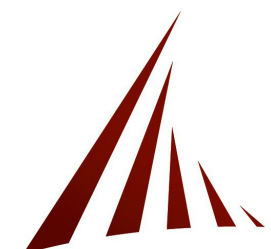


# 566 COLUMBUS AVE., BOSTON SOUTH END LANDMARK DISTRICT COMMISSION

5 MAY 2020











566 Columbus @ Massachusetts Avenue



406 Massachusetts Avenue



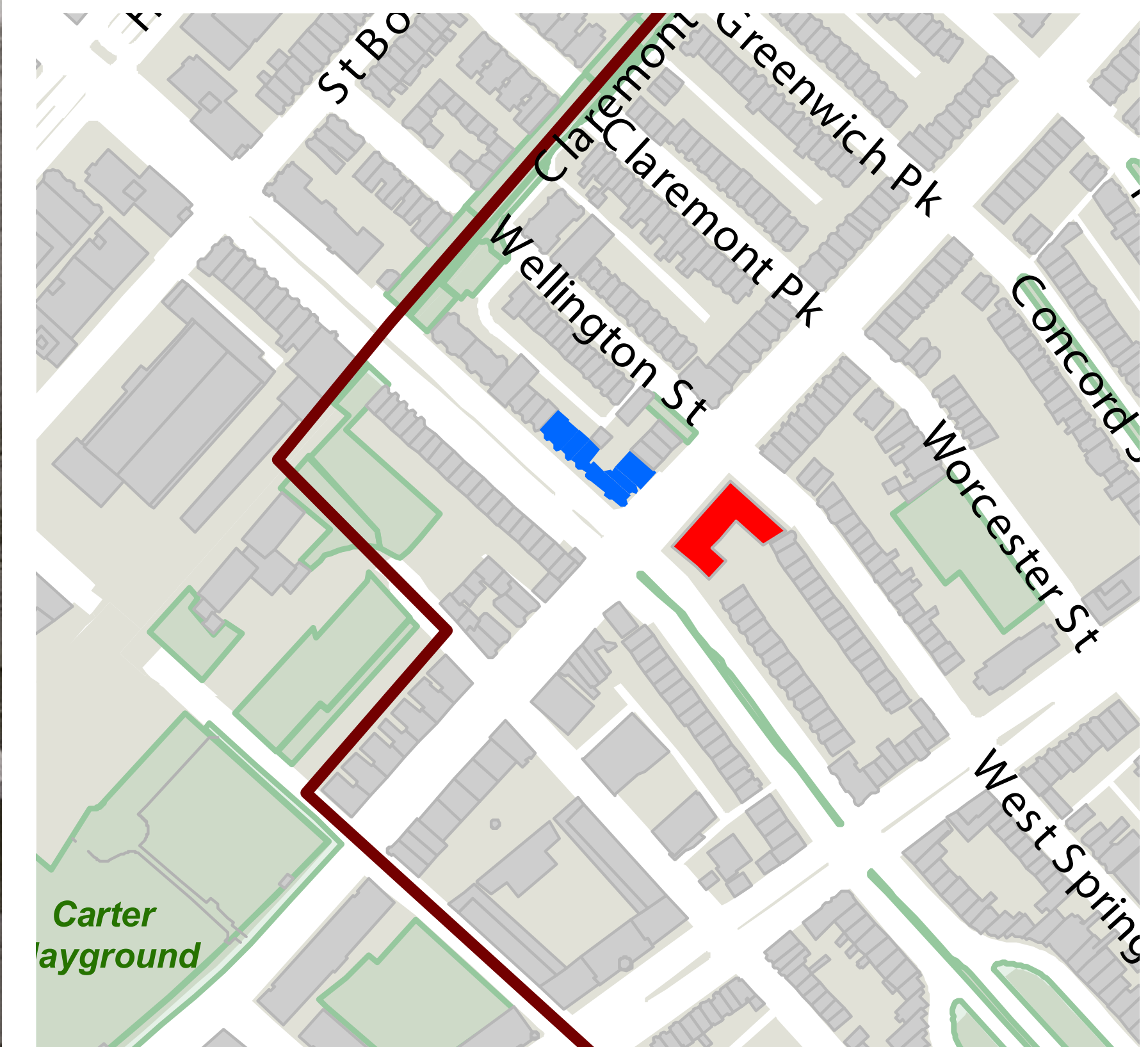
434 Massachusetts @ Columbus Avenue (1913)



