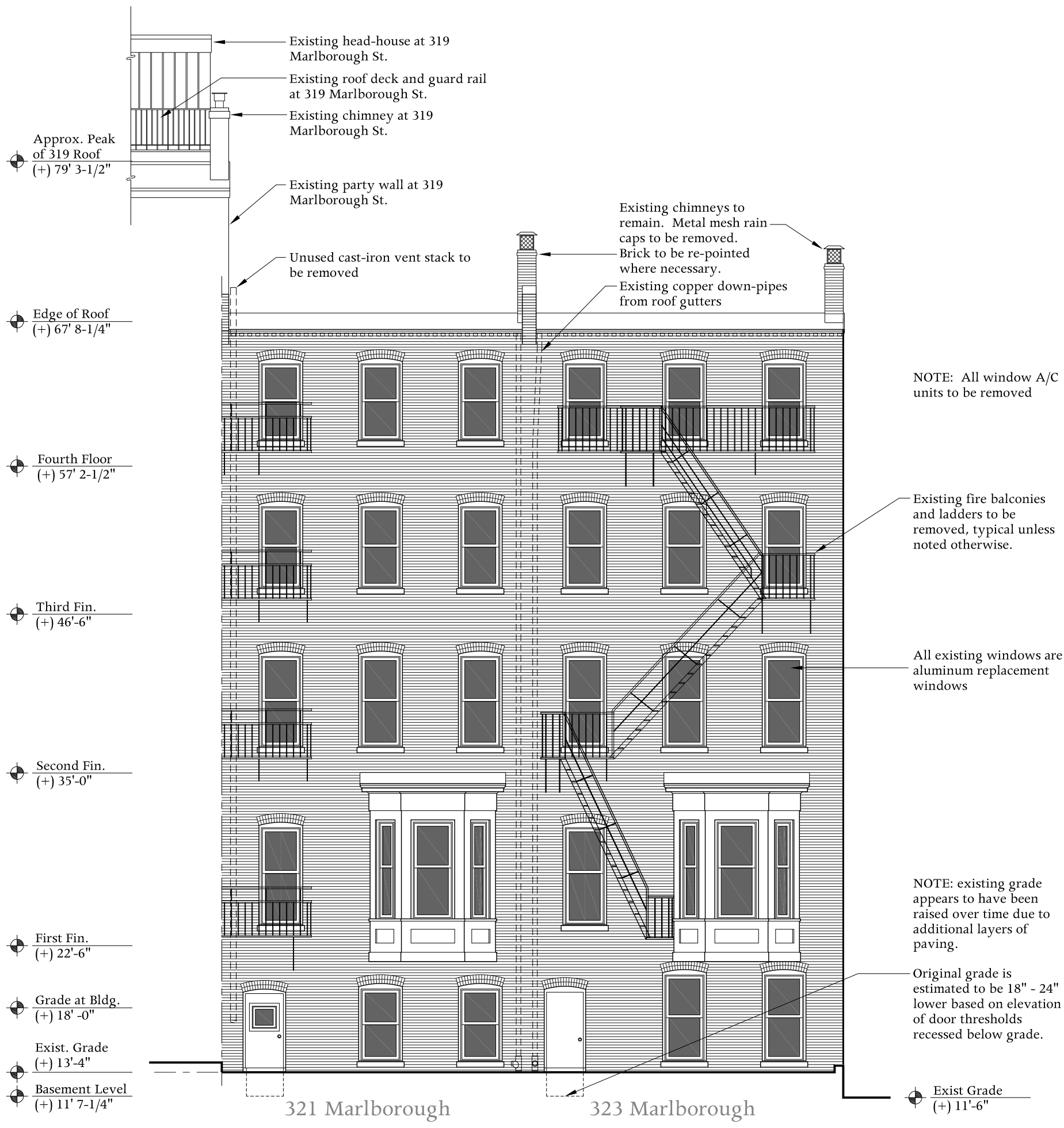


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EXISTING NORTH ELEVATION
 1/8" = 1'-0"

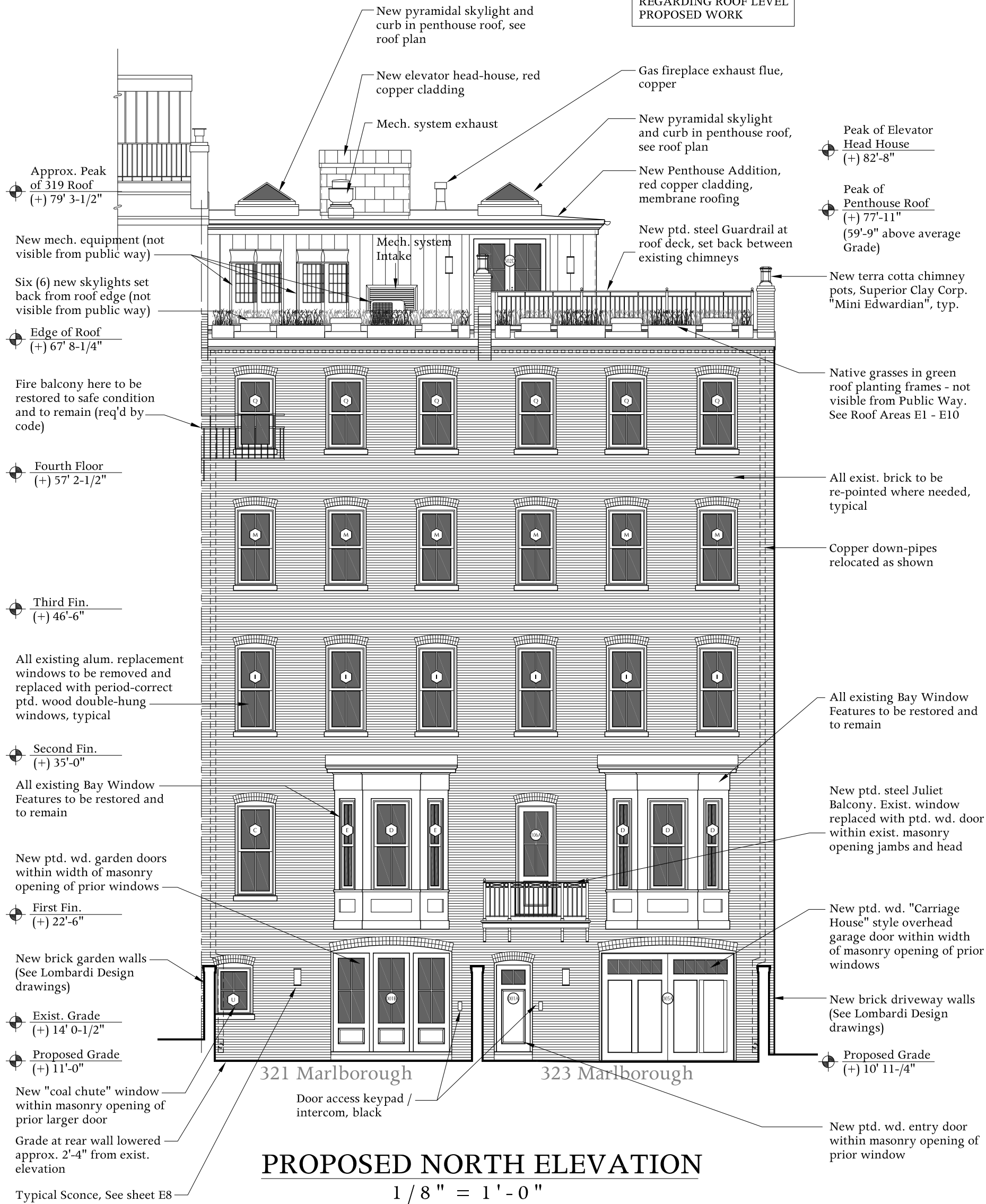
SHEET NO. 	NORTH ELEVATION - EXIST.	SCALE:	18 MARSHALL STREET, SOUTH NORWALK, CT 06854	ISSUE DATES
	DRAWING TITLE:	1/8" = 1'-0"	SHOPE RENO WHARTON LLC	ISSUED FOR B.B.A.C REVIEW:
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Existing Condition Public
Alley Facade

SHEET NO. 02	EXIST. CONDITIONS PHOTO	SCALE:	18 MARSHALL STREET, SOUTH NORWALK, CT 06854 <hr/> SHOPE RENO WHARTON LLC <hr/> <i>shoperenowharton.com</i>  T.203.852.7250	ISSUE DATES
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SEE SHEETS E1 - E10 FOR MORE DETAIL REGARDING ROOF LEVEL PROPOSED WORK





PROPOSED NORTH ELEVATION

1 / 8 " = 1 ' - 0 "



Door access keypad / intercom, black

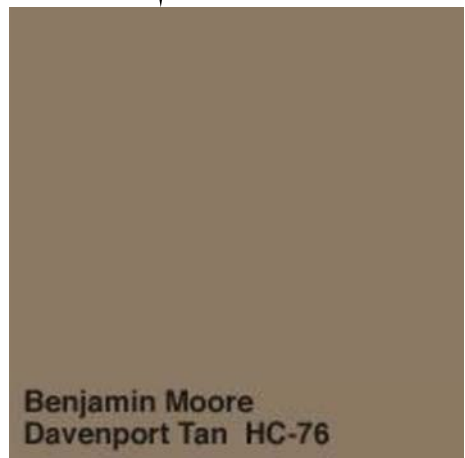
SHEET NO. 	NORTH ELEVATION - PROPOSED	SCALE:	18 MARSHALL STREET, SOUTH NORWALK, CT 06854	ISSUE DATES
	DRAWING TITLE:	1/8" = 1' - 0"	SHOPE RENO WHARTON LLC	ISSUED FOR B.B.A.C REVIEW:
	MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	PROJECT NO:		05.19.2020
		1911	shoperenowharton.com  T.203.852.7250	




All windows and exterior doors to be painted black, typical unless noted otherwise

Basement level windows and exterior doors to be painted Benjamin Moore Historical Color HC-76 "Davenport Tan" on the rear facade only.
 (for lower contrast with the brick, which focuses the eye on the original bay features above.)

RENDERING OF PROPOSED CONDITIONS
 Showing View from Public Alley



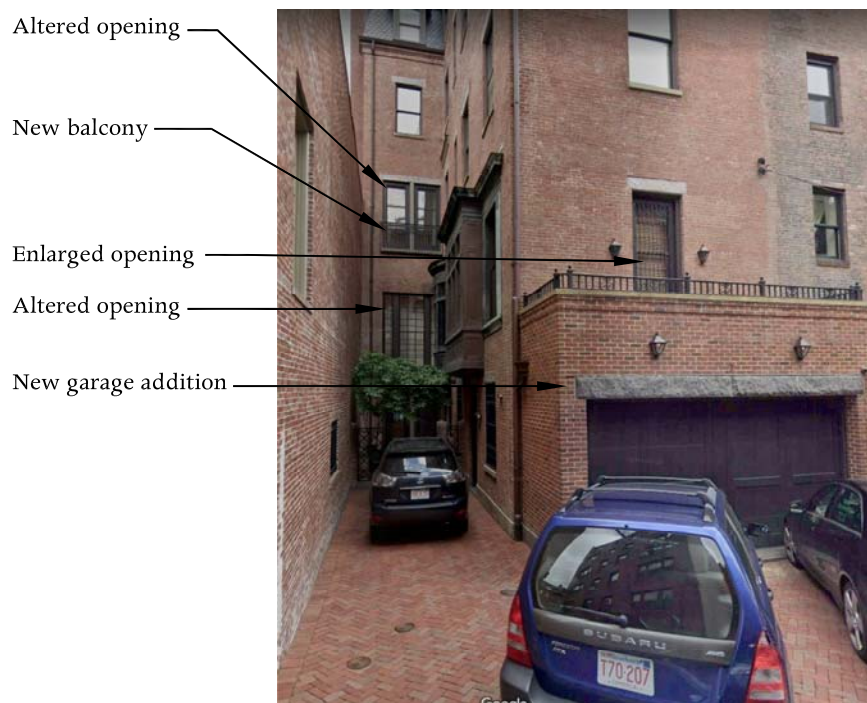
SHEET NO. 04	RENDERING - PROPOSED	SCALE:	18 MARSHALL STREET, SOUTH NORWALK, CT 06854	ISSUE DATES
	DRAWING TITLE:	Not to Scale	SHOPE RENO WHARTON LLC	ISSUED FOR B.B.A.C REVIEW:
	MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	PROJECT NO:	shoperenowharton.com  T.203.852.7250	05.19.2020
		1911		

PRECEDENT EXAMPLES (Approved in Recent Years)

7 Commonwealth Ave.



BEFORE / DURING (2009)



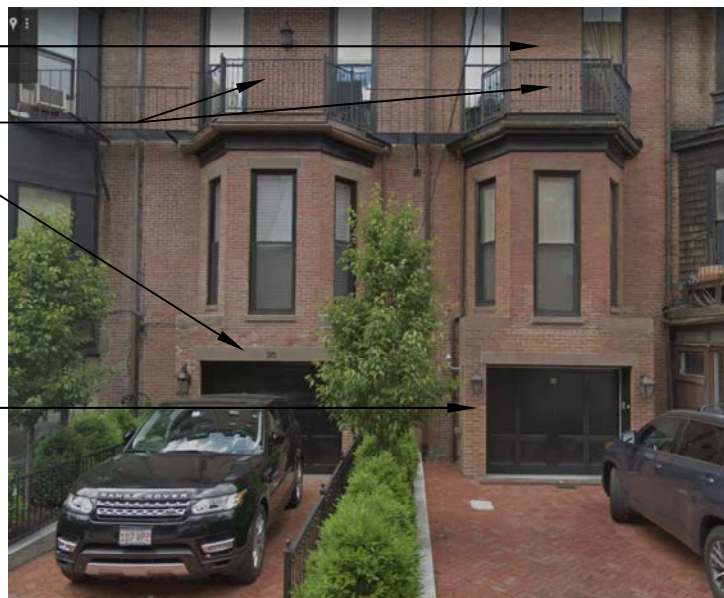
AFTER (2018)

18 & 20 Marlborough St.



BEFORE (2011)

Upper story of Bay feature removed
 New Balcony
 At 20, Lower level of Bay altered. Original basement windows removed and garage doors added 2015.
 At 18, Lower level addition removed and garage doors added.
 Note: Renovations to 18 and 20 occurred at different times.



AFTER (2018)

15 Commonwealth Ave.



BEFORE (2009)

Non-original upper stories of window bay were added
 Garage door added 2018



AFTER (2018)

SHEET NO.



PRECEDENT EXAMPLES

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

Not to Scale

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

SHOPE RENO WHARTON LLC

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ISSUE DATES

ISSUED FOR
B.B.A.C REVIEW:
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PRECEDENT EXAMPLES (Approved in Recent Years)

171 Commonwealth Ave.



BEFORE (2016)

New garage door replacing three windows in substantially unaltered facade



AFTER (2020)

197 Marlborough St.



BEFORE (2009)

New garage door replaces three windows



AFTER (2016)

35 Commonwealth Ave.



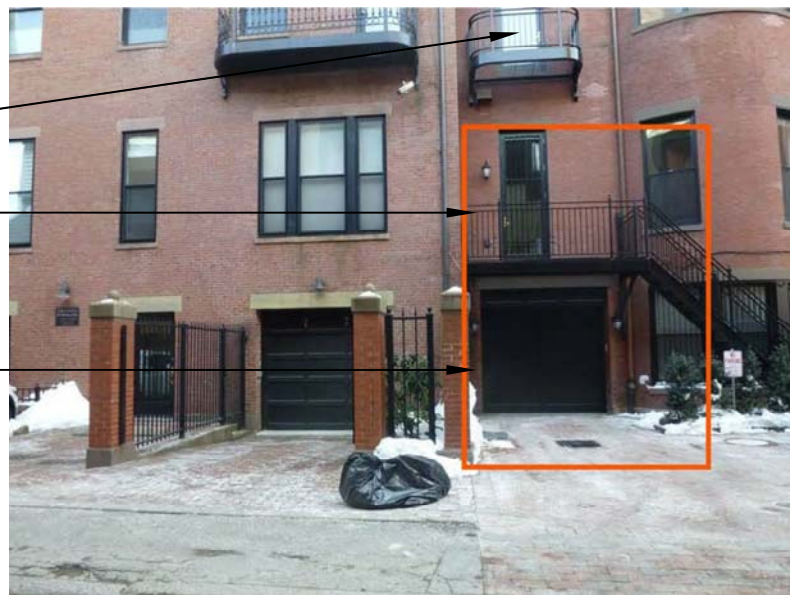
BEFORE (2016)

First floor original wall intact behind fire escape

New balcony

New Balcony with stair to grade

New garage door added at ground level



AFTER (2020)

PRECEDENT EXAMPLES (Approved in Recent Years)

45 Commonwealth Ave.



BEFORE (2007)

Balconies added above bay features

Windows altered

New lower level garage added



AFTER (2018)

117 Beacon St.



BEFORE (2011)

New garage door replaces 2 original windows in substantially original facade



AFTER (2018)

122 Commonwealth Ave.



BEFORE (2018)

New garage door replaces 2 original windows and door substantially original facade



AFTER (2020)

PRECEDENT EXAMPLES (Approved in Recent Years)

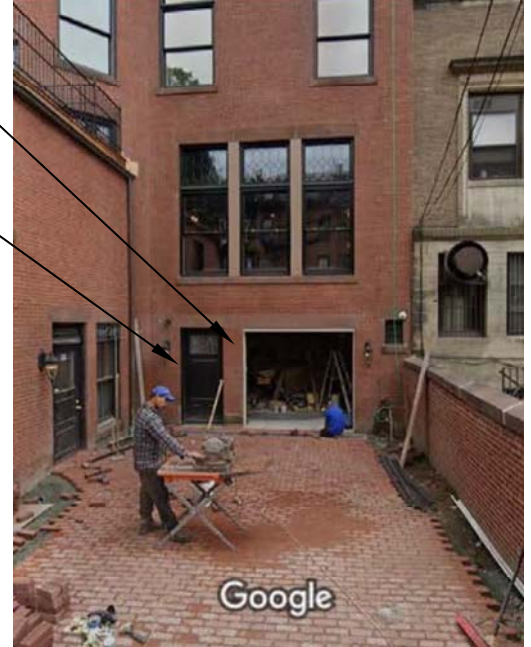
299 Commonwealth Ave.



