



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Dorchester

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:

Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>51 Lawley Street</u>	<u>Dorchester</u>	<u>02124</u>
a. Street Address	b. City/Town	c. Zip Code
<u>Latitude and Longitude:</u>	<u>42 17' 25.22" N</u>	<u>71 02' 27.97" W</u>
	d. Latitude	e. Longitude
<u>Ward 16</u>	<u>Parcel 02629010</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Timothy</u>	<u>Johnson</u>	
a. First Name	b. Last Name	
<u>Tim Johnson Architect LLC</u>		
c. Organization		
<u>190 Old Colony Avenue</u>		
d. Street Address		
<u>South Boston</u>	<u>MA</u>	<u>02127</u>
e. City/Town	f. State	g. Zip Code
<u>617-464-4363</u>	<u>architecttj@verizon.net</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

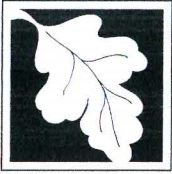
<u>James</u>	<u>Paskell</u>	
a. First Name	b. Last Name	
<u>West Point Realty Development</u>		
c. Organization		
<u>51 Thorny Meadow Way</u>		
d. Street Address		
<u>Hanover</u>	<u>MA</u>	<u>02339</u>
e. City/Town	f. State	g. Zip Code
<u>617-799-3580</u>	<u>JEPaskell@gmail.com</u>	
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Maureen</u>	<u>Herald</u>	
a. First Name	b. Last Name	
<u>Norse Environmental Services, Inc.</u>		
c. Company		
<u>92 Middlesex Road, Unit 4</u>		
d. Street Address		
<u>Tyngsborough</u>	<u>MA</u>	<u>01879</u>
e. City/Town	f. State	g. Zip Code
<u>978-649-9932</u>	<u>norseenvironmental@verizon.net</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$1,050.00</u>	<u>\$512.50</u>	<u>\$537.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Dorchester

City/Town

A. General Information (continued)

6. General Project Description:

The applicant is proposing to construct a 4-story, 2 family dwelling, porch, driveway, retaining walls, drainage, grading and associated utilities within Land Subject to Coastal Storm Flowage (LSCSF).

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Suffolk County Registry of Deeds

a. County

52048

c. Book

b. Certificate # (if registered land)

190

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number _____

Document Transaction Number _____

Dorchester

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

- f. Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland** _____
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

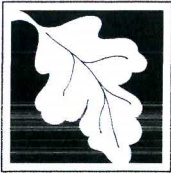
a. total square feet _____	b. square feet within 100 ft. _____	c. square feet between 100 ft. and 200 ft. _____
----------------------------	-------------------------------------	--

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number
 0

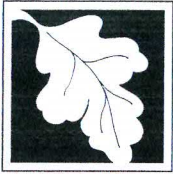
City/Town _____

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users: Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input checked="" type="checkbox"/> Land Subject to Coastal Storm Flowage	1,519 +/- s.f. _____	
	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW _____	b. square feet of Salt Marsh _____
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings _____	b. number of replacement stream crossings _____



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number _____

Document Transaction Number _____

Dorchester

City/Town _____

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- 1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

- 7/2019 _____
b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

- 1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____
percentage/acreage

(b) outside Resource Area _____
percentage/acreage

- 2. Assessor's Map or right-of-way plan of site

- 2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Dorchester

City/Town

C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_fee_schedule.htm).
Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhosp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

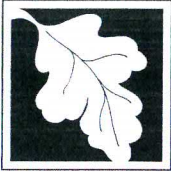
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Dorchester

City/Town

C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

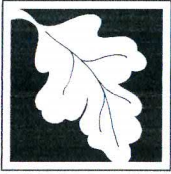
- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Dorchester

City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Site Plan

a. Plan Title

Civil Environmental Consultants

James Herrick

b. Prepared By

c. Signed and Stamped by

8/6/2019

1"=10'

d. Final Revision Date

e. Scale

Architectural Plans

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
8. Attach NOI Wetland Fee Transmittal Form
9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

City of Boston Check #1761

2/8/19

2. Municipal Check Number

3. Check date

Commonwealth of MA Check #1760

2/8/19

4. State Check Number

5. Check date

James

Paskell

6. Payor name on check: First Name

7. Payor name on check: Last Name



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

[Handwritten Signature]

2. Date

2-6-19
2/8/19

3. Signature of Property Owner (if different)

[Handwritten Signature]

4. Date

8/6/19

5. Signature of Representative (if any)

[Handwritten Signature]

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

WEST POINT REALTY DEVELOPMENT LLC

SS-176713

1760

2/8/19

Pay to the order of Common by Me \$ 512.50
Five hundred twelve dollars - 50/100

Eastern Bank

MEMBER FDIC
EQUIPMENT FINANCE
CREDIT ADVISORY

51 Lawley Wetland Filing Fee

J. P. [Signature]

⑆01⑆⑆0⑆1798⑆ ⑆0600588⑆188⑆ 1760

WEST POINT REALTY DEVELOPMENT LLC

SS-176713

1761

2/8/19

Pay to the order of City of Boston \$ 537.50
Five hundred thirty seven and 50/100

Eastern Bank

MEMBER FDIC
EQUIPMENT FINANCE
CREDIT ADVISORY

51 Lawley Filing Fee - Wetland

J. P. [Signature]

⑆01⑆⑆0⑆1798⑆ ⑆0600588⑆188⑆ 1761

CASH ONLY IF ALL CheckLock™ SECURITY FEATURES LISTED ON BACK INDICATE NO TAMPERING OR COPYING.