566 Columbus @ Massachusetts Avenue



Boston Mass. 507

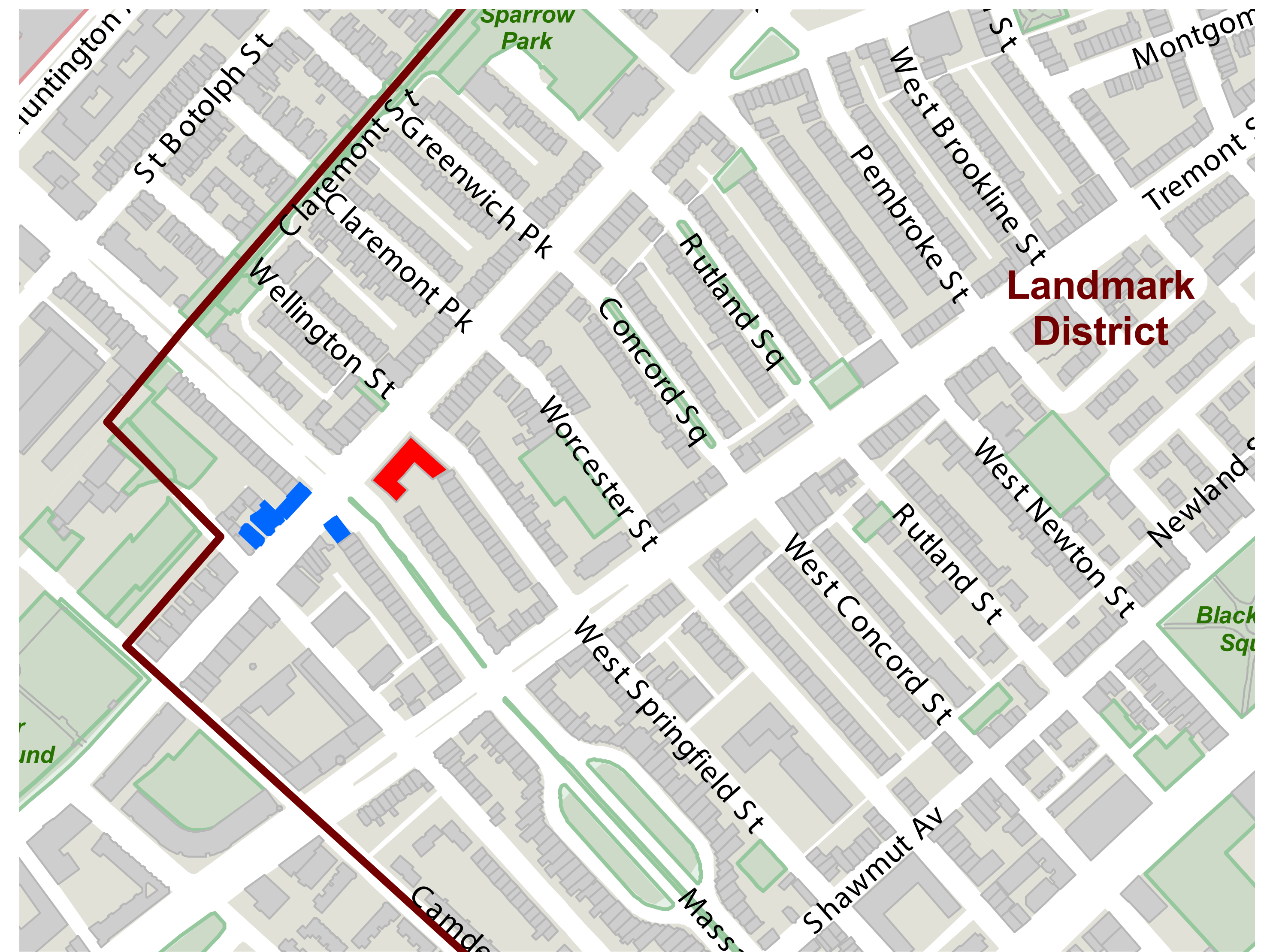




433 Massachusetts @ Columbus Avenue



584 Columbus @ Massachusetts Avenue (1972)

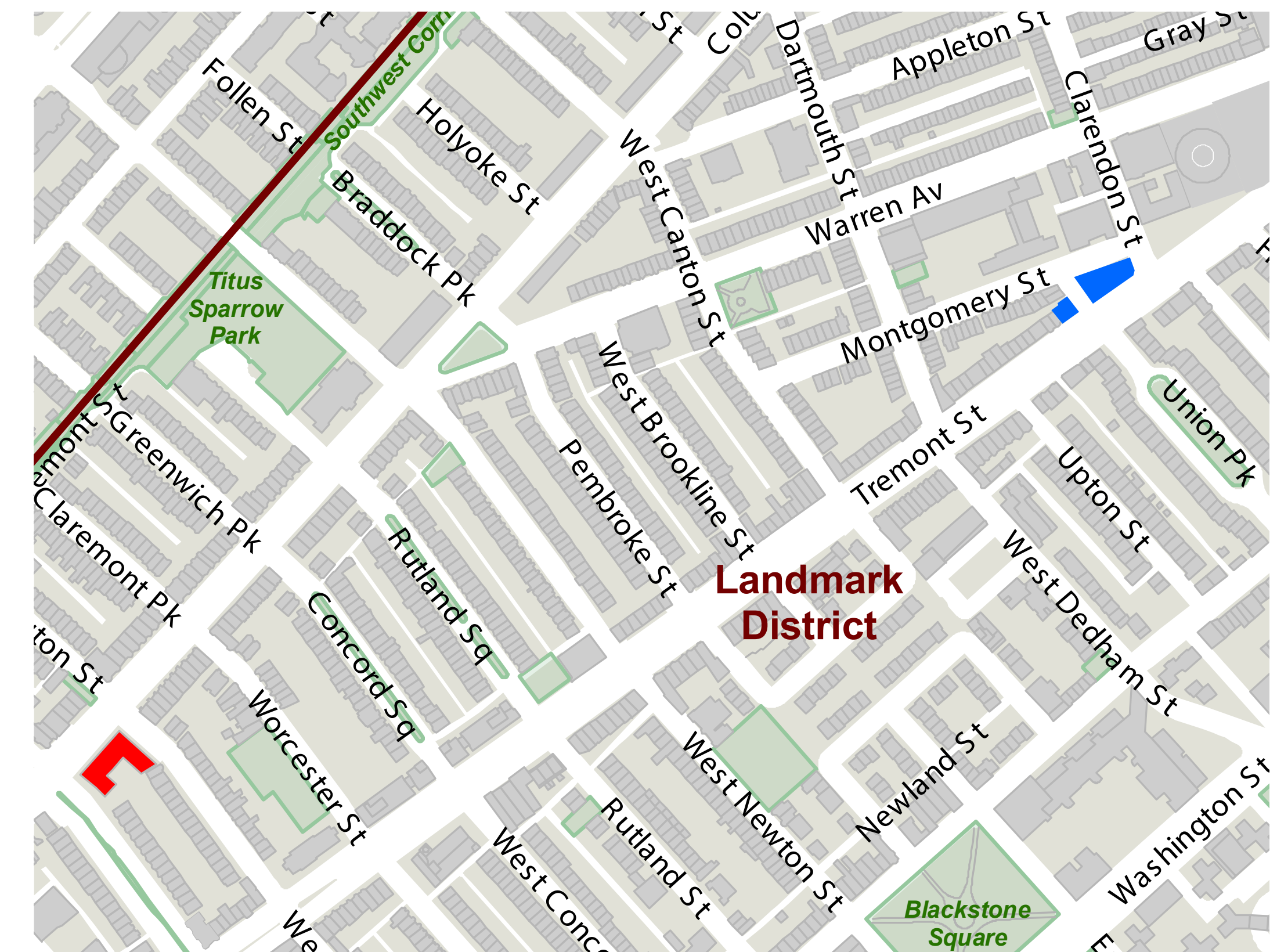




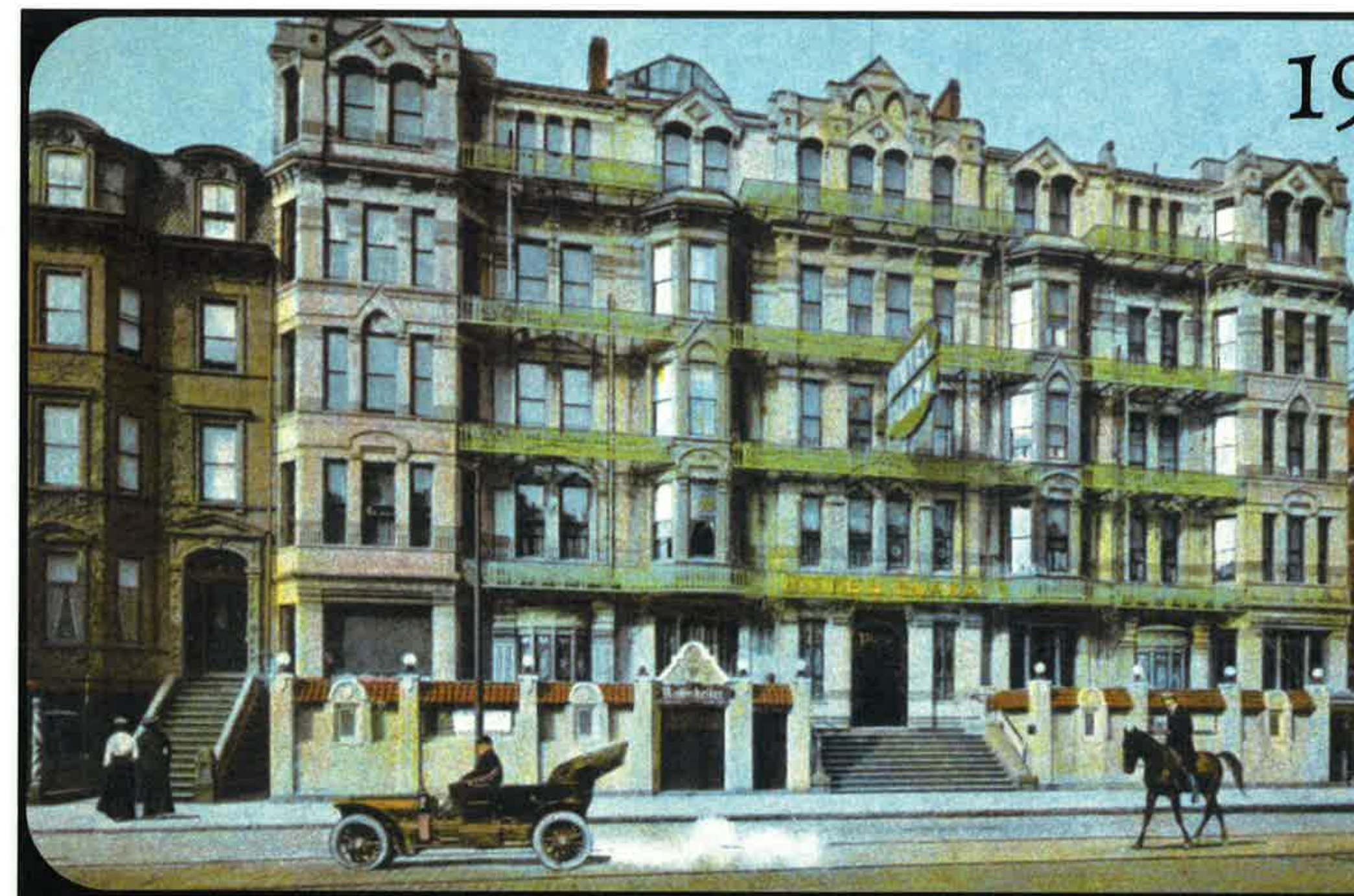
**The St. Cloud**  
Tremont @ Union Park (French Flats)