BEFORE (2014)

New garage door replaces two windows in substantially original facade.

New entry door replaces original window



AFTER (2018)

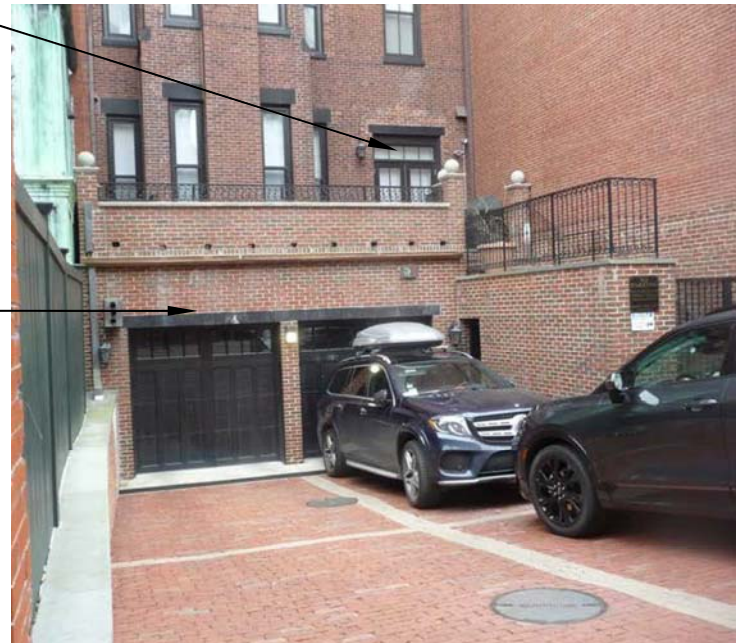
245 Commonwealth Ave.



BEFORE (2009)

Window opening altered to become french doors with transom above

2-car Garage addition over existing lower level of building in 2018 includes balcony terrace above and new stairway to grade



AFTER (2020)

SHEET NO.



PRECEDENT EXAMPLES

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

Not to Scale

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

SHOPE RENO WHARTON LLC

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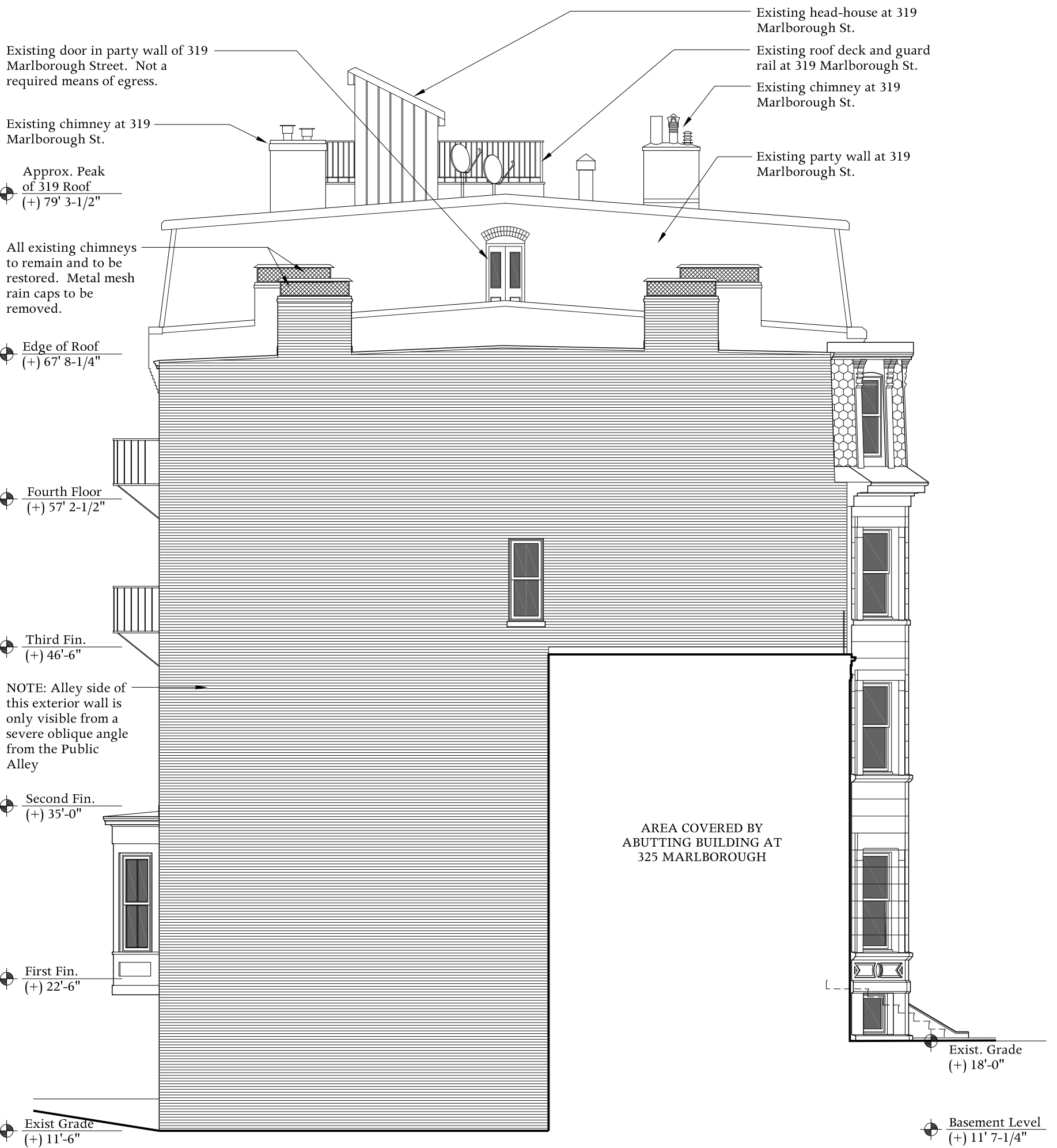


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ISSUE DATES

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B.B.A.C REVIEW:

05.19.2020

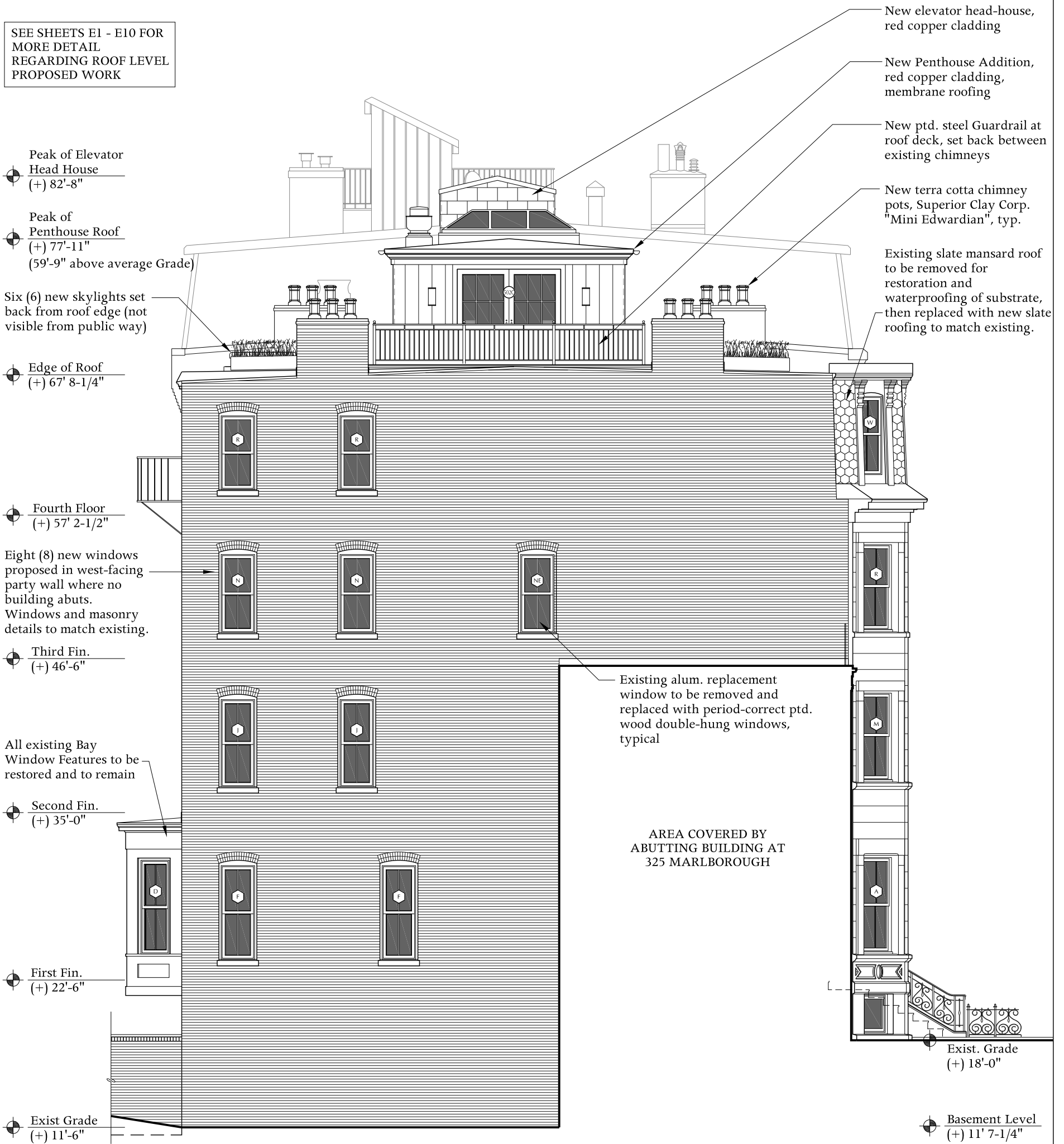


EXISTING WEST ELEVATION

1 / 8 " = 1 ' - 0 "


SHEET NO. 	WEST ELEVATION - EXIST.	SCALE:	18 MARSHALL STREET, SOUTH NORWALK, CT 06854	ISSUE DATES
	DRAWING TITLE:	1/8" = 1'-0"	SHOPE RENO WHARTON LLC	ISSUED FOR B.B.A.C REVIEW:
	MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	PROJECT NO:	shoperenowharton.com T.203.852.7250	05.19.2020
		1911		

SEE SHEETS E1 - E10 FOR MORE DETAIL REGARDING ROOF LEVEL PROPOSED WORK



PROPOSED WEST ELEVATION

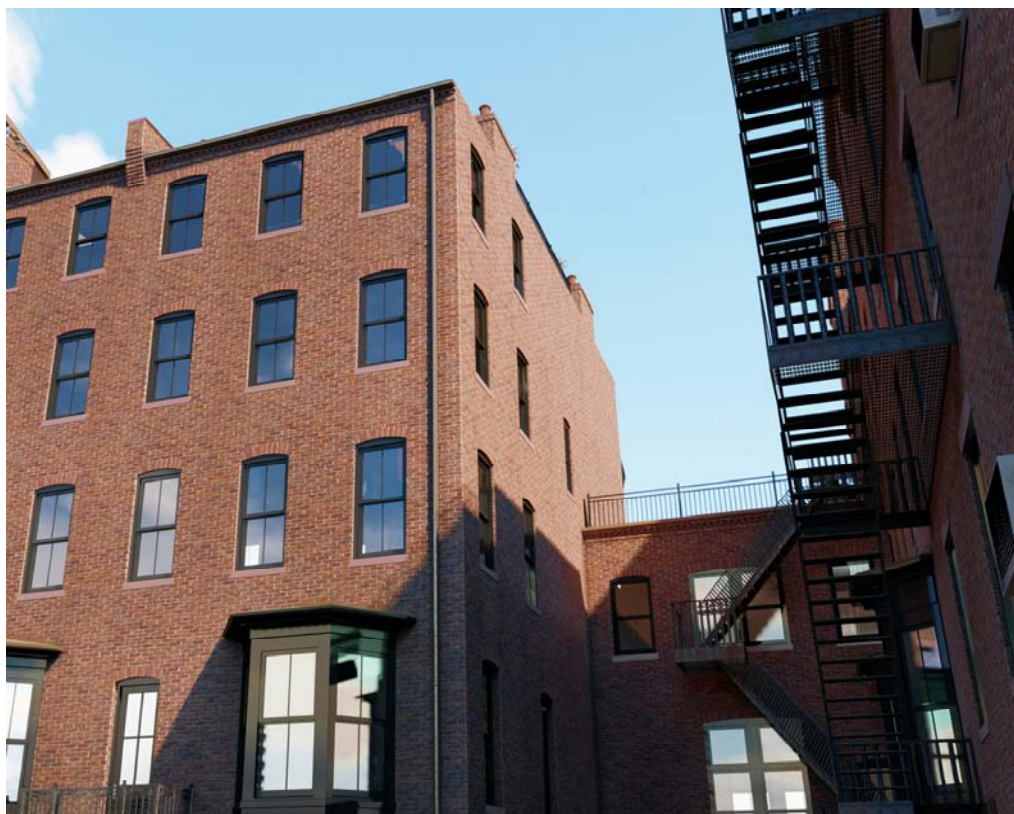
1/8" = 1'-0"

SHEET NO. 02	WEST ELEVATION - PROPOSED	SCALE:	18 MARSHALL STREET, SOUTH NORWALK, CT 06854	ISSUE DATES
	DRAWING TITLE:	1/8" = 1'-0"	SHOPE RENO WHARTON LLC	ISSUED FOR B.B.A.C REVIEW:
	MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	PROJECT NO:		05.19.2020
		1911	<small>shoperenowharton.com</small>	 T.203.852.7250