NORSE ENVIRONMENTAL SERVICES, INC.

92 MIDDLESEX RD., UNIT 4
TYNGSBORO, MA 01879
978-649-9932

BANKNORTH, NATIONAL ASSOCIATION
NASHUA, NH 03060
53-7054/2113

8855

8/13/2019

PAY TO THE ORDER OF CITY OF BOSTON

\$ **962.50

Nine Hundred Sixty-Two and 50/100 ***** DOLLARS

PROTECTED AGAINST FRAUD

CITY OF BOSTON
CONSERVATION
1 CITY HALL SQUARE ROOM 709
BOSTON, MA 02201

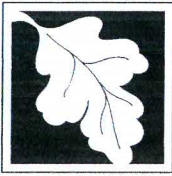


Steven Epstein

MEMO

CITY FILING FEE + BYLAW FEE: 51 LAWLEY STR

⑈008855⑈ ⑆211370545⑆ 8242129365⑈



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

51 Lawley Street	Dorchester
a. Street Address	b. City/Town
Check #1760	\$512.50
c. Check number	d. Fee amount

2. Applicant Mailing Address:

Timothy	Johnson	
a. First Name	b. Last Name	
Tim Johnson Architect LLC		
c. Organization		
190 Old Colony Avenue		
d. Mailing Address		
South Boston	MA	02127
e. City/Town	f. State	g. Zip Code
617-464-4363	architecttj@verizon.net	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

James	Paskell	
a. First Name	b. Last Name	
West Point Realty Development LLC		
c. Organization		
51 Thorny Meadow Way		
d. Mailing Address		
Hanover	MA	02339
e. City/Town	f. State	g. Zip Code
617-799-3580	JEPaskell@gmail.com	
h. Phone Number	i. Fax Number	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

Notification to Abutters Under the Massachusetts Wetlands Protection Act

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40 you are hereby notified of the following.

- A. The name of the applicant is Tim Johnson Architect LLC
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of Boston, seeking permission to remove, fill, dredge, or alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40).
- C. The address where the activity is proposed is 51 Lawley Street - Dorchester Ward 16 Parcel 02629010.
Proposing to construct a 4-story, 2 family dwelling porch, driveway, retaining walls, drainage, grading and associated utilities within Land Subject to Coastal Storm Flowage (LSCSF).
- D. Copies of the Notice of Intent may be examined at: Boston Conservation Commission located at Boston City Hall, 1 City Hall Square, Room 709 Boston, MA 02201 between the hours of 9:00 a.m. to 5:00 p.m. on the following days of the week: Monday through Friday. For more information, call: 617-635-3850.
- E. Copies of the Notice of Intent may also be examined at Norse Environmental Services by calling this telephone number 978-649-9932 between the hours of 8:00 a.m. and 6:00 p.m. on the following days of the week: Monday thru Thursday/ Friday until 12:00 p.m.
- F. Information regarding the date, time, and place of the public hearing may be obtained from the Boston Conservation Commission by calling this telephone number 617-635-3850 between the hours of 9:00 a.m. to 5:00 p.m. on the following days of the week: Monday thru Friday. For more information, call: 617-635-3850.

A public hearing will take place at 6 p.m. on September 4, 2019 at Boston City Hall, 1 City Hall Square in the Piemonte Room, 5th floor.

The following is a link to view the Public Notice Page to confirm hearing date and agenda items: <https://www.boston.gov/public-notices>

Note: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the Boston Herald.

Note: Notice of the public hearing, including its date, time, and place, will be posted in the City or Town Hall not less than forty-eight (48) hours in advance.

Note: You also may contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetland Protection Act. To contact DEP Call: **Northeast Region:** 978-694-3200.

If you have any further questions please call Steven Eriksen at Norse Environmental Services, Inc., 978-649-9932.