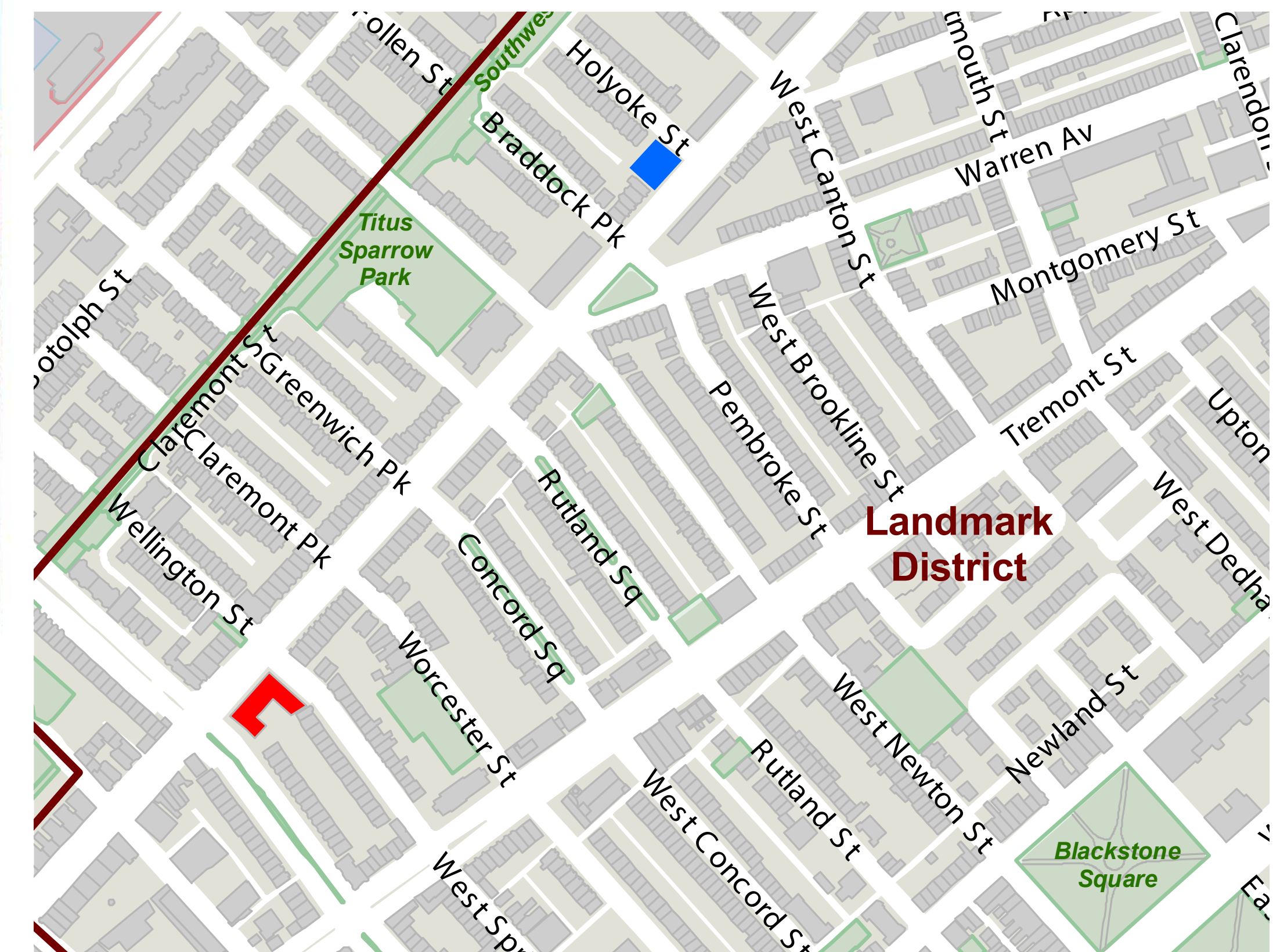
**Chevron on Tremont**



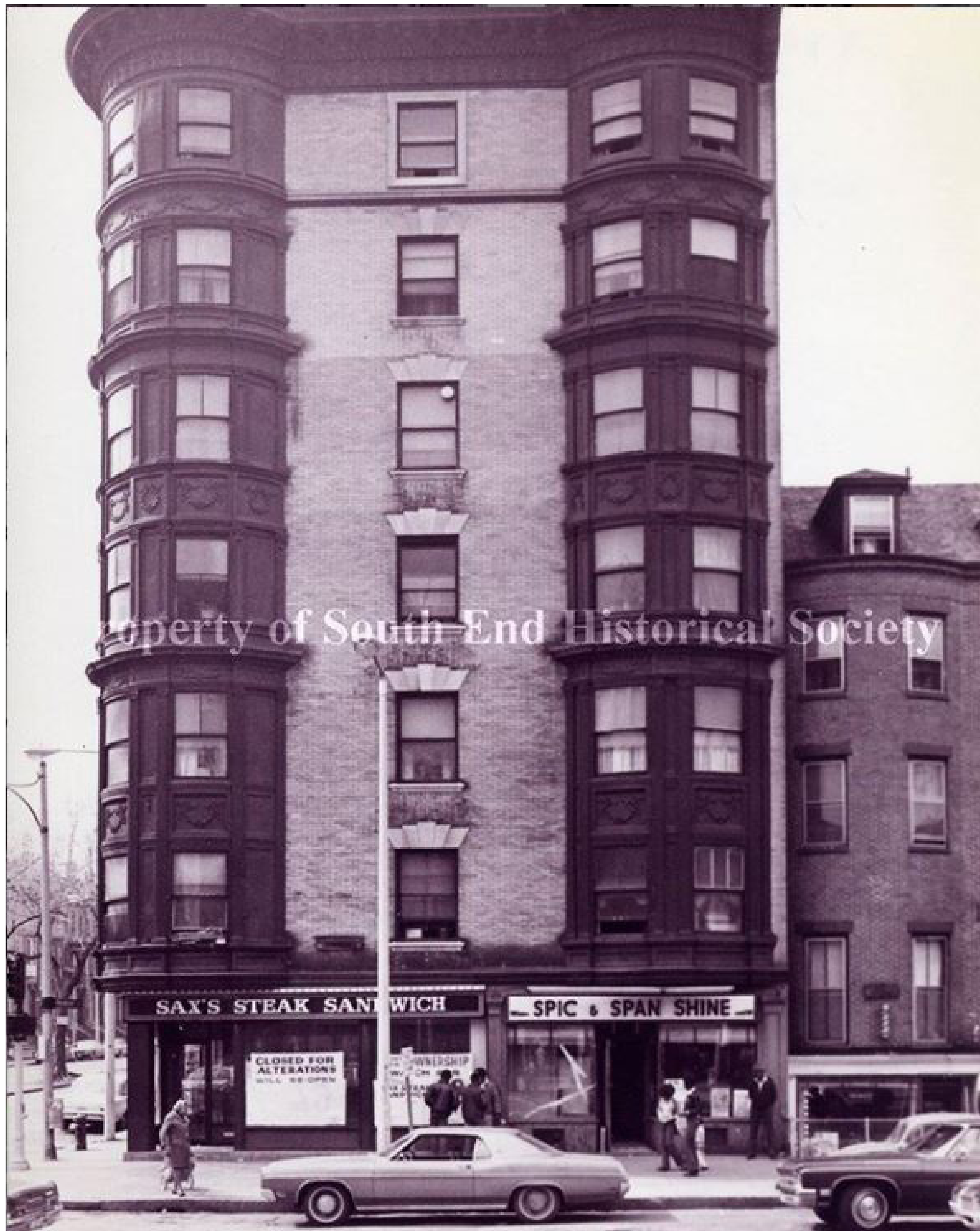




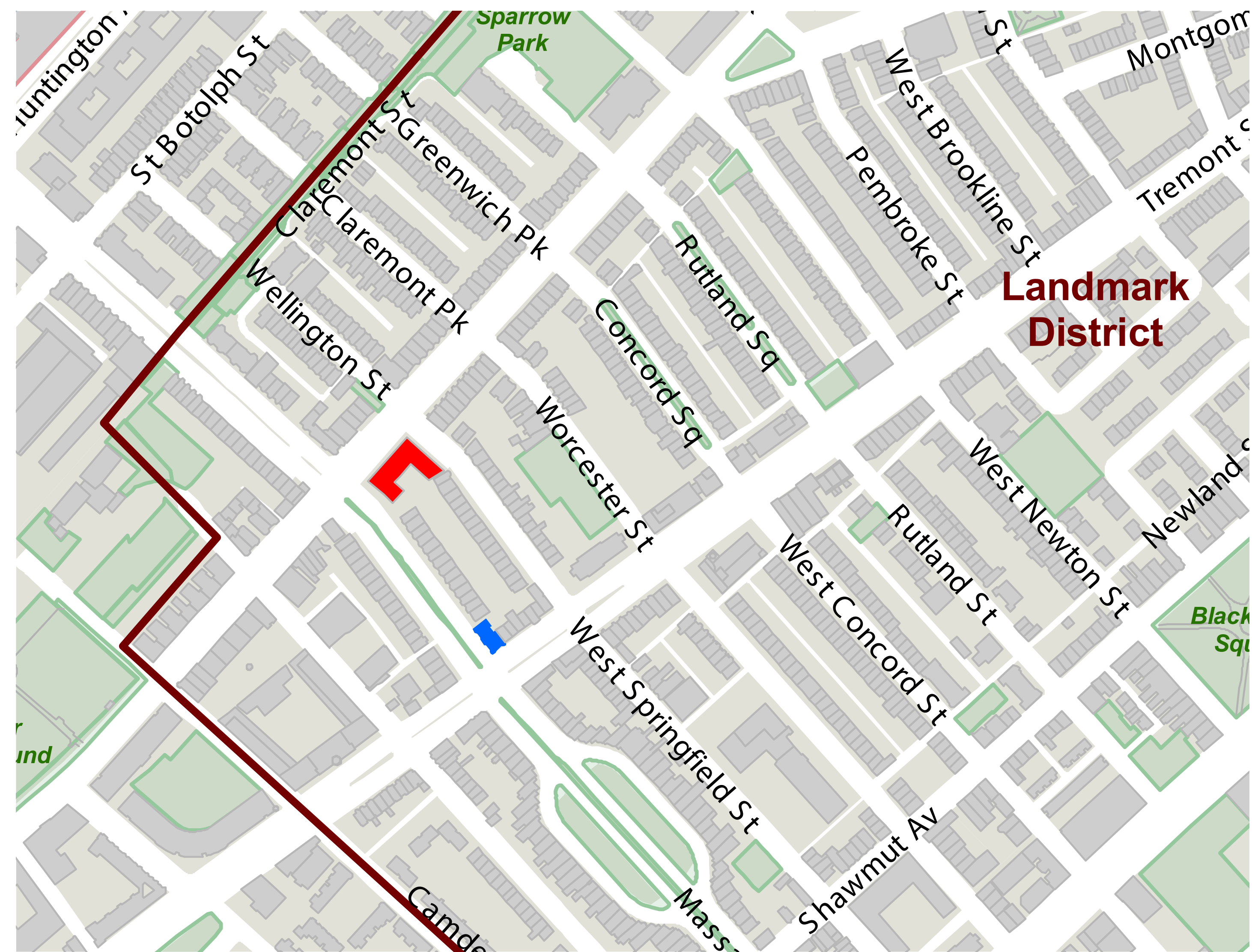
The Hotel Plaza and the famous Heidelberger Rathskellar were at 419 Columbus Avenue. Known originally as the Berwick Hotel, it was popular with tourists visiting the city. (Courtesy of the South End Historical Society.)