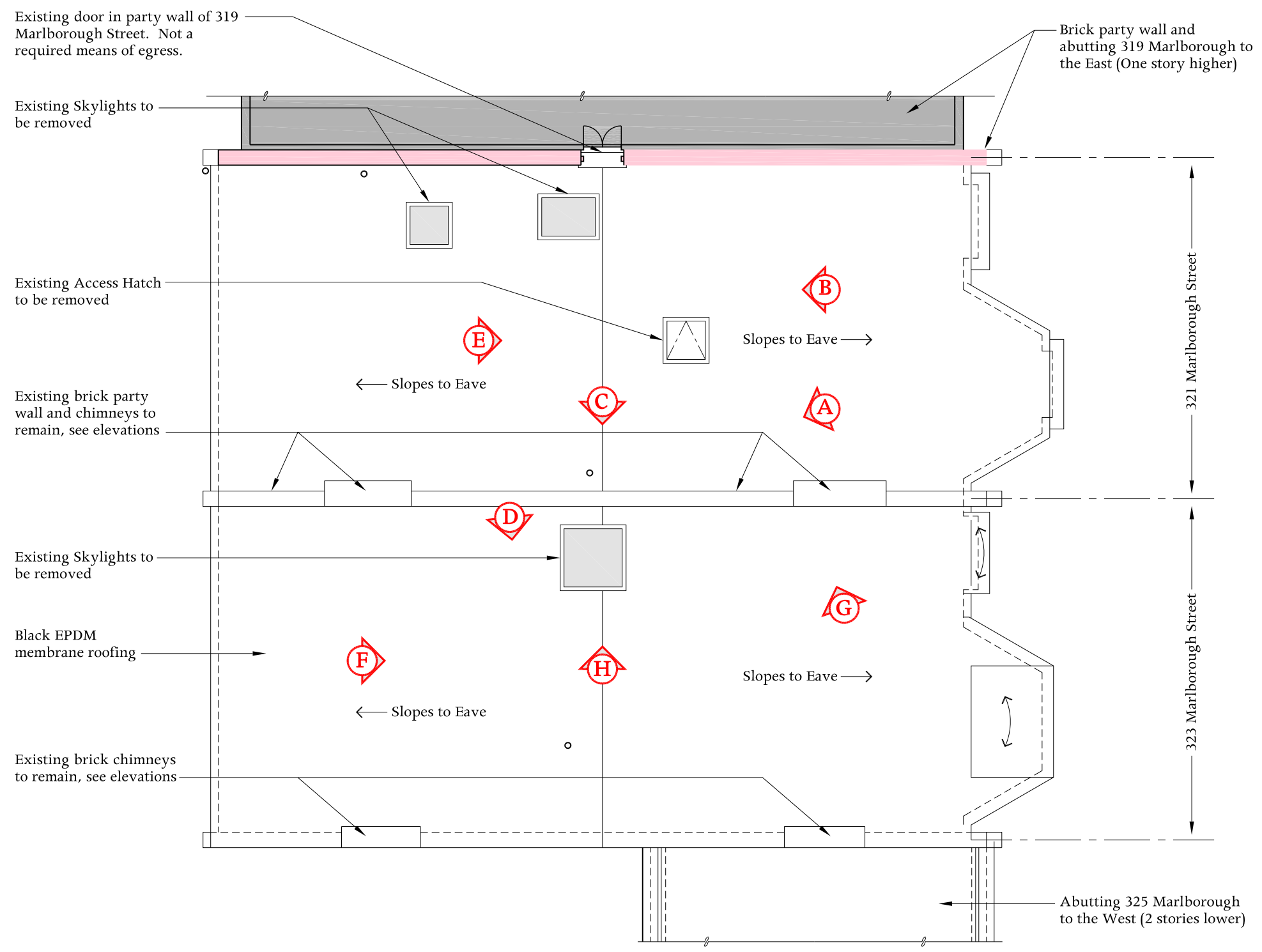
(Due to the proximity of 5 Gloucester, this photo shows the most that can be seen of the 323 west wall from any vantage point.)

Existing Condition at West Party Wall



RENDERING OF PROPOSED CONDITIONS
Showing View from Public Alley

SHEET NO. 03	EXIST. CONDITIONS PHOTO AND RENDERING - PROPOSED DRAWING TITLE:	SCALE:	18 MARSHALL STREET, SOUTH NORWALK, CT 06854 SHOPE RENO WHARTON LLC <small>shoperenowharton.com</small> T.203.852.7250	ISSUE DATES
	MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	Not to Scale		ISSUED FOR B.B.A.C REVIEW:
		PROJECT NO:	05.19.2020	
	1911			



EXISTING ROOF PLAN

1/8" = 1'-0"

ISSUE DATES	ISSUED FOR B.B.A.C REVIEW:
	05.19.2020

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

SHOPE RENO WHARTON LLC

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SHAW

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SCALE:	1/8" = 1'-0"
PROJECT NO:	1911

EXISTING ROOF PLAN

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

E1

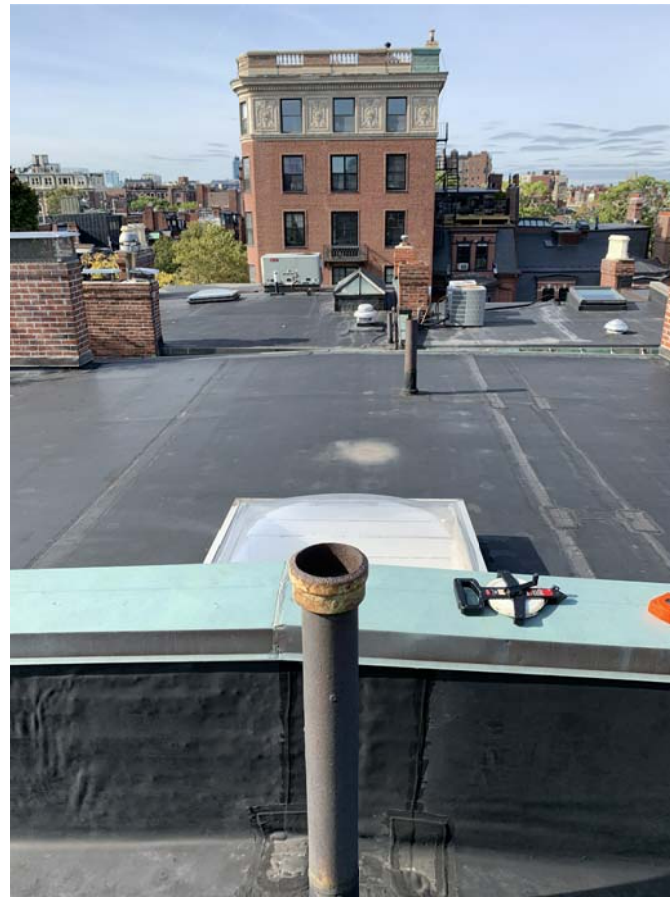
SHEET NO.



(A) Existing Condition - Roof looking Northwest





(B) Existing Condition - Roof looking North



(C) Existing Condition - Roof looking West



(D) Existing Condition - Roof looking West

18 MARSHALL STREET, SOUTH NORWALK, CT 06854 SHOPE RENO WHARTON LLC <small>shoperenowharton.com</small>		ISSUE DATES ISSUED FOR B.B.A.C REVIEW: 05.19.2020
SCALE: Not to Scale	PROJECT NO: 1911	 T.203.852.7250
EXIST. CONDITIONS PHOTOS DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET		
 SHEET NO.		



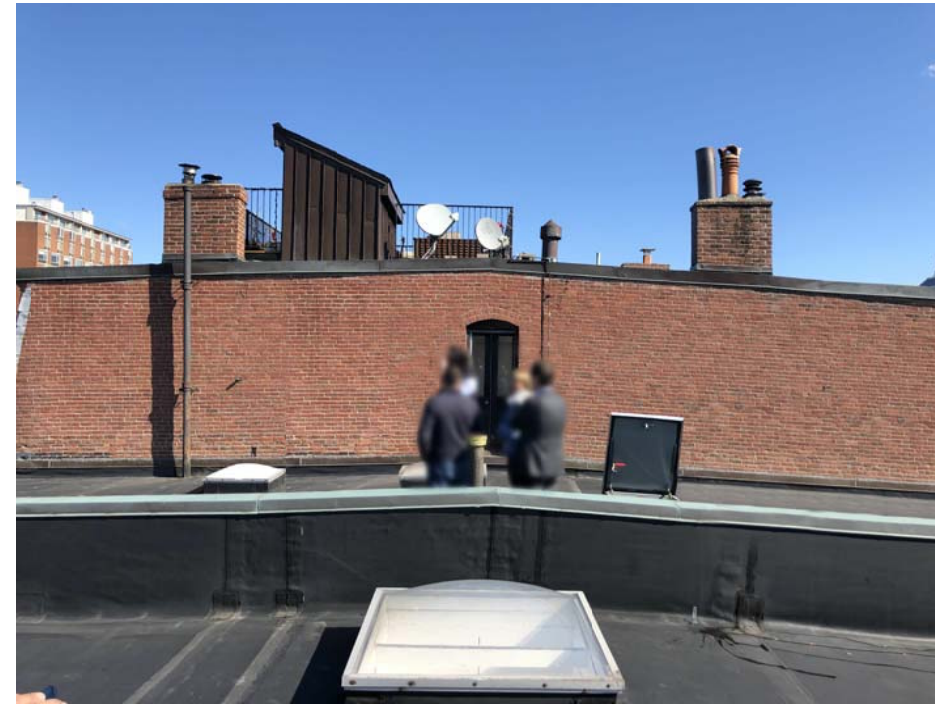
(E) Existing Condition - Roof looking South



(F) Existing Condition - Roof looking South



(G) Existing Condition - Roof looking West



(H) Existing Condition - Roof looking West

ISSUE DATES
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05.19.2020

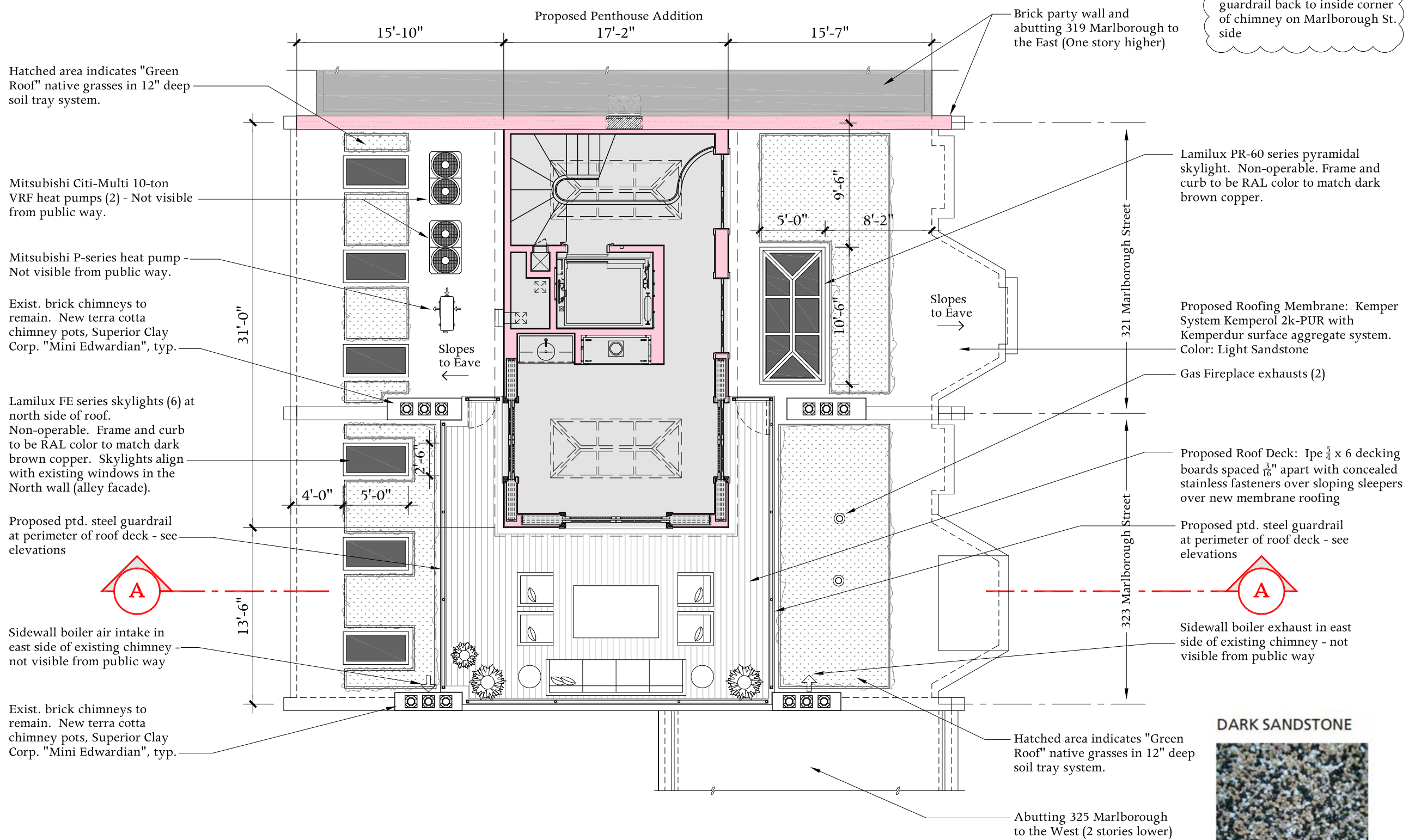
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PROJECT NO:
1911

EXIST. CONDITIONS PHOTOS
DRAWING TITLE:
MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SHEET NO.

This sheet revised 2020.05.21
 Roof deck revised to move
 guardrail back to inside corner
 of chimney on Marlborough St.
 side



PROPOSED ROOF DECK PLAN

1/8" = 1'-0"

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SCALE:	1/8" = 1'-0"
PROJECT NO:	1911

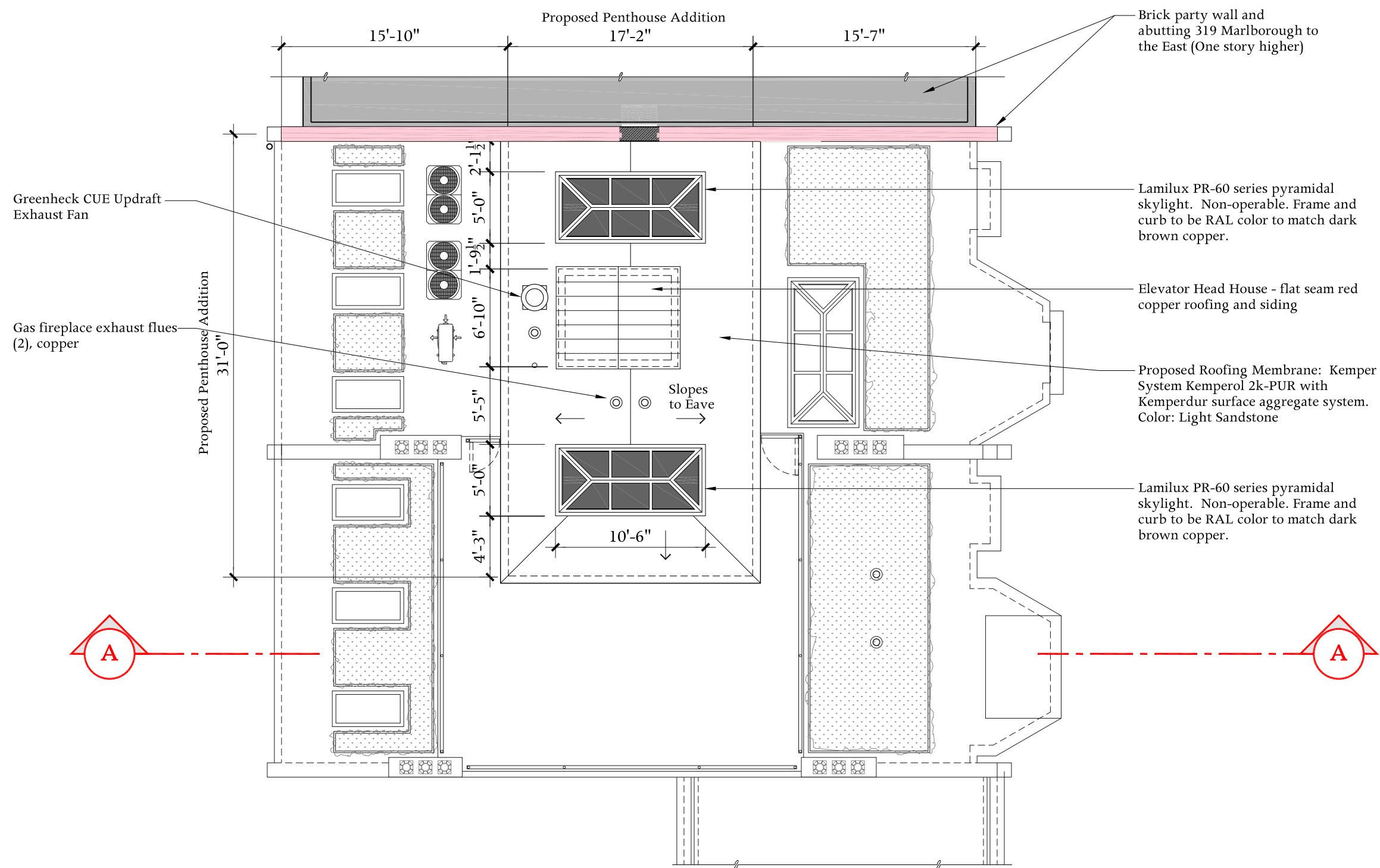
PROPOSED PLAN AT DECK LEVEL

DRAWING TITLE:

MARLBOROUGH HOME LLC
 321 - 323 MARLBOROUGH STREET

E4

SHEET NO.



Greenheck CUE Updraft Exhaust Fan

Gas fireplace exhaust flues (2), copper

Brick party wall and abutting 319 Marlborough to the East (One story higher)

Lamilux PR-60 series pyramidal skylight. Non-operable. Frame and curb to be RAL color to match dark brown copper.

Elevator Head House - flat seam red copper roofing and siding


Proposed Roofing Membrane: Kemper System Kemperol 2k-PUR with Kemperdur surface aggregate system. Color: Light Sandstone

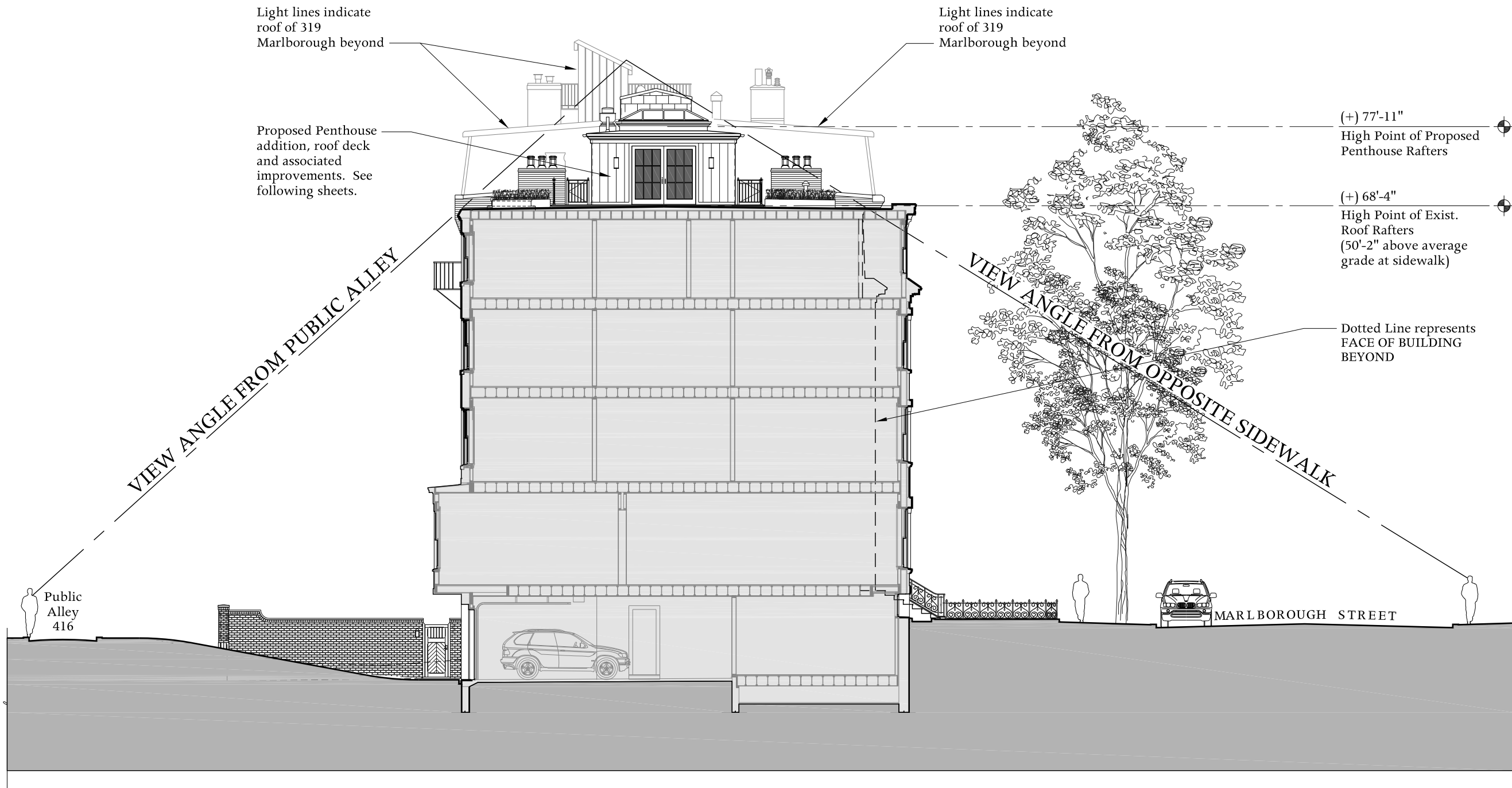
Lamilux PR-60 series pyramidal skylight. Non-operable. Frame and curb to be RAL color to match dark brown copper.

PROPOSED PENTHOUSE ROOF PLAN

1/8" = 1'-0"

This sheet revised 2020.05.21
 Roof deck revised to move guardrail back to inside corner of chimney on Marlborough St. side

PENTHOUSE ROOF PLAN DRAWING TITLE: MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET	SCALE: 1/8" = 1'-0"	PROJECT NO: 1911	ISSUE DATES ISSUED FOR B.B.A.C REVIEW: 05.19.2020
	18 MARSHALL STREET, SOUTH NORWALK, CT 06854 SHOPE RENO WHARTON LLC shoperenowharton.com T.203.852.7250		
	SHEET NO.		




NOTE: See View Angle Study, sheets F1 - F9 for visibility of roof work from Public Way

BUILDING SECTION A-A

Not to Scale

This sheet revised 2020.05.21
Roof deck revised to move guardrail back to inside corner of chimney on Marlborough St. side

ISSUE DATES	ISSUED FOR	18 MARSHALL STREET, SOUTH NORWALK, CT 06854
	B.B.A.C REVIEW:	
	05.19.2020	
SCALE:	Not to Scale	PROJECT NO: 1911
DRAWING TITLE:	SHOPE RENO WHARTON LLC	
	shopereno@wharton.com	
BUILDING SECTION	MARLBOROUGH HOME LLC	
	321 - 323 MARLBOROUGH STREET	
		
SHEET NO.		



Lamilux FE3 Flat Skylight

Not to Scale

Frame and Curb to be RAL color to match dark brown copper



Updraft Exhaust Fan

Not to Scale

To be provided in medium gray color, not stainless steel



Mini-Edwardian Chimney Pot

Not to Scale



Lamilux Pyramidal Skylight

Not to Scale

Elevator head house, flat seam copper wall and roof cladding

Greenheck CUE Updraft Exhaust Fan

Mitsubishi Citi-Multi VRF heat pumps (2) not visible from public way (Beyond)

Exist. brick chimneys to remain. New terra cotta chimney pots, Superior Clay Corp. "Mini Edwardian", typ.

Lamilux FE series skylights (6) at north side of roof (beyond planter). Non-operable. Frame and curb to be RAL color to match dark brown copper. Skylights align with existing windows in the North wall (alley facade).

Lamilux PR-60 series non-operable pyramidal skylight. Frame and Curb to be RAL color to match dark brown copper

Proposed Penthouse Addition, flat seam copper wall cladding, red copper eave trim and gutter

Section is taken through a projecting Bay feature

Proposed ptd. steel guardrail at perimeter of roof deck - see elevations and renderings

Dotted line of face of building beyond the Bay feature

VIEW ANGLE FROM PUBLIC ALLEY

VIEW ANGLE FROM OPPOSITE SIDEWALK

West Elevation of Penthouse

1/4" = 1'-0"

This sheet revised 2020.05.21 to show View Angle "Line of Sight" and roof deck revised to move guardrail back to inside corner of chimney on Marlborough St. side

ISSUE DATES

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18 MARSHALL STREET, SOUTH NORWALK, CT 06854

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SCALE:

1/4" = 1'-0"

PROJECT NO:

1911

PENTHOUSE ELEVATIONS

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET



SHEET NO.



Bird's Eye View from Northwest showing Proposed Roof Level

Not to Scale

ROOF LEVEL RENDERING

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

As Shown

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

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ISSUED FOR
B.B.A.C REVIEW:

05.19.2020



SHEET NO.



Bird's Eye View from Southwest showing Proposed Roof Level

Not to Scale

ROOF LEVEL RENDERING

DRAWING TITLE:

MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SCALE:

As Shown

PROJECT NO:

1911

18 MARSHALL STREET, SOUTH NORWALK, CT 06854

SHOPE RENO WHARTON LLC

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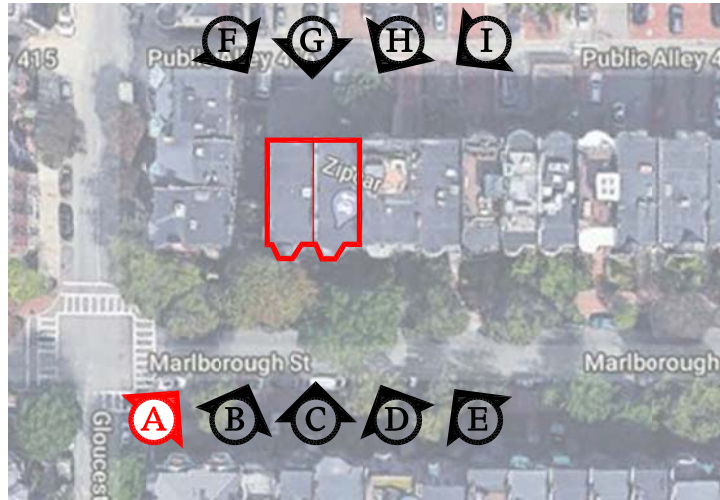
ISSUE DATES

ISSUED FOR
B.B.A.C REVIEW:

05.19.2020

E10

SHEET NO.



KEY PLAN
Not to Scale



REFERENCE PHOTO
Not to Scale

* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS
- TREE CANOPIES HAVE BEEN MADE TRANSPARENT TO ALLOW VIEW TOWARD ROOFLINE



RENDERING FROM VANTAGE POINT "A"
Not to Scale

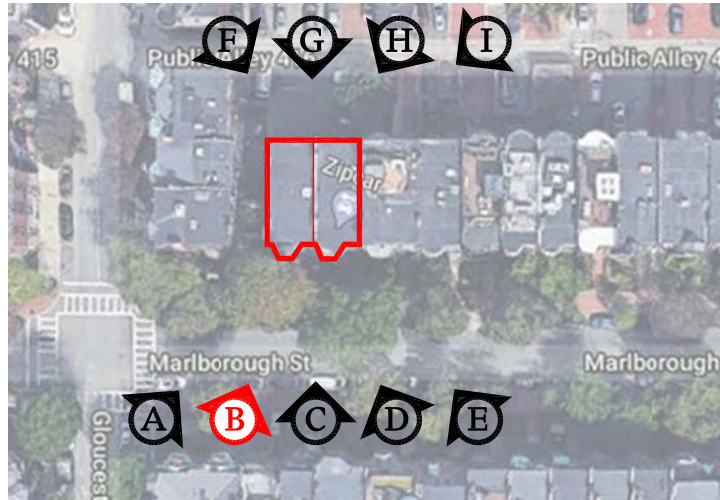
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SCALE:
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PROJECT NO:
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VANTAGE POINT "A"
DRAWING TITLE:
MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

F1
SHEET NO.



KEY PLAN
Not to Scale



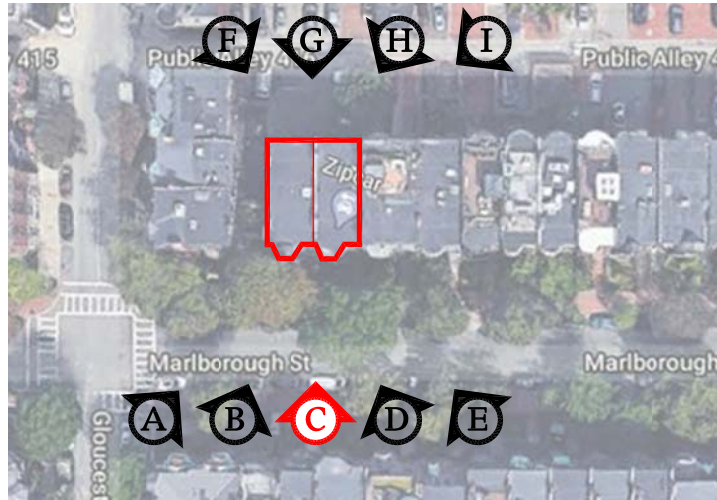
REFERENCE PHOTO
Not to Scale

* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS
- TREE CANOPIES HAVE BEEN MADE TRANSPARENT TO ALLOW VIEW TOWARD ROOFLINE



RENDERING FROM VANTAGE POINT "B"
Not to Scale

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SCALE:	Not to Scale	PROJECT NO:	1911
VANTAGE POINT "B"		DRAWING TITLE:	
MARLBOROUGH HOME LLC		321 - 323 MARLBOROUGH STREET	
F2		SHEET NO.	



KEY PLAN

Not to Scale



REFERENCE PHOTO


Not to Scale

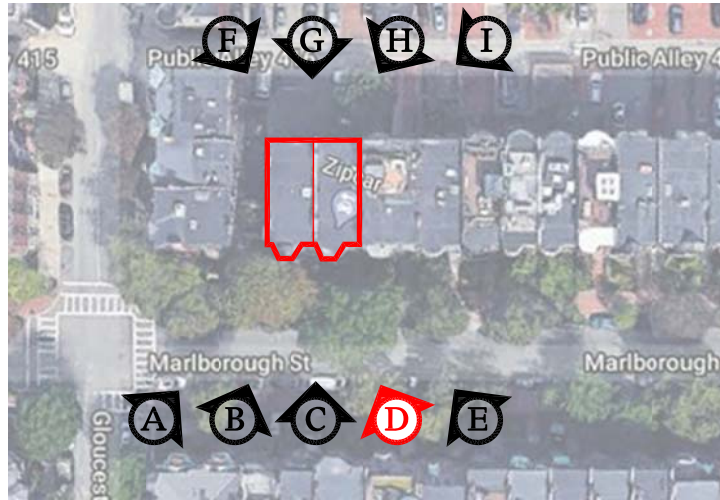
* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS
 - TREE CANOPIES HAVE BEEN MADE TRANSPARENT TO ALLOW VIEW TOWARD ROOFLINE



RENDERING FROM VANTAGE POINT "C"

Not to Scale

ISSUE DATES		ISSUED FOR B.B.A.C REVIEW:	
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SCALE:	Not to Scale	PROJECT NO:	1911
VANTAGE POINT "C"		DRAWING TITLE:	
MARLBOROUGH HOME LLC		321 - 323 MARLBOROUGH STREET	
SHEET NO.			



KEY PLAN

Not to Scale



REFERENCE PHOTO

Not to Scale

* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS
 - TREE CANOPIES HAVE BEEN MADE TRANSPARENT TO ALLOW VIEW TOWARD ROOFLINE



RENDERING FROM VANTAGE POINT "D"

Not to Scale

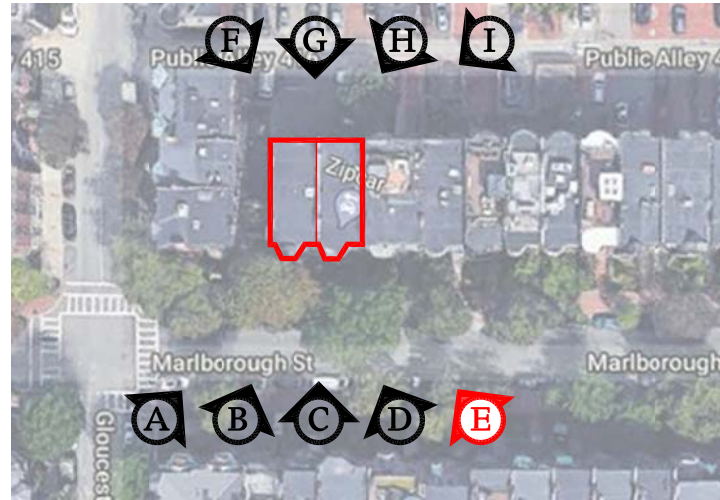
ISSUE DATES
ISSUED FOR B.B.A.C REVIEW:
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PROJECT NO:
1911

VANTAGE POINT "D"
DRAWING TITLE:
MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

F4
SHEET NO.