419 Columbus @ Holyoke Street

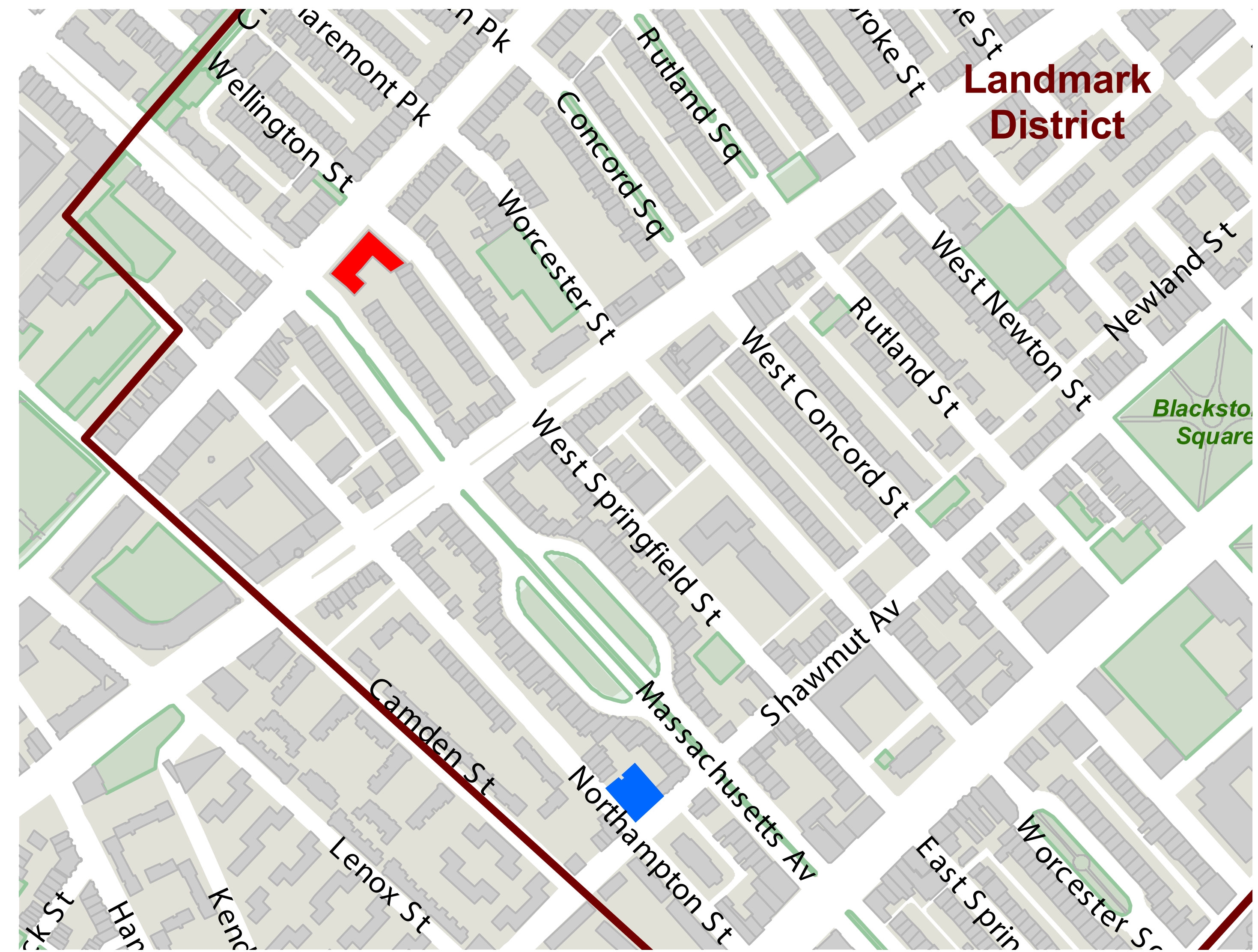


781 Tremont @ Massachusetts Avenue (1972)

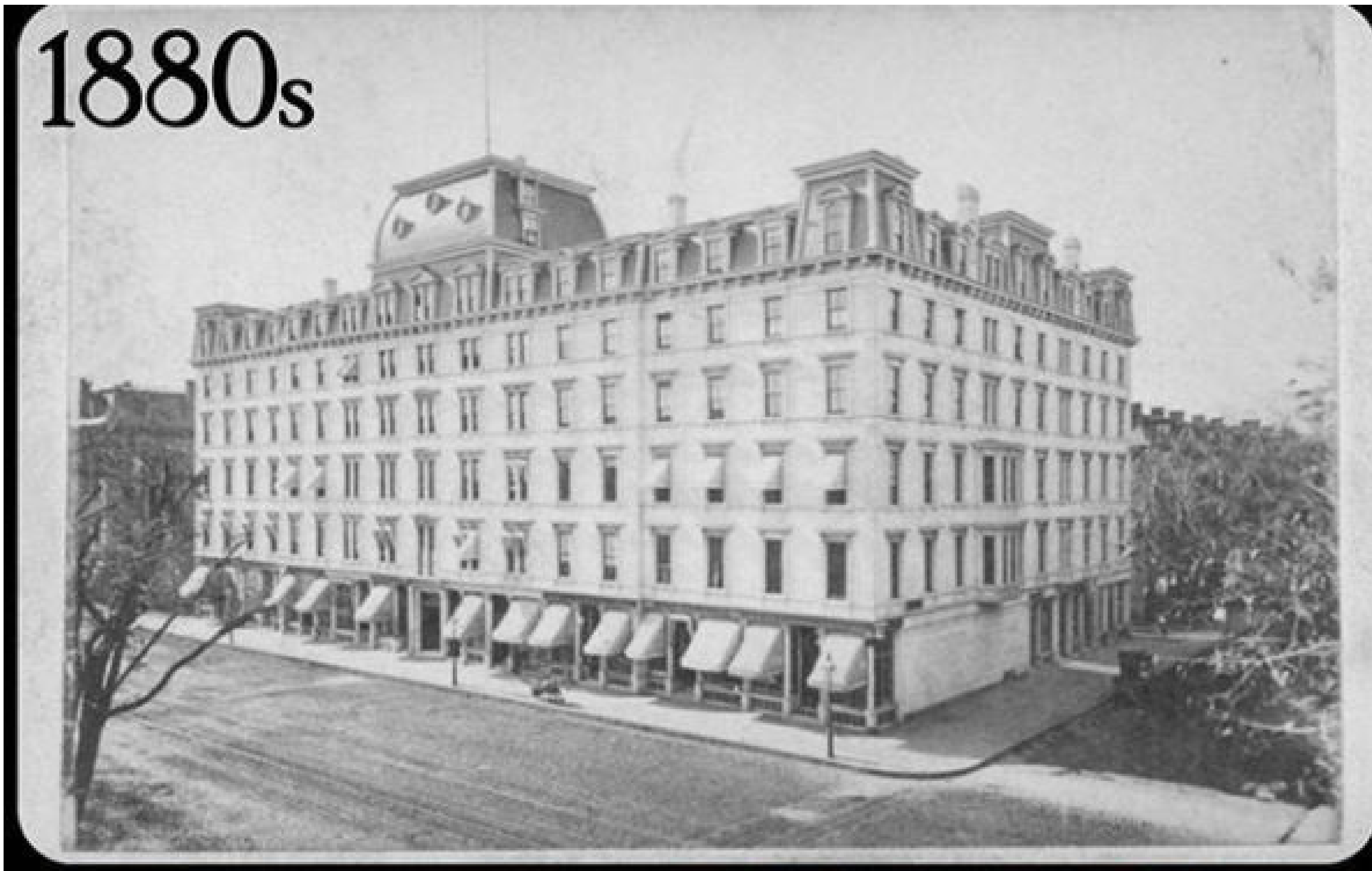




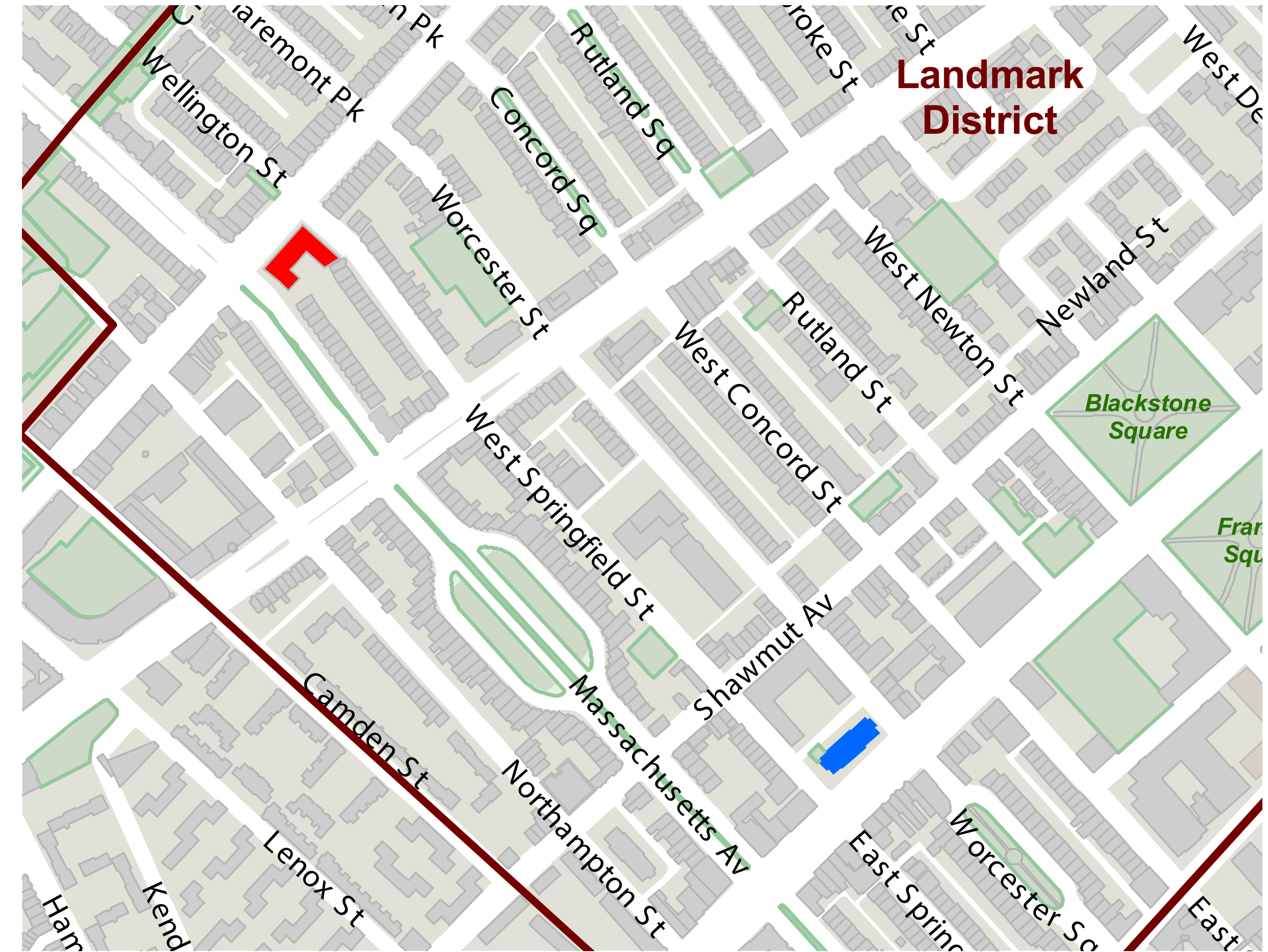
541 Shawmut @ Northampton Street (Robert Fortes House)