KEY PLAN

Not to Scale



REFERENCE PHOTO

Not to Scale

* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS
 - TREE CANOPIES HAVE BEEN MADE TRANSPARENT TO ALLOW VIEW TOWARD ROOFLINE



RENDERING FROM VANTAGE POINT "E"

Not to Scale

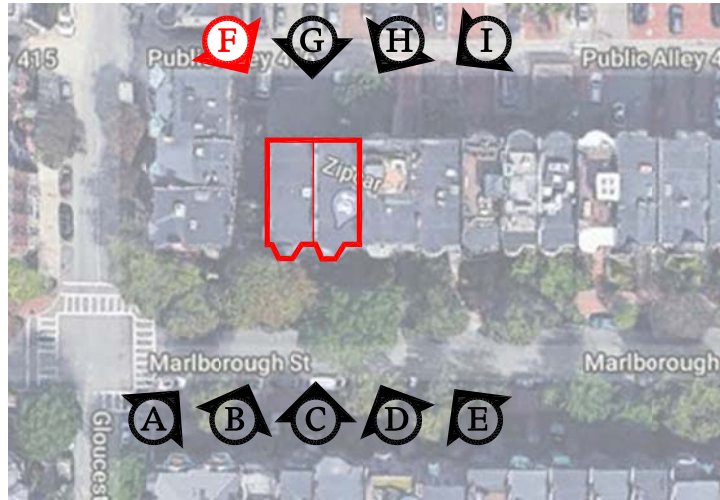
ISSUE DATES
ISSUED FOR B.B.A.C REVIEW:
05.19.2020

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SCALE:
Not to Scale
PROJECT NO:
1911

VANTAGE POINT "E"
DRAWING TITLE:
MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SHEET NO.



KEY PLAN

Not to Scale



REFERENCE PHOTO

Not to Scale

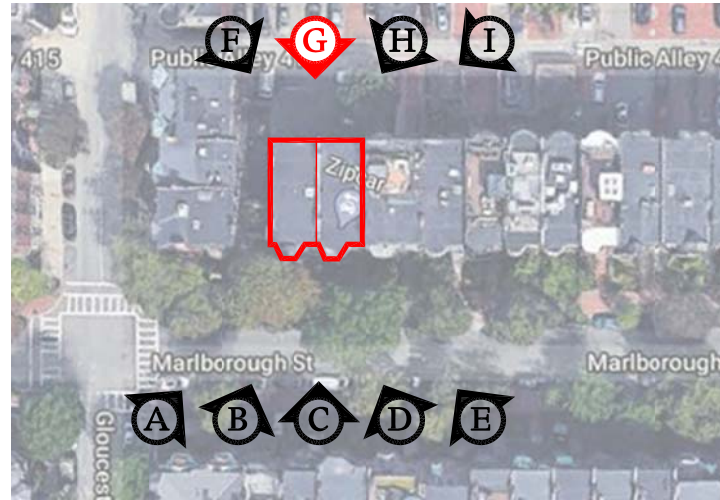
* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS



RENDERING FROM VANTAGE POINT "F"

Not to Scale

ISSUE DATES		ISSUED FOR B.B.A.C REVIEW:	
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SCALE:	Not to Scale	PROJECT NO:	1911
DRAWING TITLE:		MARLBOROUGH HOME LLC	
VANTAGE POINT "F"		321 - 323 MARLBOROUGH STREET	
SHEET NO.		ES	



KEY PLAN

Not to Scale



REFERENCE PHOTO

Not to Scale

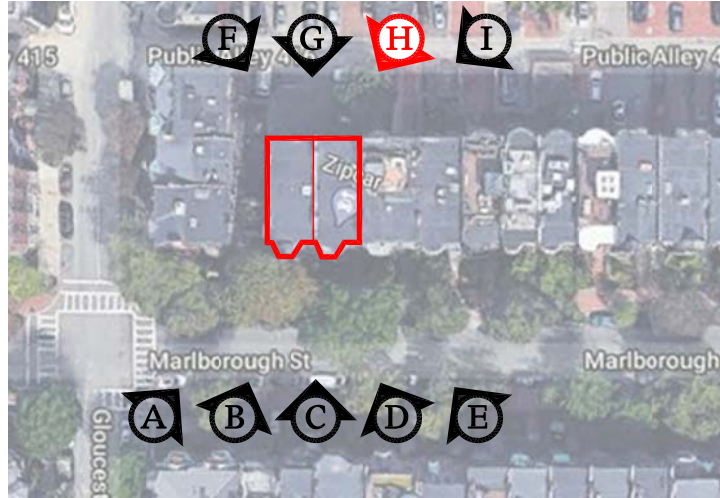
* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS



RENDERING FROM VANTAGE POINT "G"

Not to Scale

ISSUE DATES		ISSUED FOR B.B.A.C REVIEW: 05.19.2020	
SCALE:		PROJECT NO: 1911	
VANTAGE POINT "G"		DRAWING TITLE:	
MARLBOROUGH HOME LLC		321 - 323 MARLBOROUGH STREET	
18 MARSHALL STREET, SOUTH NORWALK, CT 06854		SHOPE RENO WHARTON LLC	
shopereno@wharton.com		shopereno@wharton.com	
T.203.852.7250		T.203.852.7250	
SHAW		SHAW	
SHEET NO.		SHEET NO.	



KEY PLAN

Not to Scale



REFERENCE PHOTO

Not to Scale

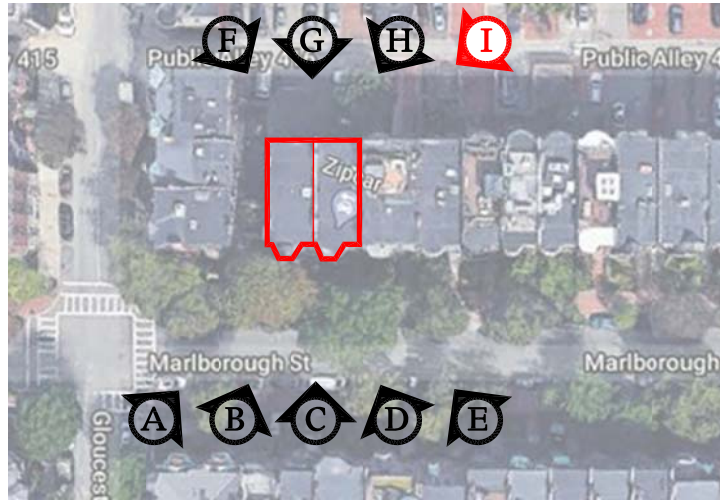
* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS



RENDERING FROM VANTAGE POINT "H"

Not to Scale

ISSUE DATES		ISSUED FOR B.B.A.C REVIEW:	
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SCALE:		PROJECT NO:	
Not to Scale		1911	
DRAWING TITLE:		SHEET NO.	
VANTAGE POINT "H"		18	
MARLBOROUGH HOME LLC 321 - 323 MARLBOROUGH STREET		SHOPE RENO WHARTON LLC shopereno@wharton.com T.203.852.7250	



KEY PLAN

Not to Scale



REFERENCE PHOTO

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* NOTE - ALL PROPOSED ROOF LEVEL WORK IS MODELED ACCURATELY IN THE RENDERINGS



RENDERING FROM VANTAGE POINT "I"

Not to Scale

ISSUE DATES
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05.19.2020

18 MARSHALL STREET, SOUTH NORWALK, CT 06854
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SCALE:
Not to Scale
PROJECT NO:
1911

VANTAGE POINT "I"
DRAWING TITLE:
MARLBOROUGH HOME LLC
321 - 323 MARLBOROUGH STREET

SHEET NO.

Landscape Project Description

- Install new paving, curbing, fence, and steps at the front of the buildings to match the existing character of the building and streetscape
- Install new walls, paving, gate, and lighting at the rear of the building to match the character of the buildings and surrounding neighborhood
- Install new plantings throughout to complement new additions

MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904

SHEET:

SCALE:

DRAWN BY: EK

DATE: 5/19/2020

PROJECT: 20011

LA - 1



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Rear Existing Conditions

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

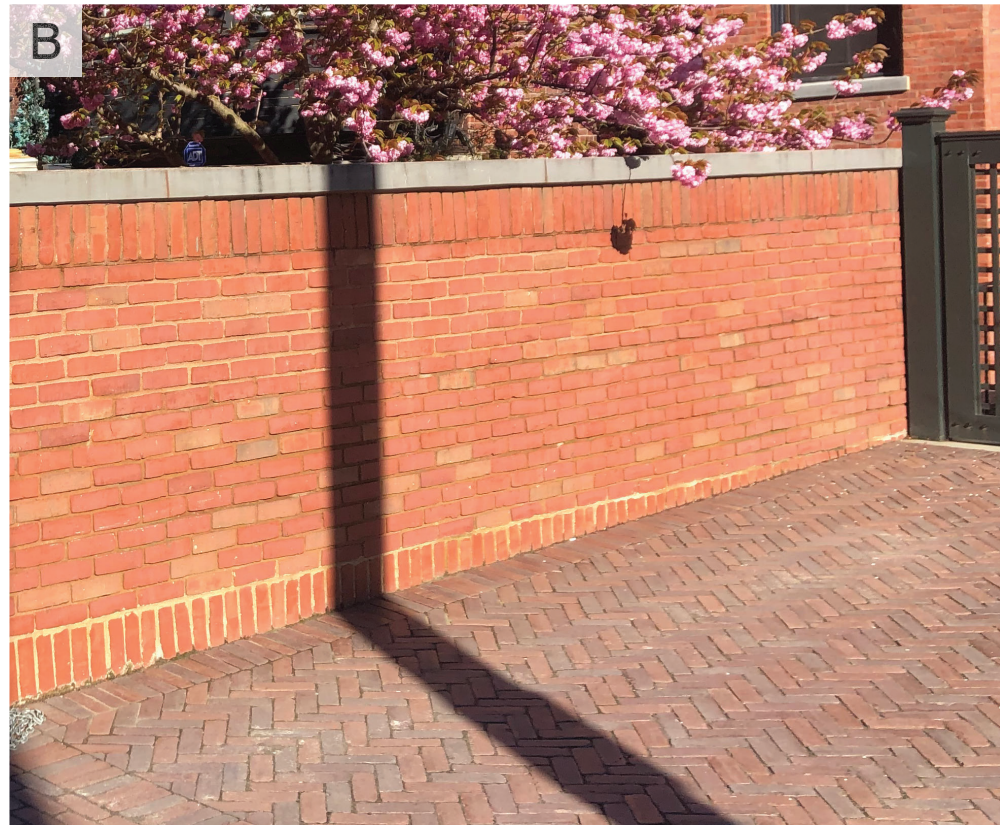
SCALE:

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA - 2



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Existing Brick Wall and Paving Examples in the Public Alley

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

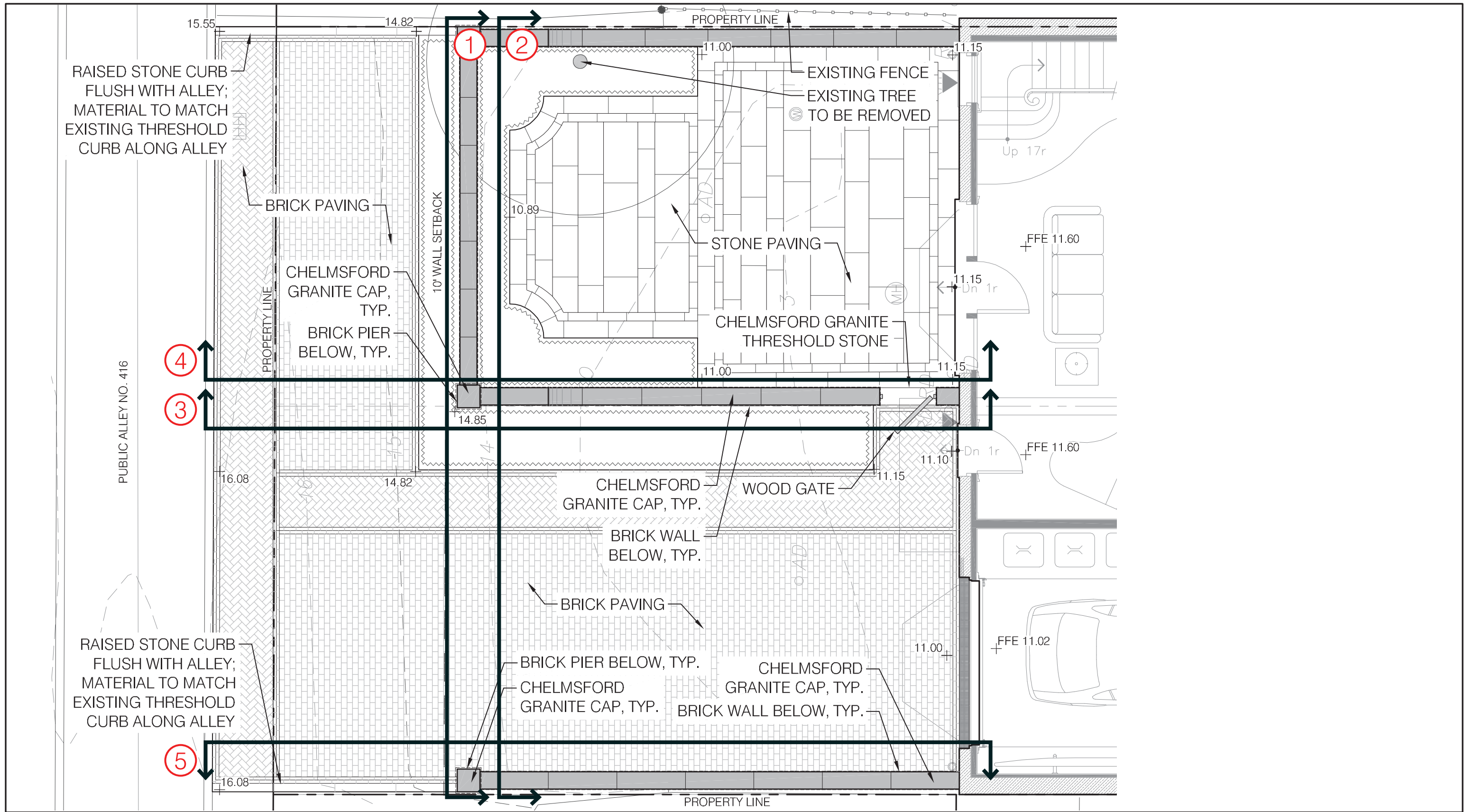
SCALE:

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

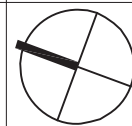
LA-3



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Rear Proposed Plan

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904



SHEET:

SCALE: 3/16" = 1'-0" DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA - 4



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Rear Elevation 1

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904

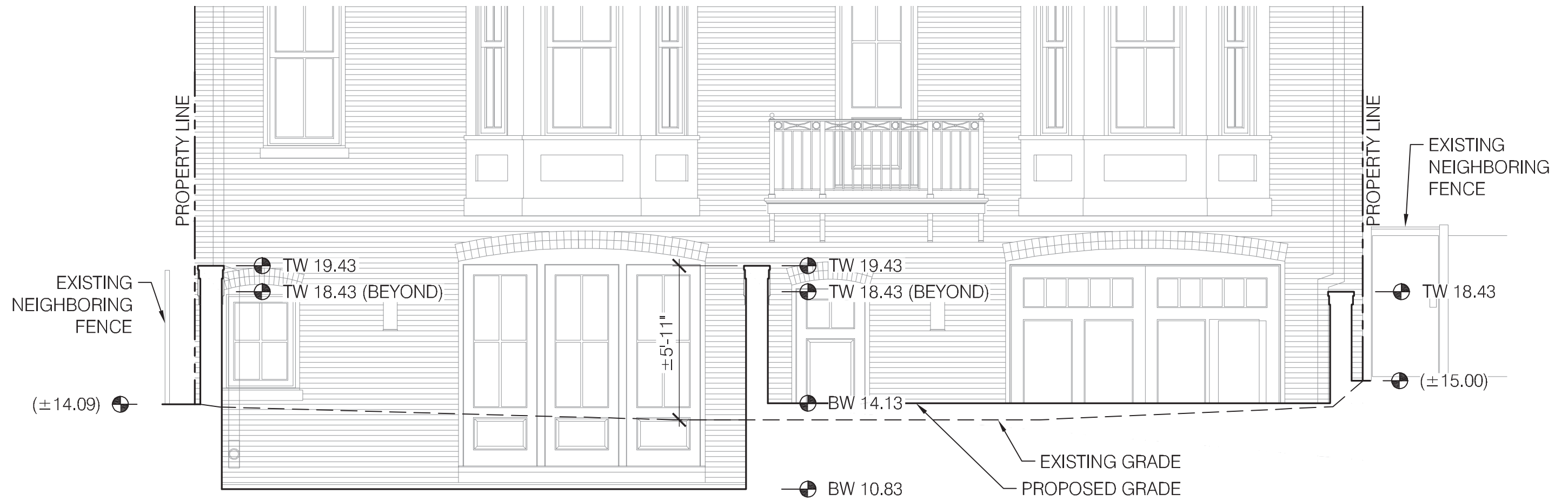
SCALE: 1/4" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA-5



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Rear Elevation 2

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

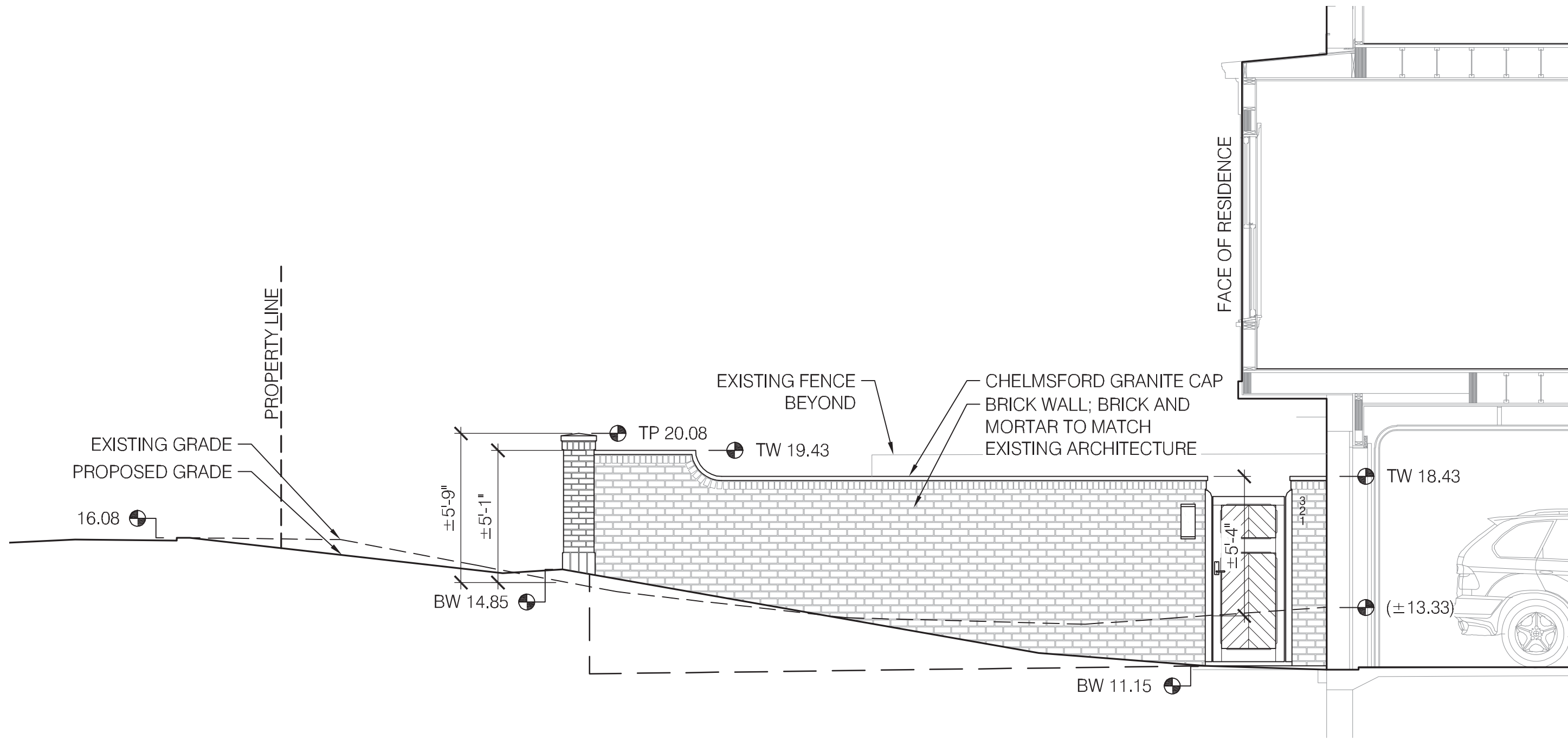
SCALE: 1/4" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA - 6



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Rear Elevation 3

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904

SHEET:

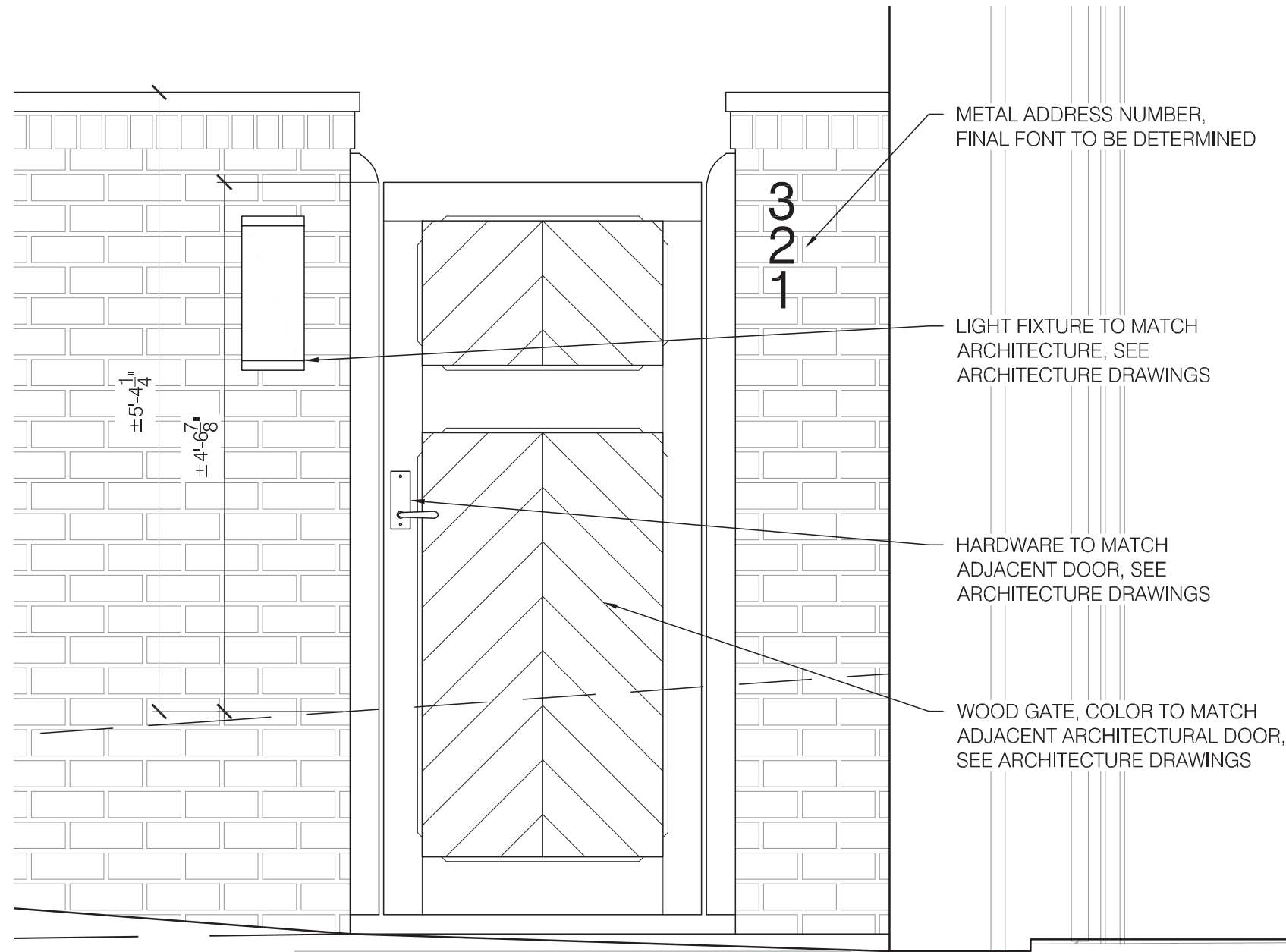
SCALE: 1/4" = 1'-0"

DRAWN BY: EK

DATE: 5/19/2020

PROJECT: 20011

LA-7



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Gate Enlargement

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904

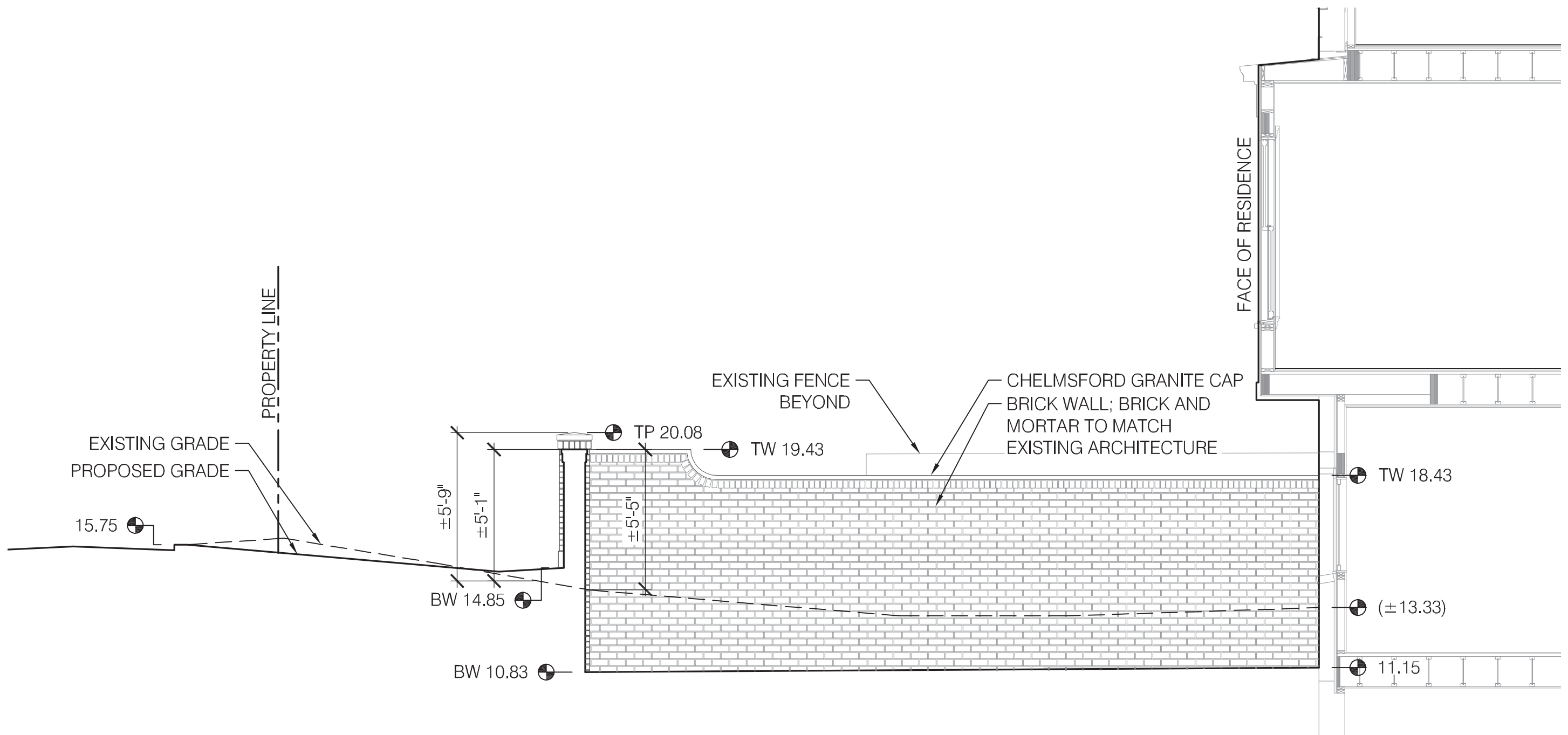
SCALE: 1" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA - 8



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Rear Elevation 4

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

SHEET:

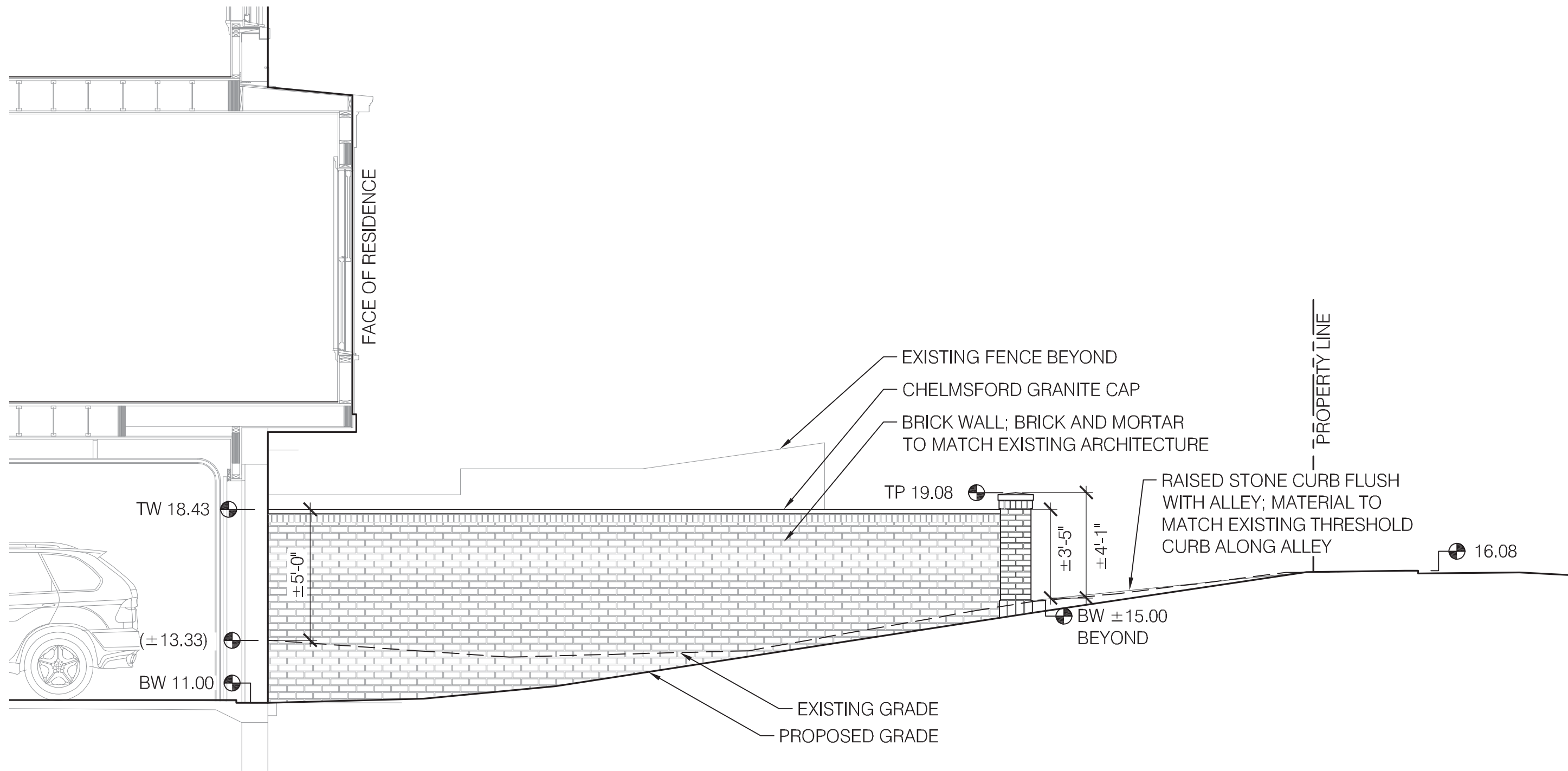
SCALE: 1/4" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA - 9



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Rear Elevation 5

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

SHEET:

SCALE: 1/4" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA-10



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET	Front Existing Conditions	SHEET:	LA-11	
GREGORY LOMBARDI DESIGN INCORPORATED Landscape Architecture 2235 Massachusetts Avenue Cambridge, Massachusetts 02140 Phone 617.492.2808 Fax 617.492.2904		SCALE:		DATE: 5/19/2020
		DRAWN BY: EK		PROJECT: 20011



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Front Existing Conditions

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

SHEET:

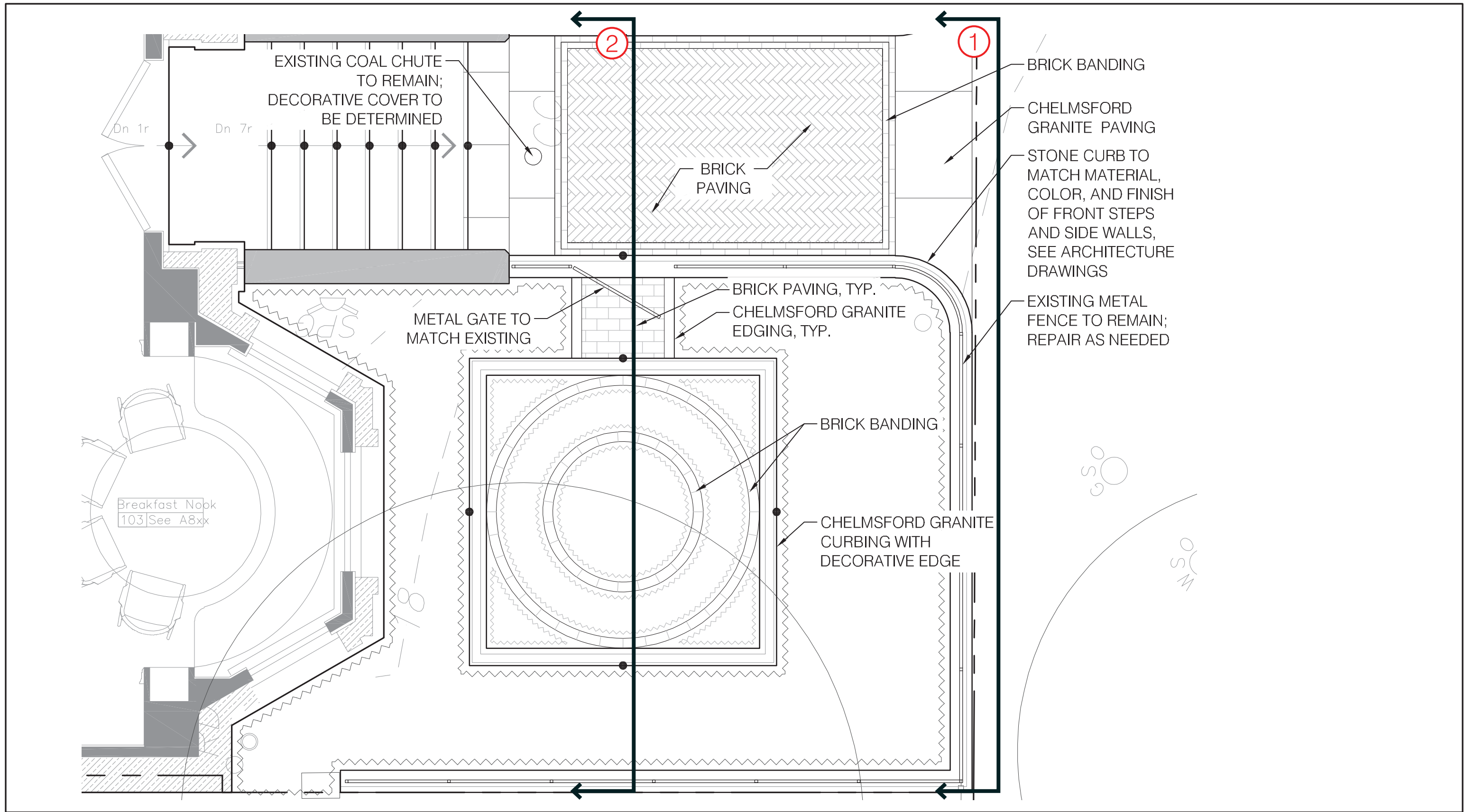
SCALE:

DRAWN BY: EK

DATE: 5/19/2020

PROJECT: 20011

LA-12

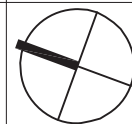


MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Front Plan - West Terrace

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904



0 2'-8"

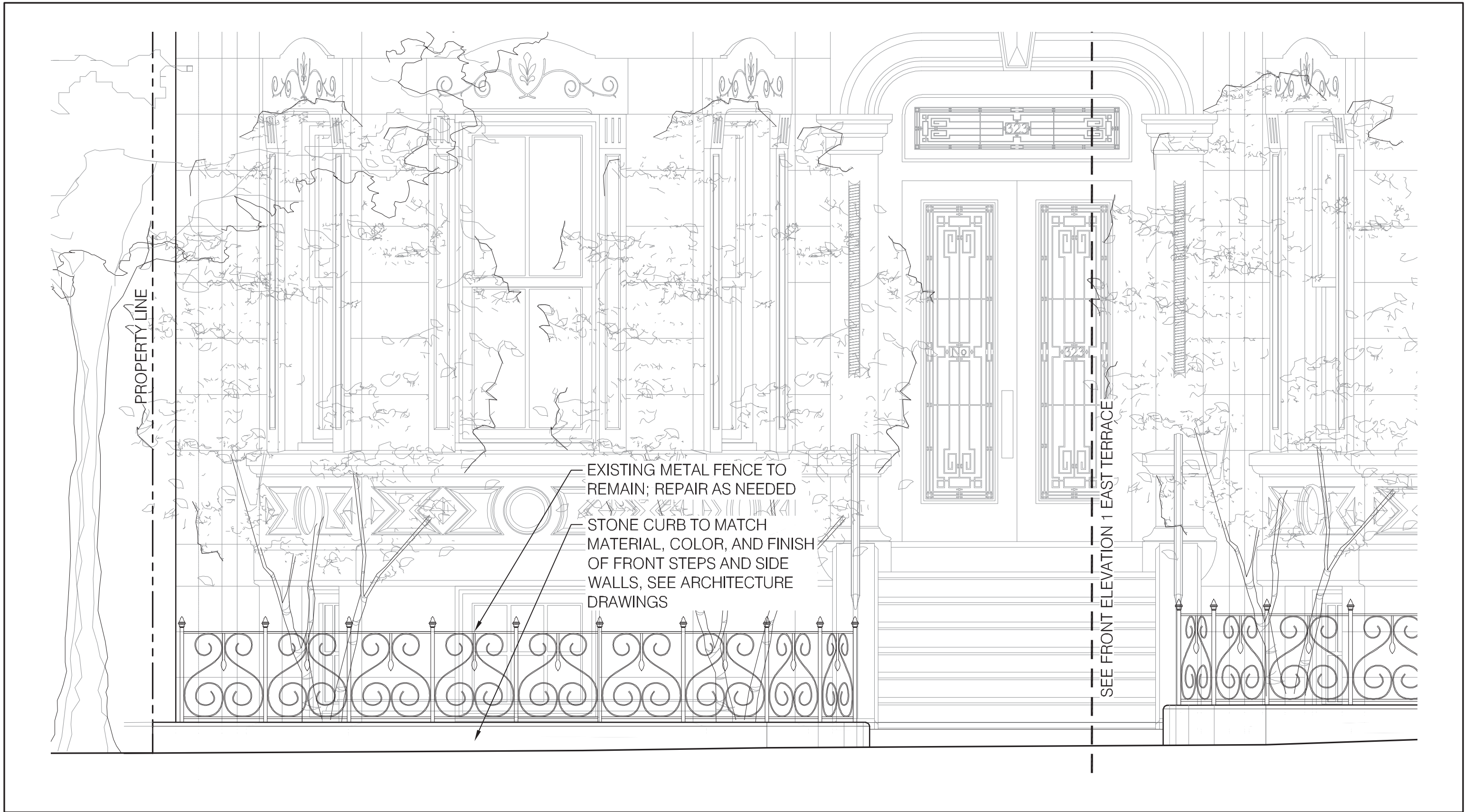
SCALE: 3/8" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA-13



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Front Elevation 1 - West Terrace

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904

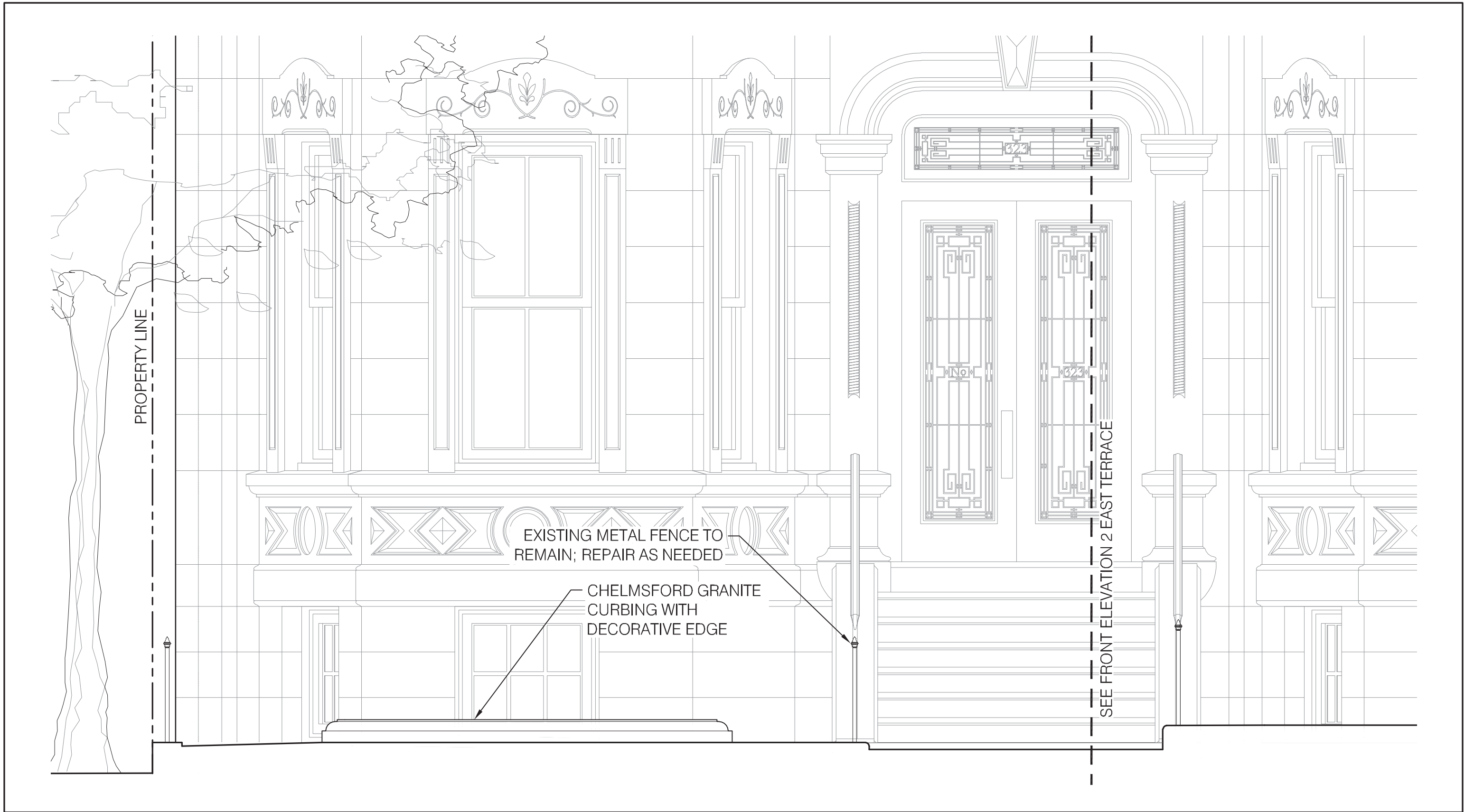
SCALE: 1/2" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA-14



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Front Elevation 2 - West Terrace

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

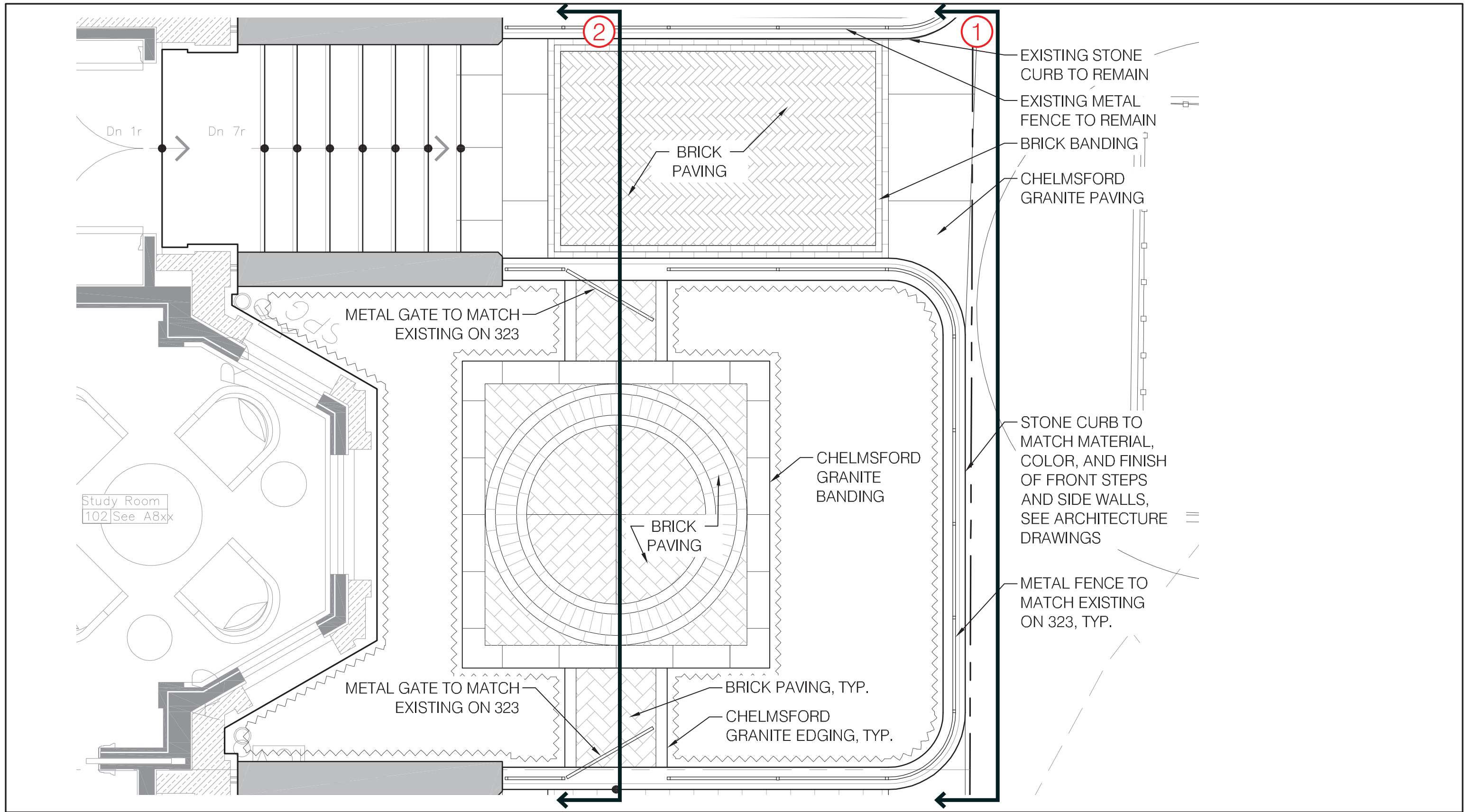
SCALE: 1/2" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA-15

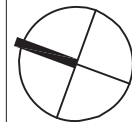


MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Front Plan - East Terrace

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904



0 2'-8"