1880s

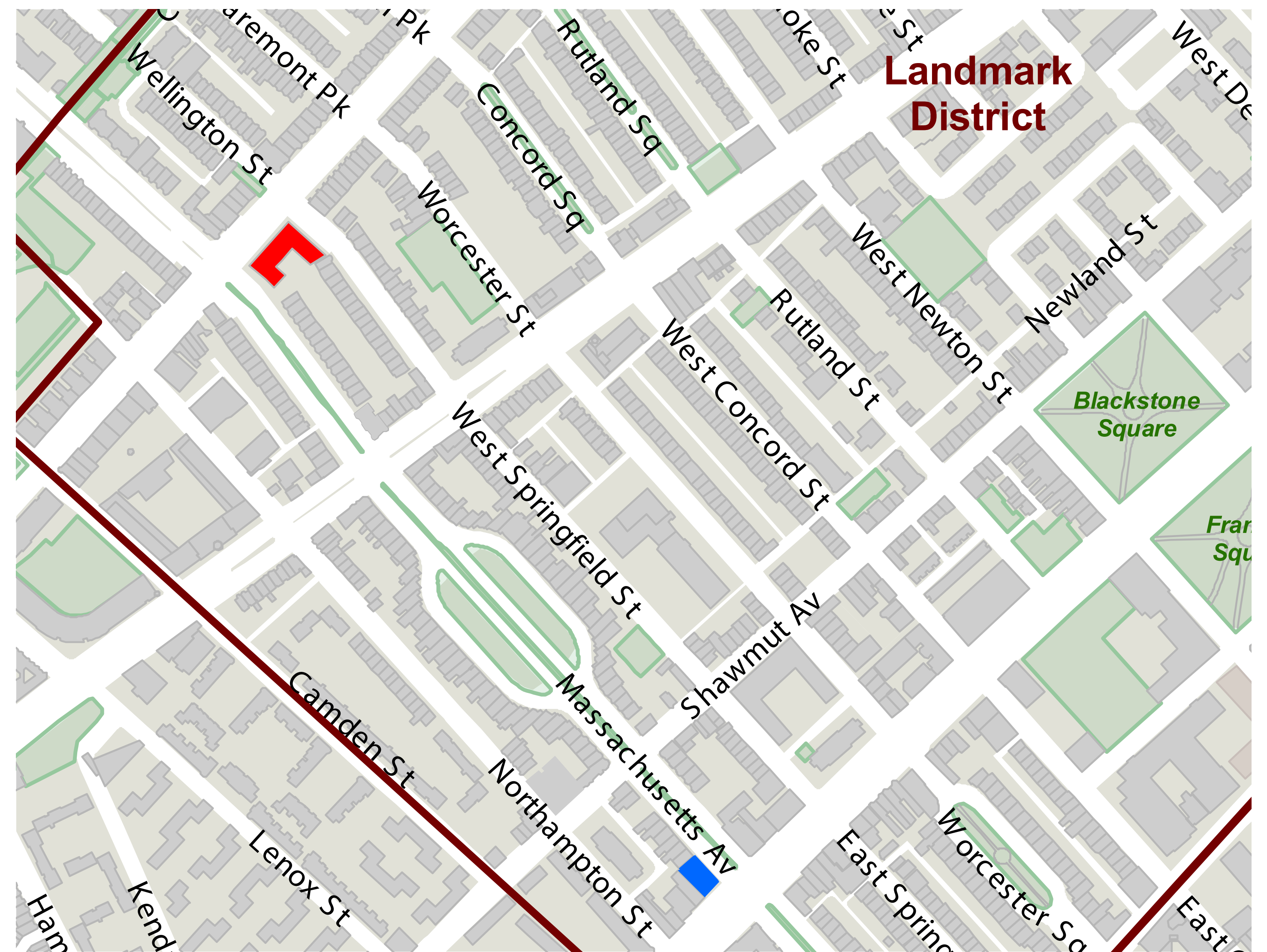


HOTEL COMMONWEALTH  
1697-1701 Washington @ W. Springfield Street





631 Washington @ Massachusetts Avenue

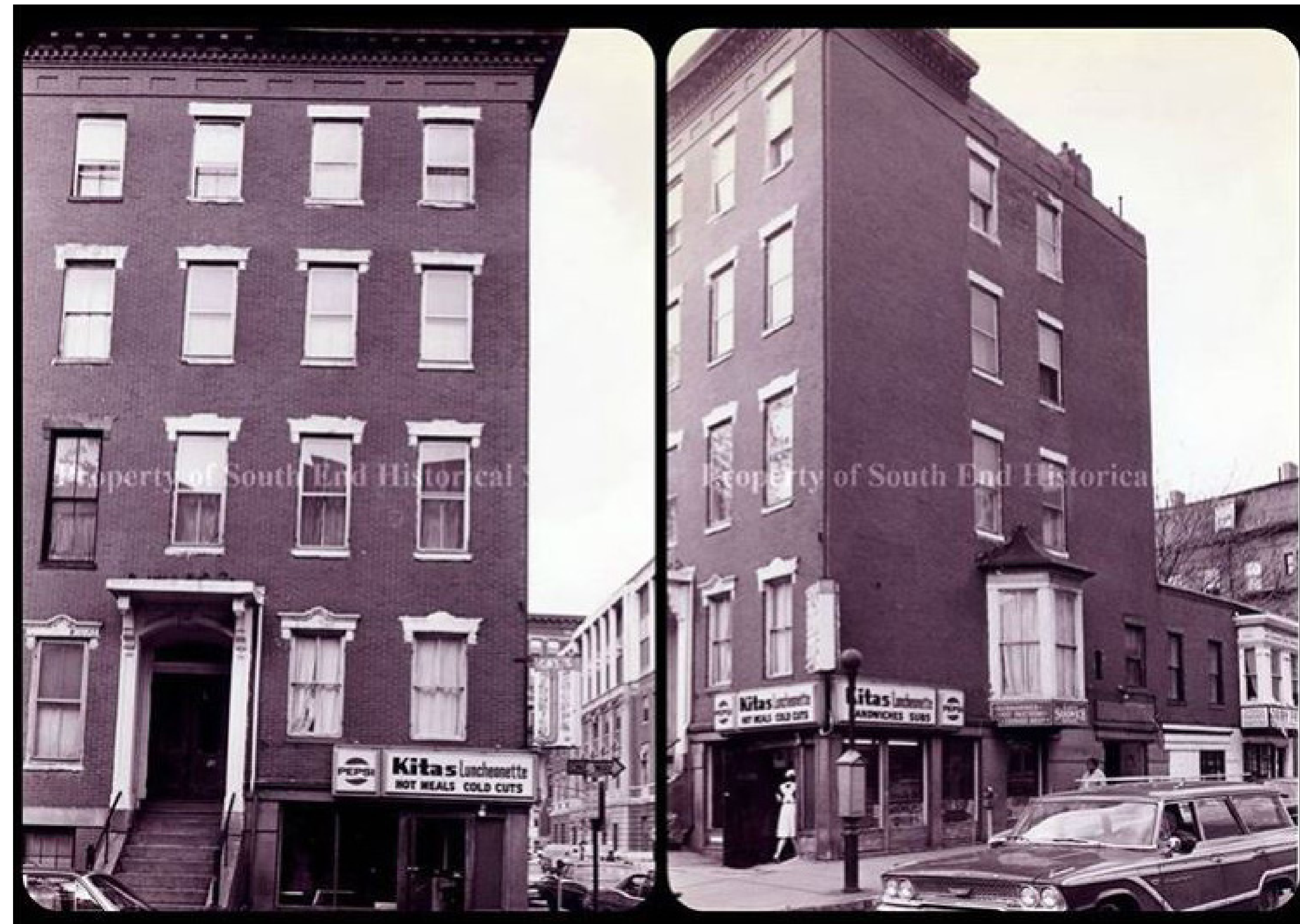




Yarmouth @ Columbus Avenue



W. Brookline @ Washington Street



E. Springfield @ Harrison Avenue

## South End Landmarks Design Review Comments | January 7, 2020

- *The “book-ending” treatment of the corner parcel is appropriate – historically buildings at the corners felt monumental*
- *Articulate window openings, take care in detailing*
- *Façade appears monolithic (flat), the façade should express modulation to break down the massing and read more as a group of residences*
- *Establish a hierarchical language between the vertical and horizontal bands*
- *Historic photographs of what existed on the site and in the area prior to the Tubman House would be helpful – Should this building be more anchored to precedent buildings?*
- *Study the range of articulation around openings which typically appears more pronounced at entrances and parlor levels and becomes gradually less pronounced toward the upper floors*
- *Consider how this building acknowledges character defining elements consistent of the South End Landmark District; including but not limited to; steel pickets, iron work detailing, brick, metal, oriels, bays*
- *Examine the transitions with abutting buildings – acknowledge established datums of existing/adjacent buildings*
- *Garage door, detailing and visual aesthetic is important*
- *Metal corner composition, detailing and visual aesthetic is important*
- *Look to simplify and add clarity to the overarching moves*
- *Establishing the massing with two different materials is positive*
- *Appropriate not to have garden fronts at the corner, Mass and Columbus but the incorporation along W. Springfield is positive*
- *Recommend a joint working session with Landmarks & BPDA as a next step*

## South End Landmarks Standards and Criteria | Category A, New Construction

- *BUILDING HEIGHTS*
- *LOT COVERAGE AND PRIMARY FRONTAGE*
- *BUILDING MATERIALS*
  - *Brick Masonry (similar in color and texture to the majority of adjacent buildings)*
  - *Full depth granite steps along the Mass Ave. and Columbus Ave. public realm entrance conditions*
  - *Lintels and sills (along West Springfield) matching appearance and character of adjacent rowhouses*
  - *Cornices of brick masonry*
  - *Windows: exterior aluminum-clad in appropriate colors and finishes*
  - *Visible mansard roofs, similar in appearance to slate*
  - *Metals: subdued and darker in color similar to the majority of adjacent buildings*
- *DESIGN FEATURES*
  - *Window openings resemble the appearance and dimensional proportion of abutting buildings*
  - *The following character defining elements are used and approximate the materials and proportions of existing buildings in the District;*
    - oriel and dormer windows*
    - mansard roofs*
    - cornices*
    - exterior steps*
    - decorative ironwork, railings*
    - recessed doorways*
    - entrance canopies*





**BEFORE**  
(JAN 7, 2020 LANDMARKS DESIGN REVIEW)



**AFTER**  
(MAY 5, 2020 LANDMARKS DESIGN REVIEW)

## DESIGN REFINEMENTS

- WINDOW DETAILING
- RANGE OF ARTICULATION IN PUNCHED OPENINGS UP/DOWN THE FACADE
- COMPOSITIONAL MODULATION ALONG THE FACADE
- HIERARCHY: VERTICAL AND HORIZONTAL BANDS/BRICK DETAILING
- FACADE MATERIALITY AND COLOR
- TREATMENT OF ATTIC STORY / METAL DETAILING
- GARAGE DOOR
- STONE VENEER CLADDING AND GROUND LEVEL BASE CONDITIONS
- METAL CORNER ELEMENT, COMPOSITION AND DETAIL
- CHARACTER DEFINING ELEMENTS;
  - steel pickets/railings
  - brick masonry
  - metal
  - cornices
  - oriel windows
  - proportions & locations of openings



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**BEFORE**  
(JAN 7, 2020 LANDMARKS DESIGN REVIEW)



**AFTER**  
(MAY 5, 2020 LANDMARKS DESIGN REVIEW)





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**BEFORE**  
(JAN 7, 2020 LANDMARKS DESIGN REVIEW)



**AFTER**  
(MAY 5, 2020 LANDMARKS DESIGN REVIEW)



















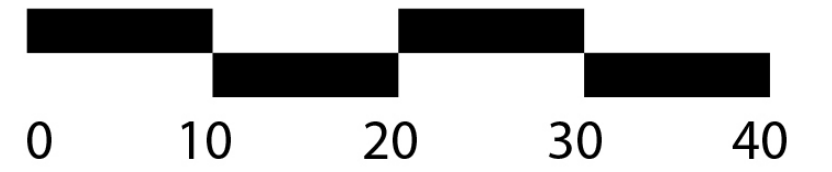






WEST SPRINGFIELD STREET

MASSACHUSETTS AVENUE

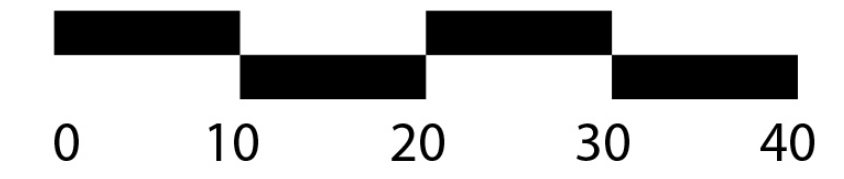








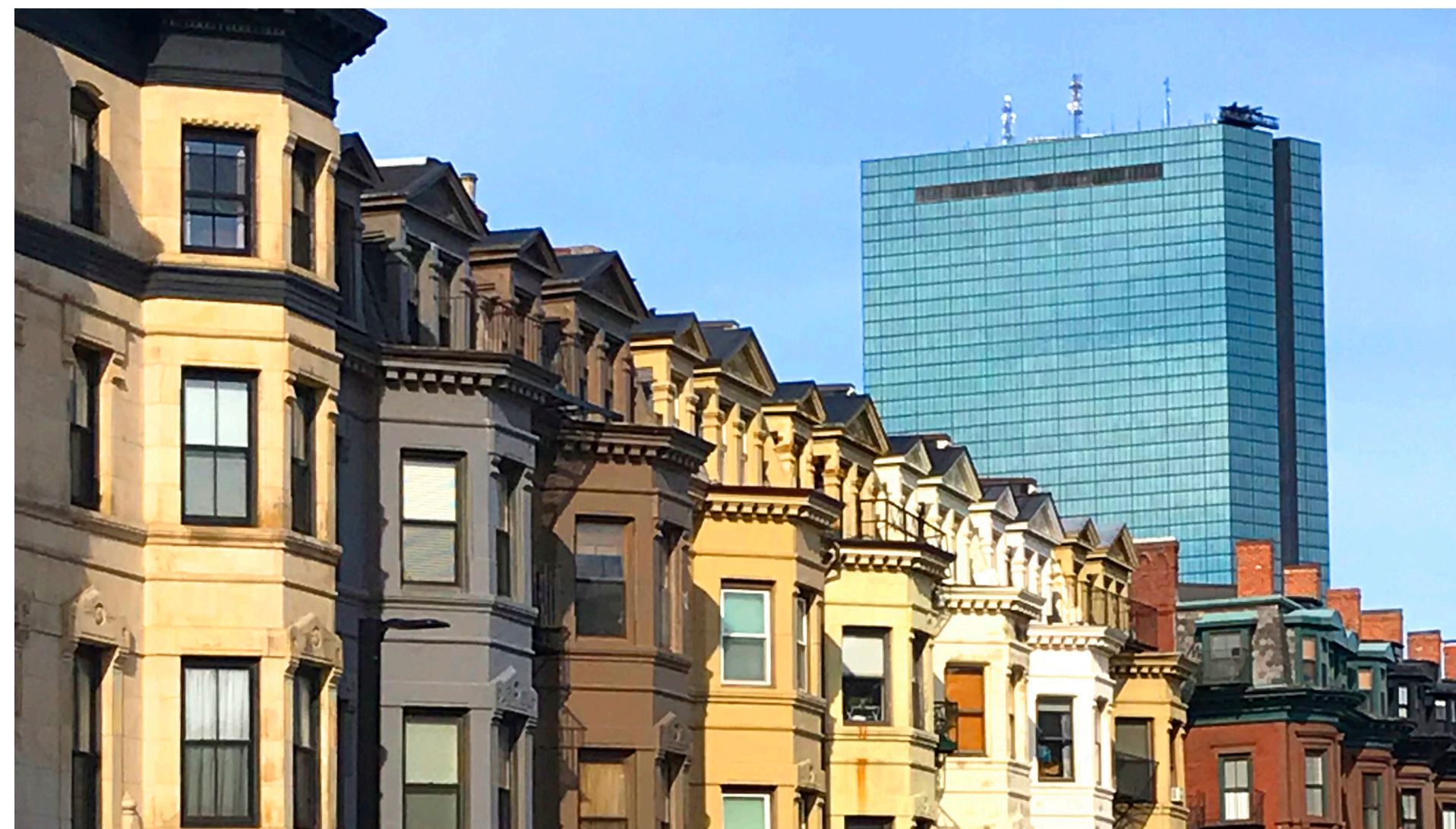
COLUMBUS AVENUE

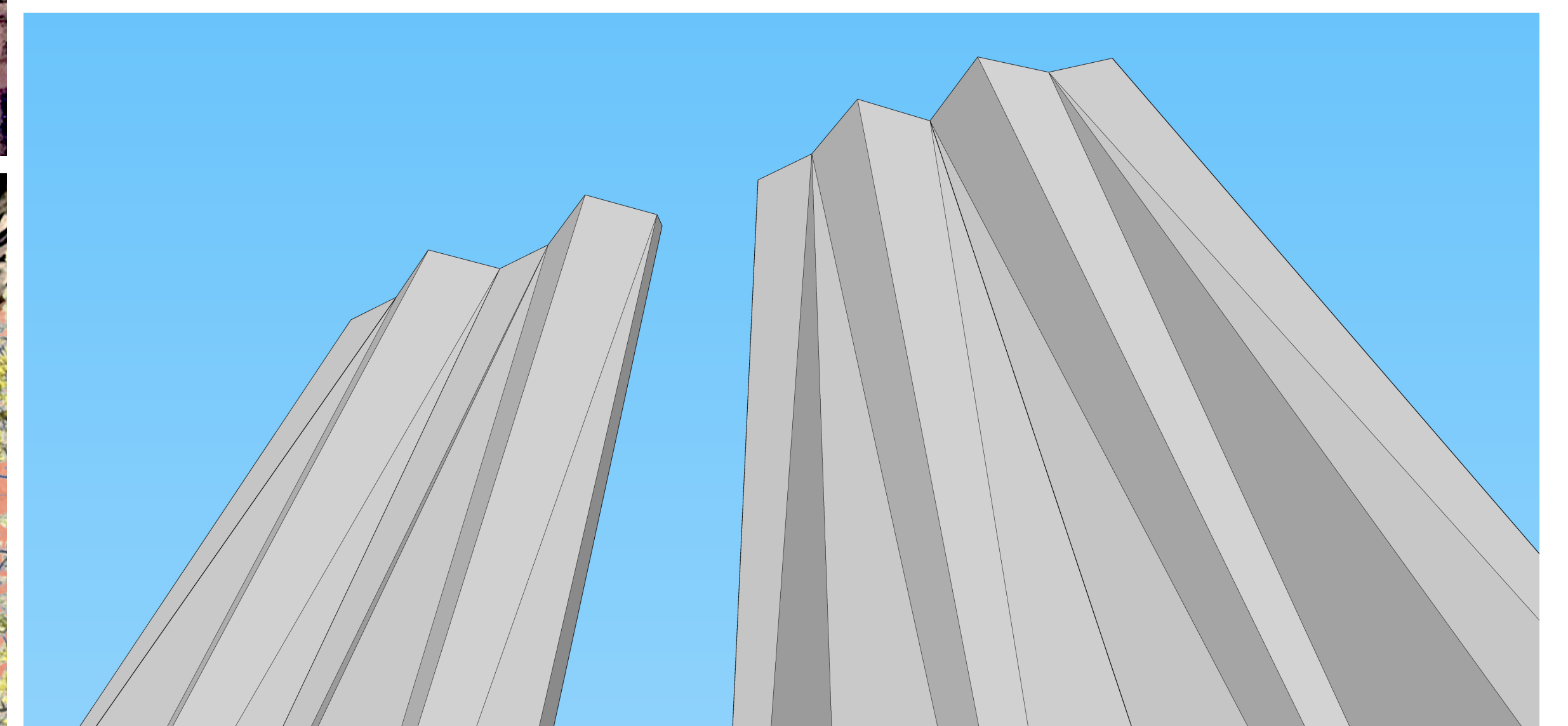
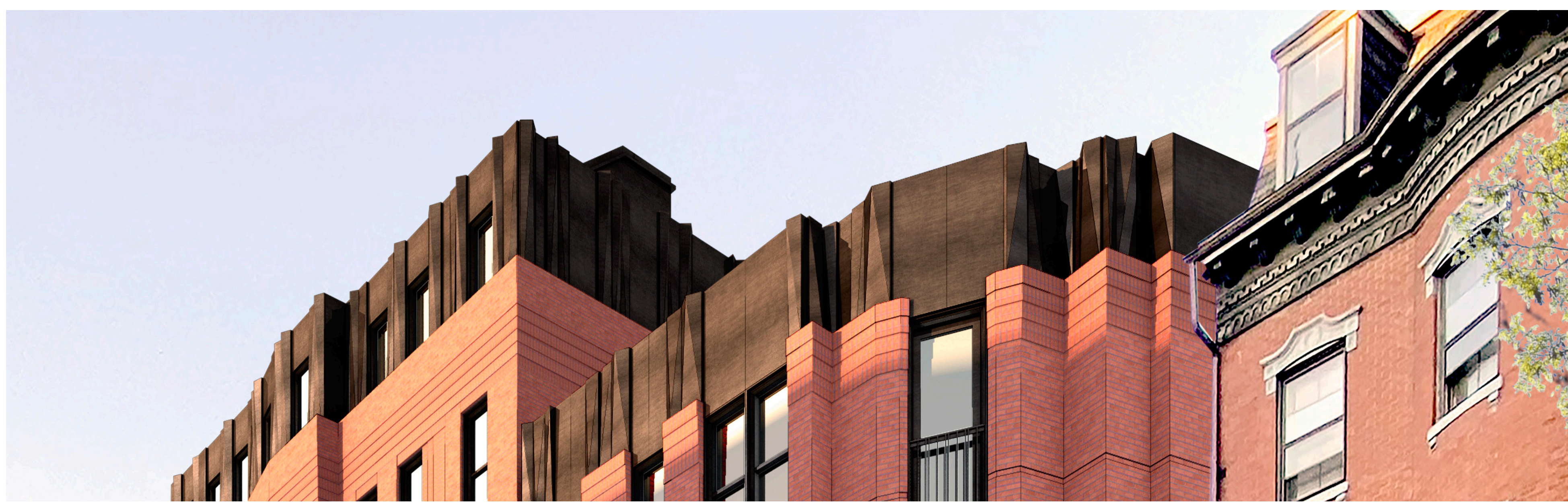
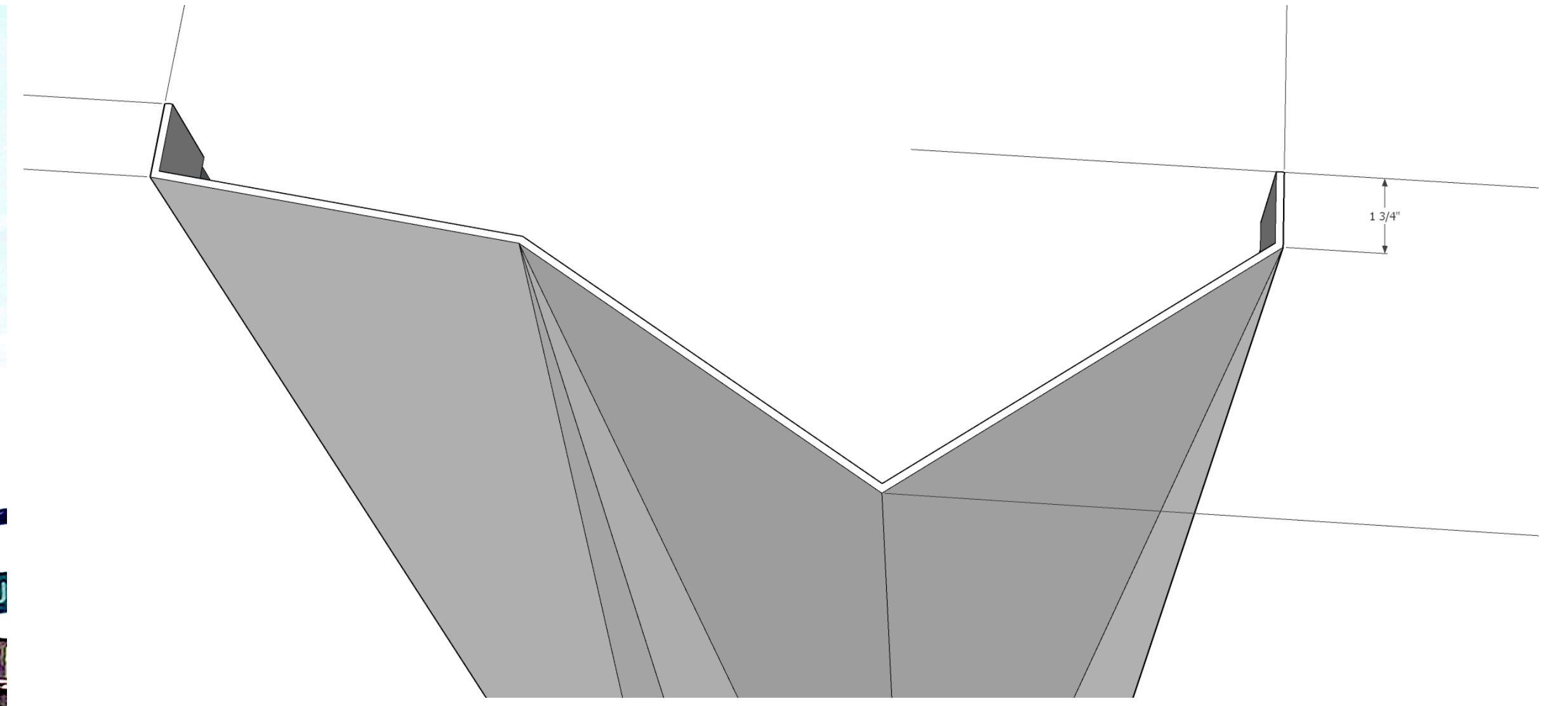




