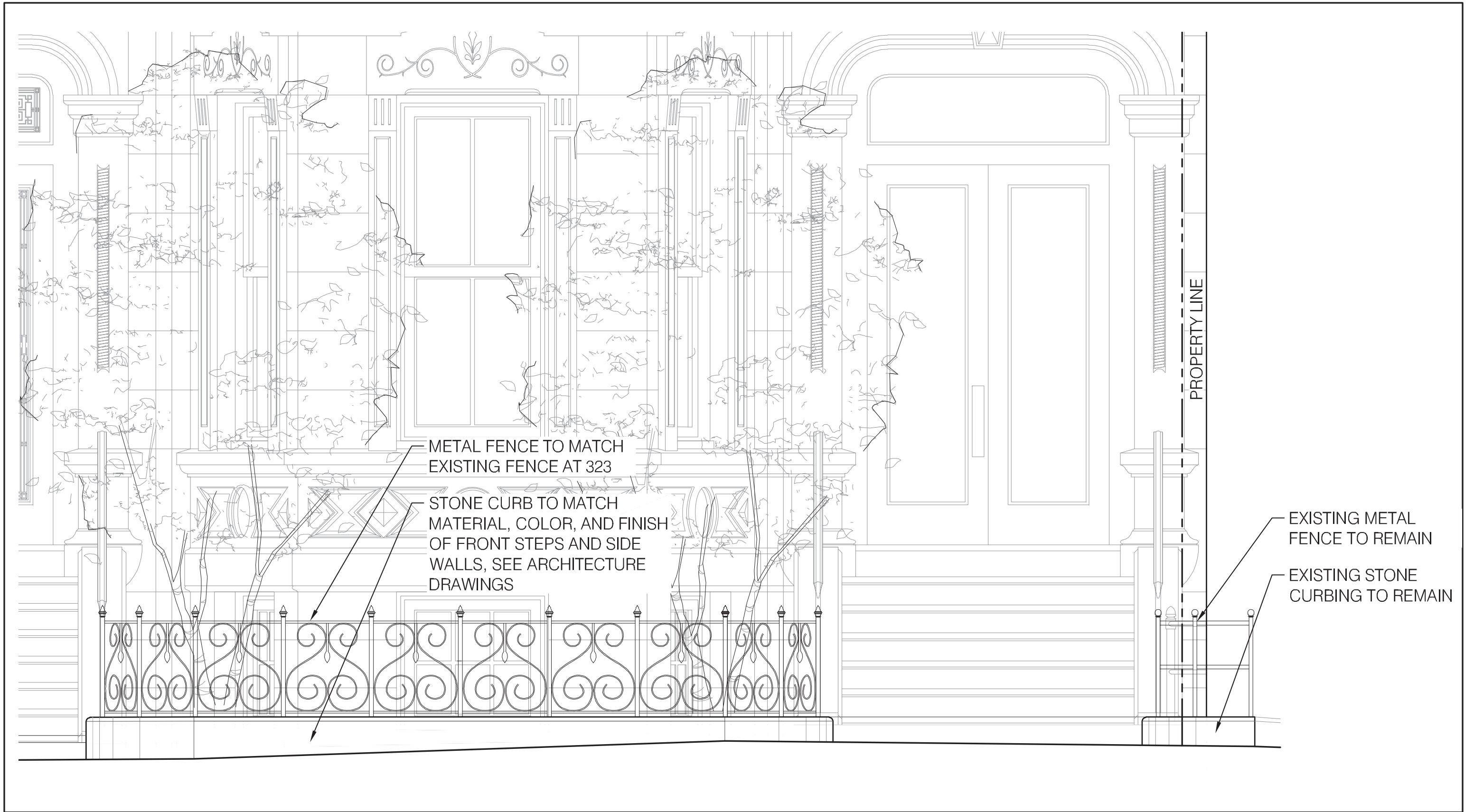
SCALE: 3/8" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA-16



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Front Elevation 1 - East Terrace

SHEET:

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

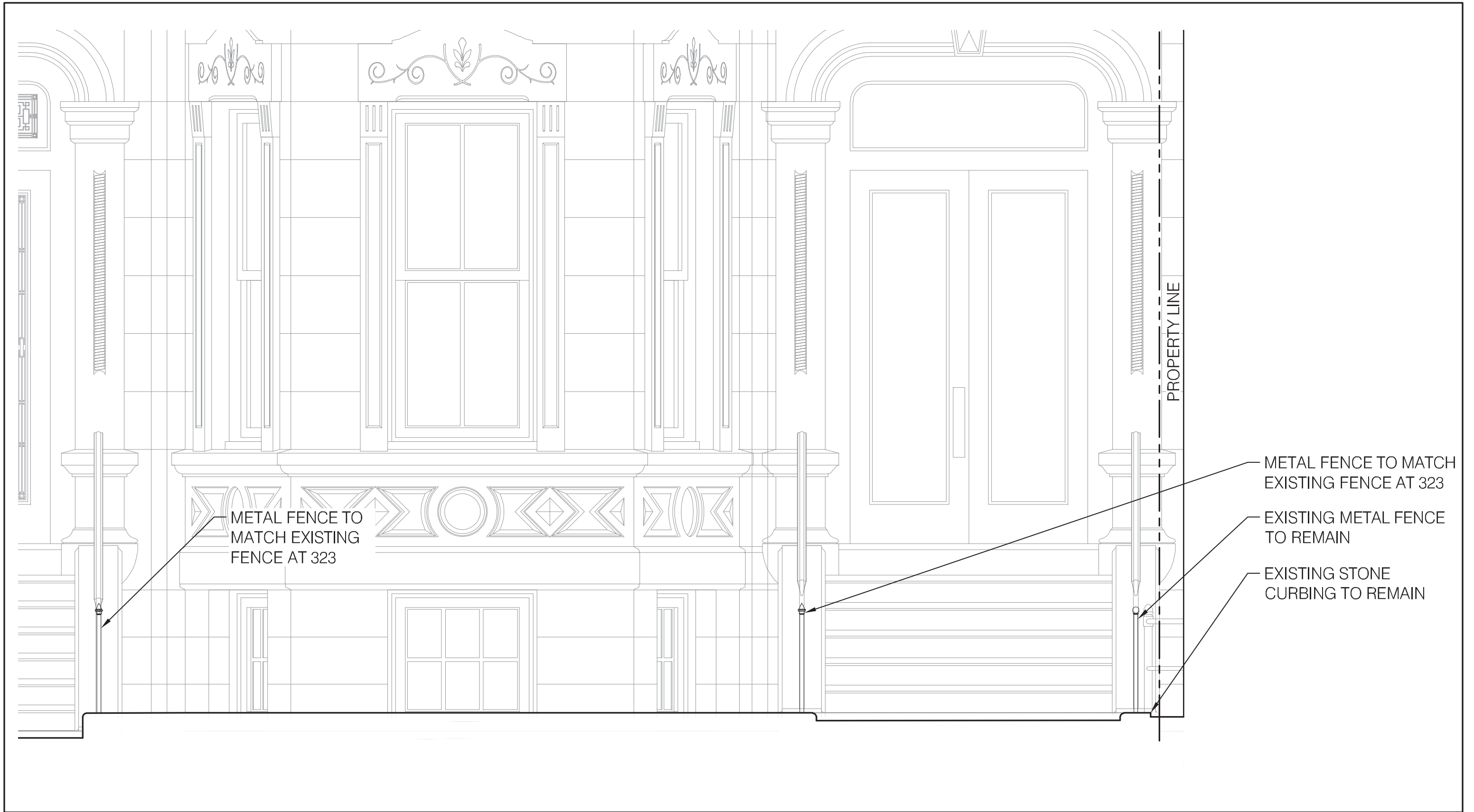
SCALE: 1/2" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA-17



MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Front Elevation 2 - East Terrace

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

SHEET:

SCALE: 1/2" = 1'-0"

DATE: 5/19/2020

DRAWN BY: EK

PROJECT: 20011

LA - 18



Chelmsford Granite



Decorative Curb Example



Existing Brick Paving



Existing Fence at 323

MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Materials and Details

GREGORY LOMBARDI DESIGN INCORPORATED
 Landscape Architecture
 2235 Massachusetts Avenue
 Cambridge, Massachusetts 02140
 Phone 617.492.2808 Fax 617.492.2904

SHEET:

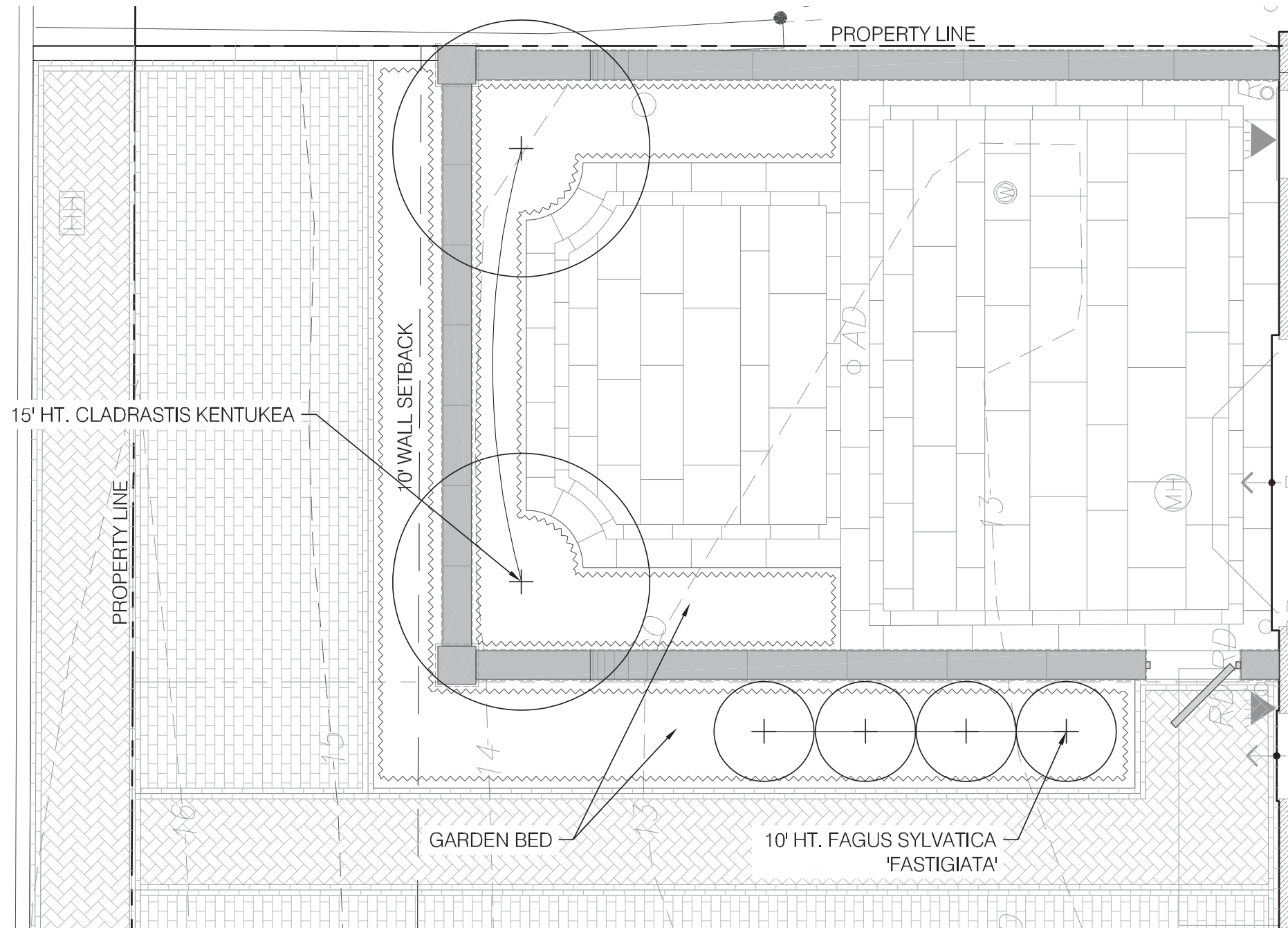
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DRAWN BY: EK

DATE: 5/19/2020

PROJECT: 20011

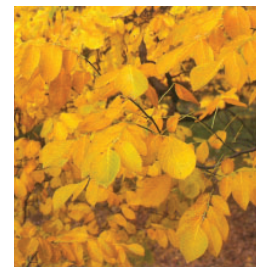
LA-19



Cladrastis kentukea - Yellowwood



Flower



Fall Color



Fagus sylvatica 'Fastigiata' - Columnar Beech

MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Planting - Rear

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904

SHEET:

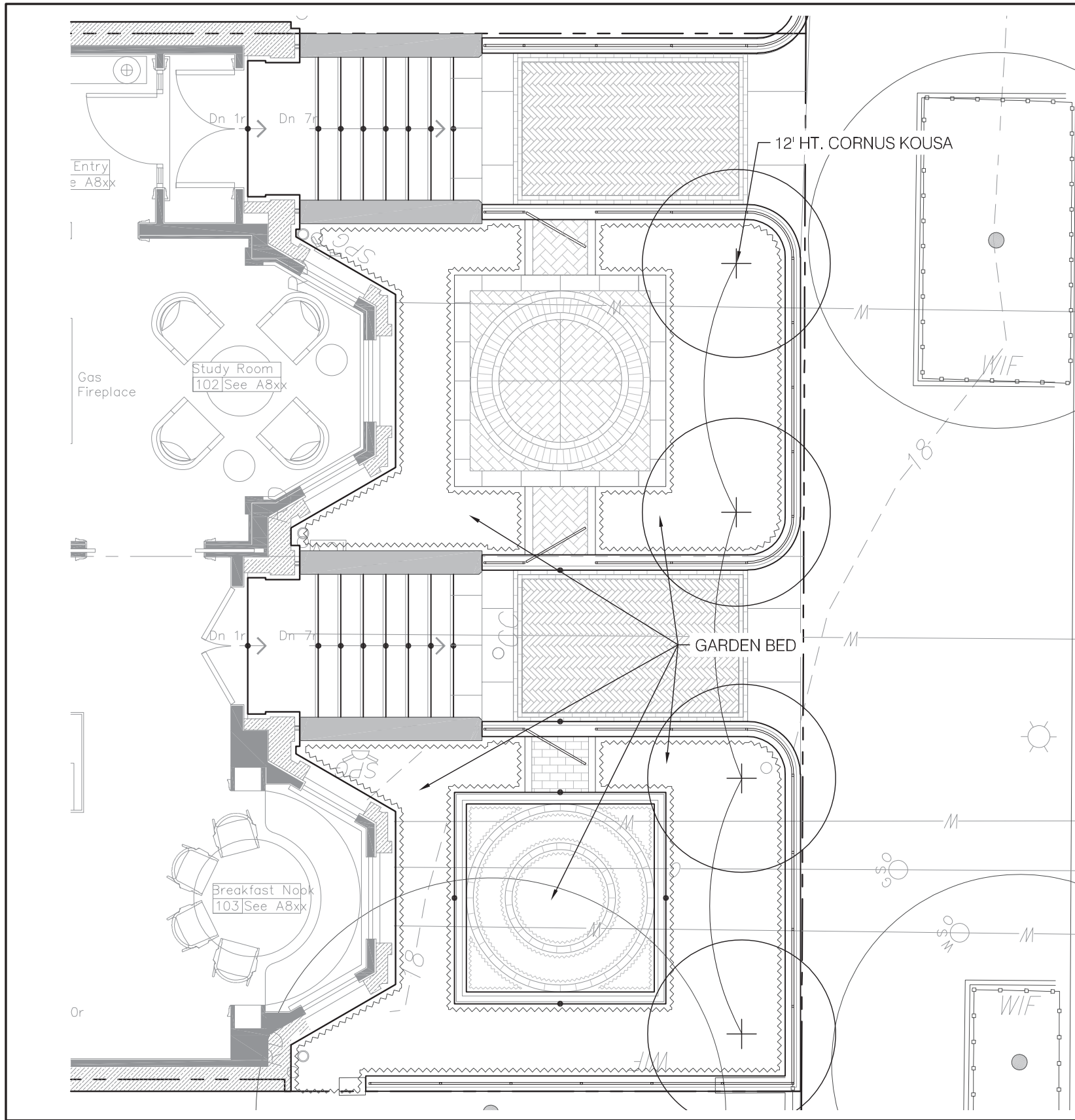
SCALE:

DRAWN BY: EK

DATE: 5/19/2020

PROJECT: 20011

LA - 20



Cornus kousa - *Dogwood*



Flower



Fall Color

MARLBOROUGH HOME LLC - 321-323 MARLBOROUGH STREET

Planting - Front

GREGORY LOMBARDI DESIGN INCORPORATED
Landscape Architecture
2235 Massachusetts Avenue
Cambridge, Massachusetts 02140
Phone 617.492.2808 Fax 617.492.2904

SHEET:

SCALE:

DRAWN BY: EK

DATE: 5/19/2020

PROJECT: 20011

LA-21