## APPENDIX



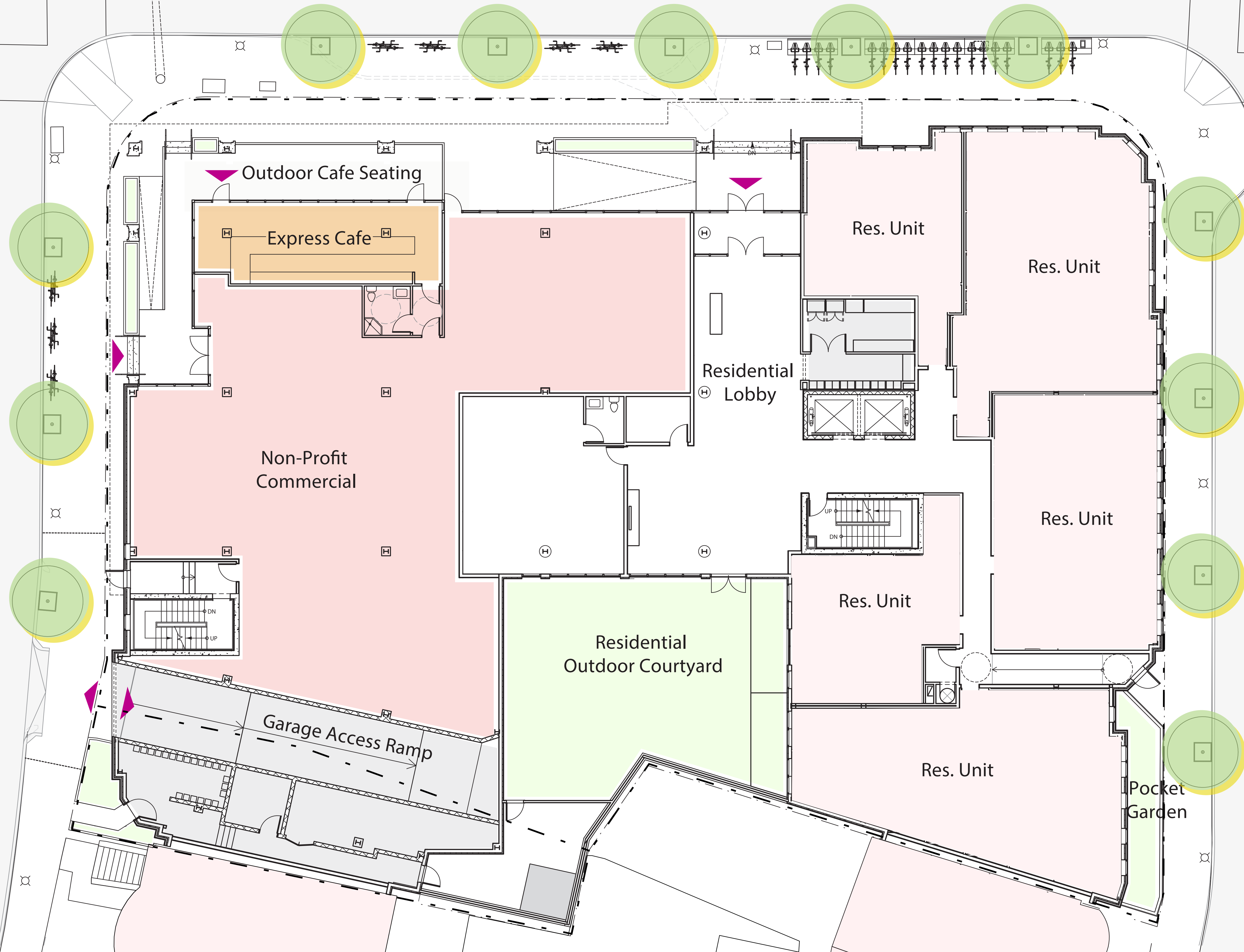




Columbus Avenue

Massachusetts Avenue

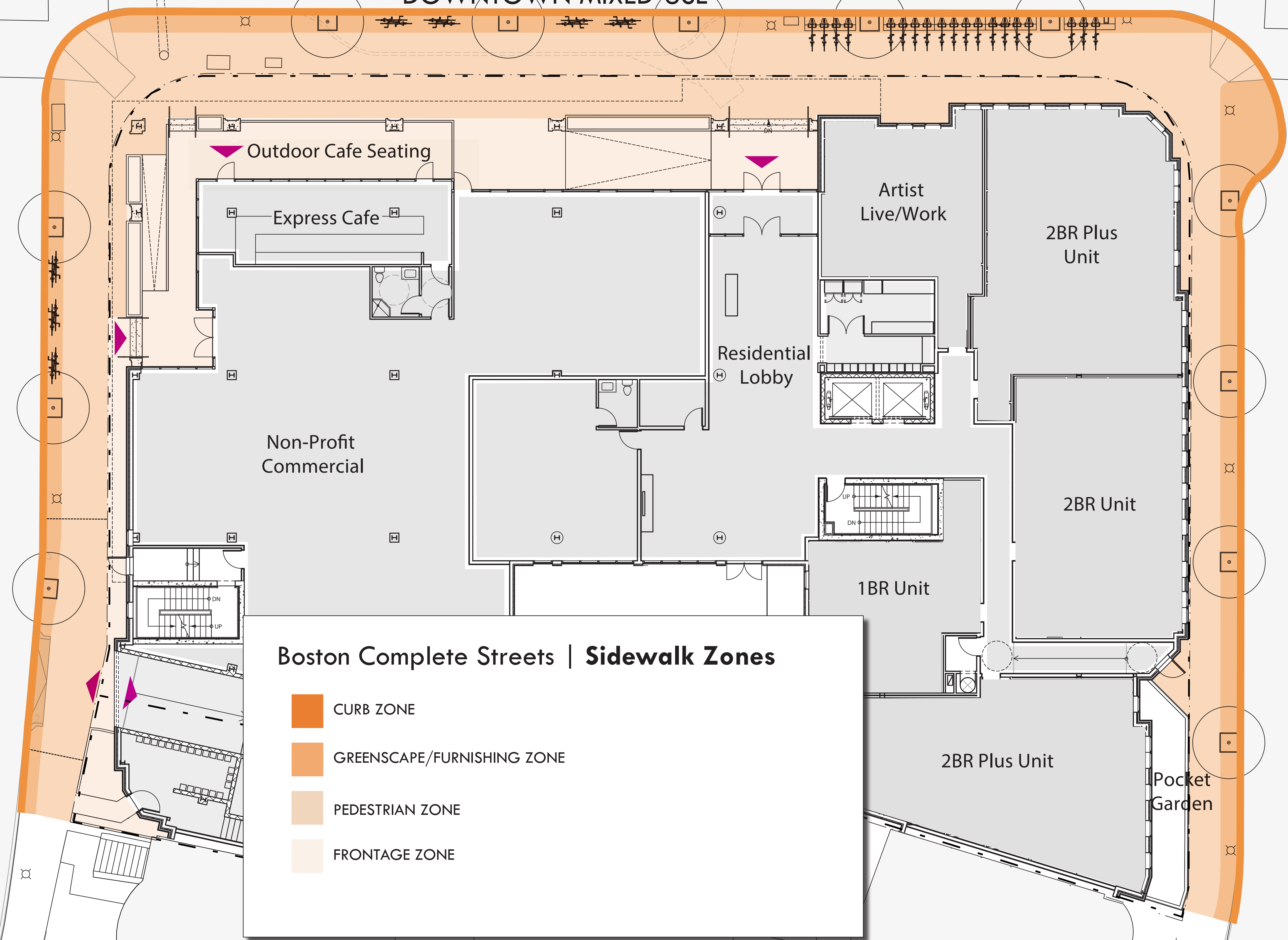
West Springfield St.



**Columbus Avenue**  
DOWNTOWN MIXED-USE

**Massachusetts Avenue**  
DOWNTOWN MIXED-USE

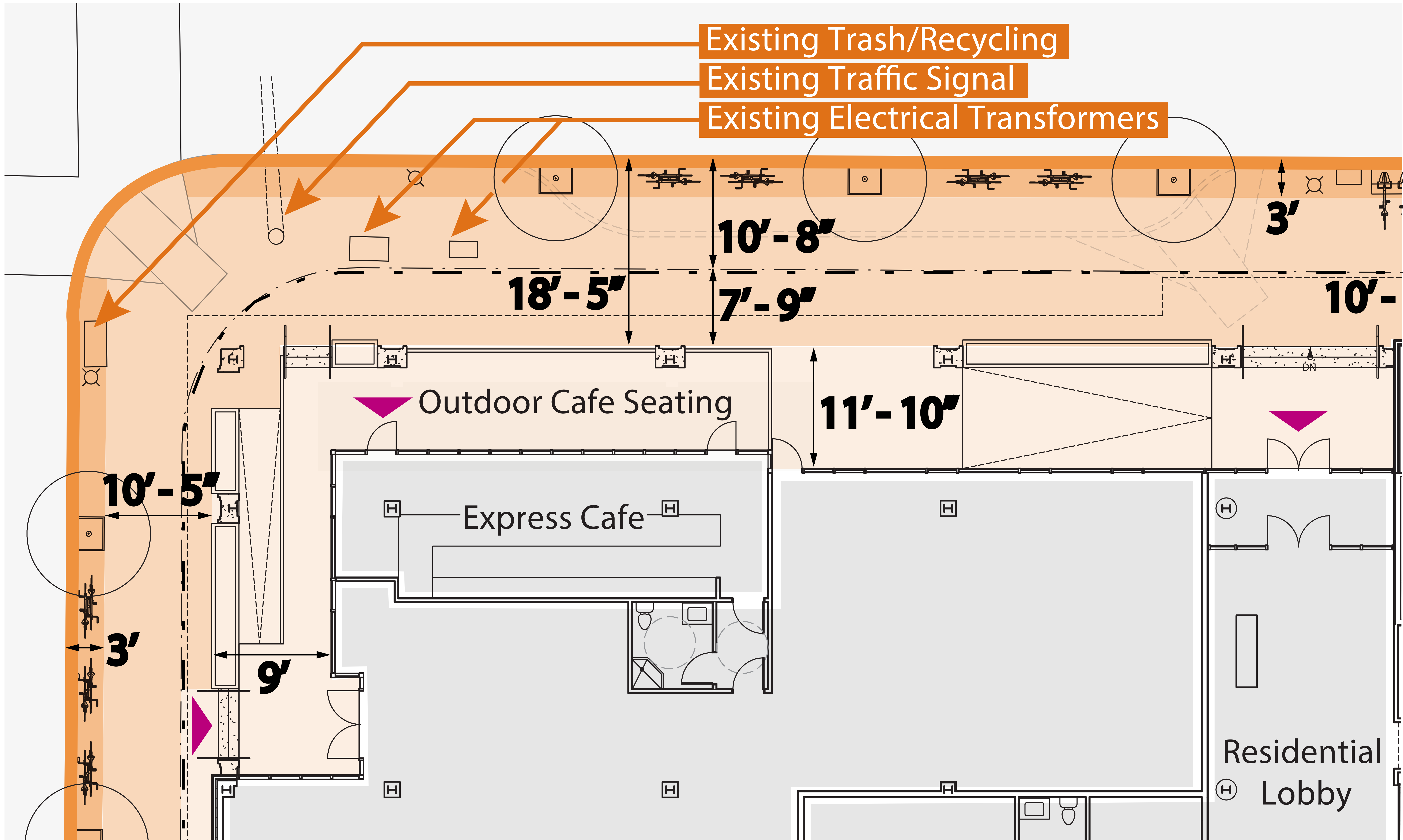
**West Springfield St.**  
NEIGHBORHOOD RESIDENTIAL



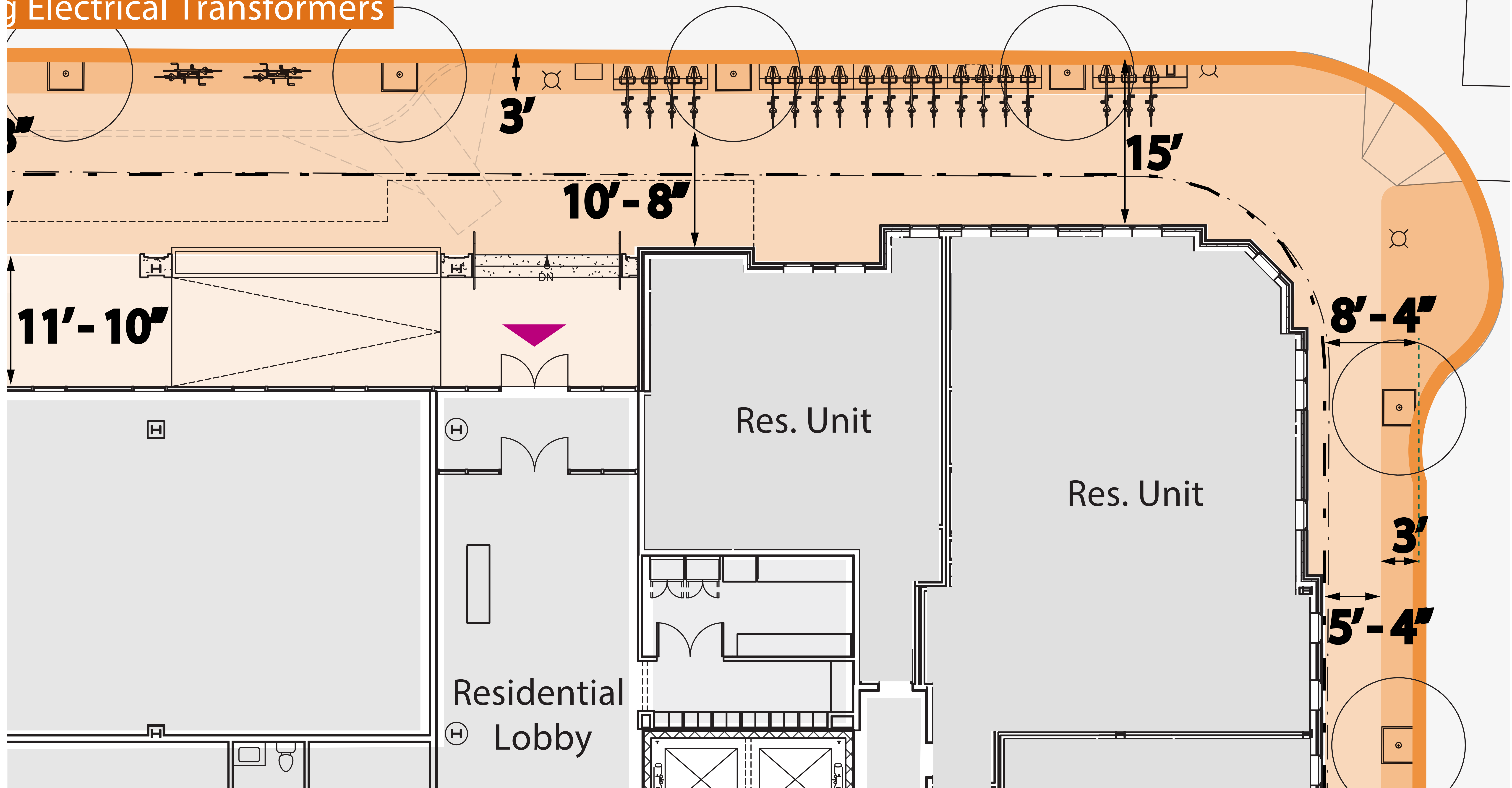
**Boston Complete Streets | Sidewalk Zones**

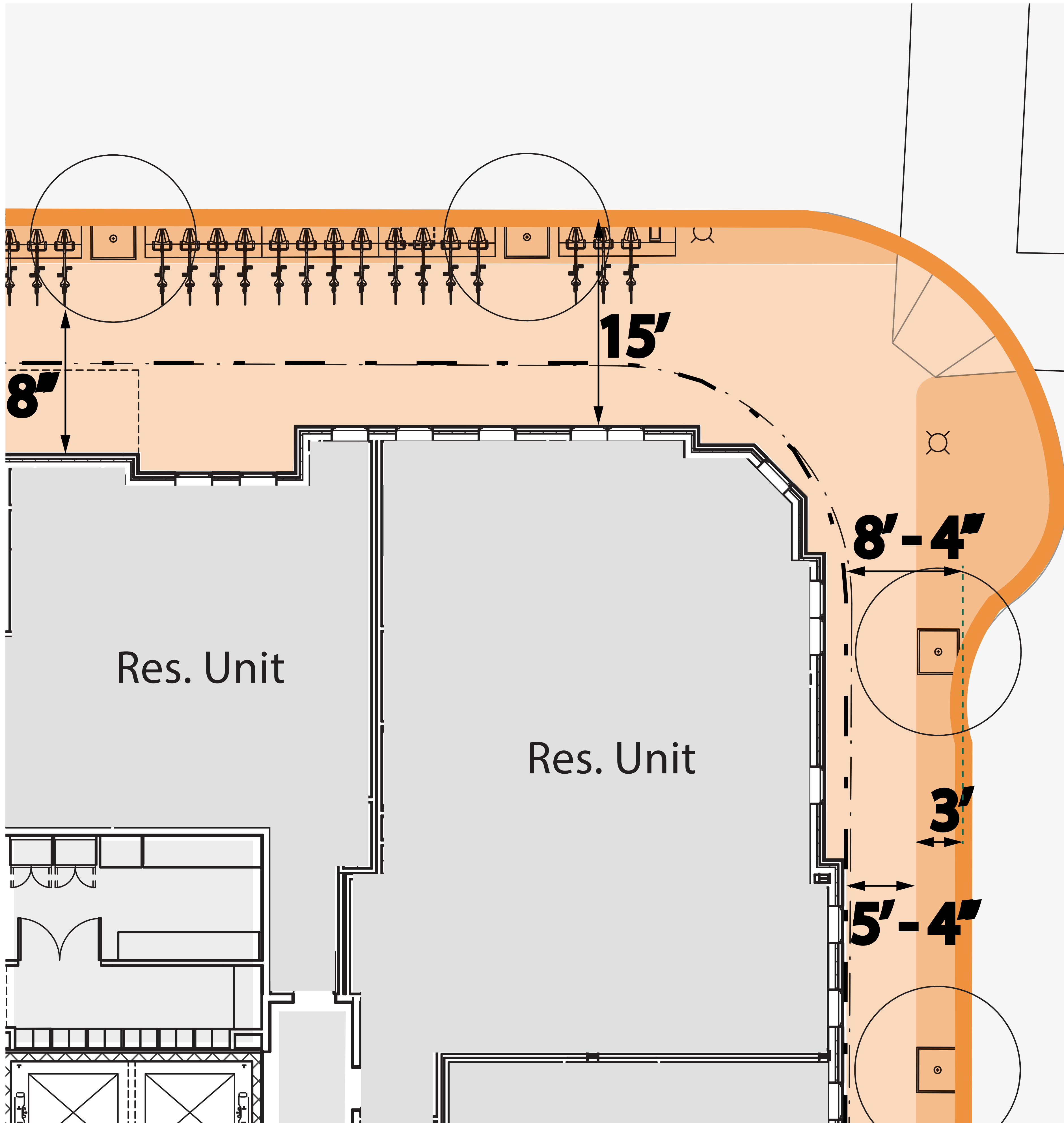
- CURB ZONE
- GREENSCAPE/FURNISHING ZONE
- PEDESTRIAN ZONE
- FRONTAGE ZONE





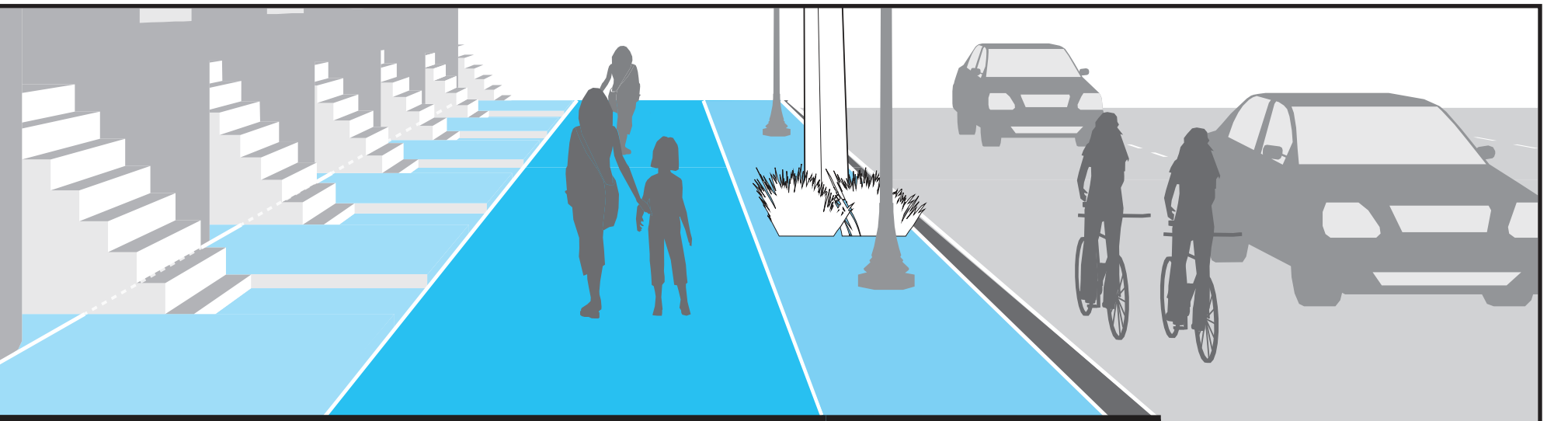
g Trash/Recycling  
g Traffic Signal  
g Electrical Transformers





## Preferred and Minimum Widths for Sidewalk Zones

The width and design of sidewalks will vary depending on street typology, functional classification, and demand. Below are the City of Boston's preferred and minimum widths for each Sidewalk Zone by Street Type.



Street Type	Frontage Zone		Pedestrian Zone*		Greenscape/ Furnishing Zone		Curb Zone	Total Width	
	Preferred	Minimum	Preferred	Minimum	Preferred	Minimum		Preferred	Minimum
Downtown Commercial	2'	0'	12'	8'	6'	1'-6"	6"	20'-6"	10'
Downtown Mixed-Use	2'	0'	10'	8'	6'	1'-6"	6"	18'-6"	10'
Neighborhood Main	2'	0'	8'	5'	6'	1'-6"	6"	16'-6"	7'
Neighborhood Connector	2'	0'	8'	5' (4)*	5'	1'-6"	6"	15'-6"	7'
Neighborhood Residential	2'	0'	5'	5' (4)*	4'	1'-6"	6"	11'-6"	7'
Industrial Street	2'	0'	5'	5' (4)*	4'	1'-6"	6"	11'-6"	7'
Shared Street	2'	0'	Varies	5' (4)*	N/A	N/A	N/A	Varies	Varies
Parkway	N/A	N/A	6'	5'	10'	5'	6"	16'-6"	10'-6"
Boulevard	2'	0'	6'	5'	10'	5'	6"	18'-6"	11'-6"

### Notes

\* 5' is the preferred minimum width of the Pedestrian Zone in the City of Boston. The Americans with Disabilities Act (ADA) minimum 4' wide Pedestrian Zone can be applied using engineering judgement when retrofitting 7' wide existing sidewalks where widening is not feasible.

#### Frontage Zone

- ▶ Where buildings are located against the back of the sidewalk and constrained situations do not provide width for the Frontage Zone, the effective width of the Pedestrian Zone is reduced by 1', as pedestrians will shy from the building edge.
- ▶ The preferred width of the Frontage Zone to accommodate sidewalk cafés is 6'.

#### Pedestrian Zone

- ▶ Based on engineering judgment in consultation with PWD and the Mayor's Commission for Person's with Disabilities, the ADA minimum 4' Pedestrian Zone (plus 5' of width every 200') may be applied.

#### Greenscape/Furnishing Zone

- ▶ The minimum width of the Greenscape/Furnishing Zone necessary to support standard street tree installation is 2'-6".
- ▶ Utilities, street trees, and other sidewalk furnishings should be set back from curb face a minimum of 18".

#### Curb Zone

- ▶ Although the typical width of the Curb Zone is 6", widths may vary; additional width beyond 6" should be calculated as a part of the Greenscape/Furnishing Zone.