Abutter Mailing List Generator --- City of Boston Assessing Department

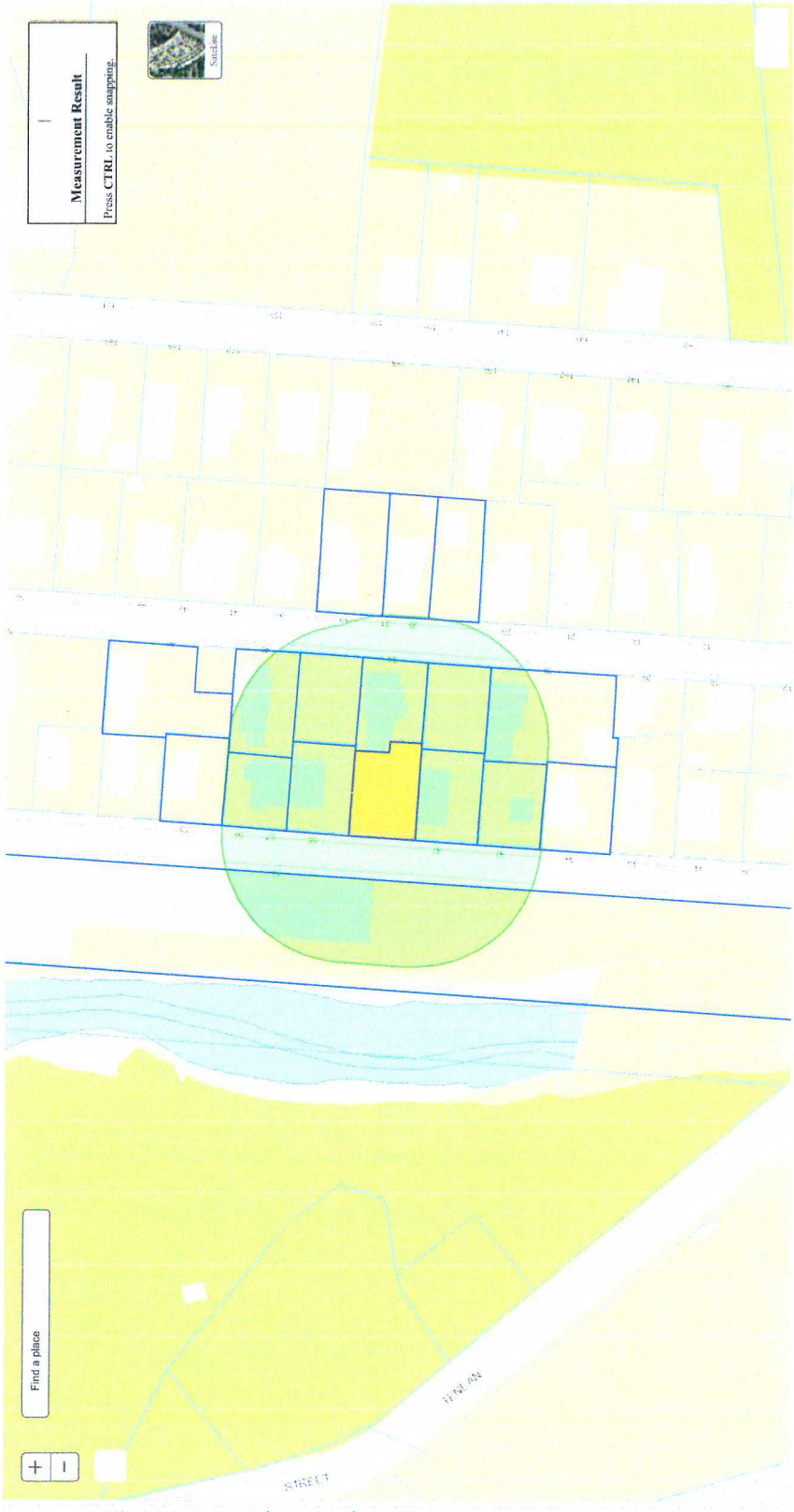
Enter/Select a Street Name:
 CITY HALL
[Find Addresses](#)
 Click an Address to find a Parcel:

Enter a Parcel ID:
 1602629010
[Find a Parcel](#)
 When you can see Parcels:
[Click Here to Select a Parcel](#)

Buffer Parameters:
 Distance: 100 Feet
[Buffer and Select](#)

Click [here](#) to download a CSV file
 (Open in Notepad, not in Excel) for
 Mailing list.
 Click [here](#) for an instruction to
 convert a CSV file to Mailing
 Labels using MS Word.

Note: Use newer versions of browser
 to view this site such as IE 11+ or
 Chrome 47+ - etc.



Find a place



Measurement Result

Press CTRL to enable snapping.

51 Lawley Street - Dorchester Parcel ID 16 02629010

PID	OWNER	ADDRESSEE	MILG_ADDRESS	MILG_CITYSTATE	MILG_ZIPCODE	LOC_ADDRESS	LOC_CITY	LOC_ZIPCODE
1602618000	JOKAM LLC	JOKAM LLC	74 LAWLEY ST	DORCHESTER MA	2122 74	LAWLEY ST	BOSTON	2122
1602627000	BISHOP DONNA R	BISHOP DONNA R	39 LAWLEY ST	DORCHESTER MA	2122 39	LAWLEY ST	DORCHESTER	2122
1602628000	SULLIVAN DANIEL	SULLIVAN DANIEL	43 LAWLEY ST	DORCHESTER MA	2122 43	LAWLEY ST	DORCHESTER	2122
1602629000	SULLIVAN DANIEL	SULLIVAN DANIEL	47 LAWLEY ST	DORCHESTER MA	2122 47	LAWLEY ST	DORCHESTER	2122
1602629010	WEST POINT REALTY DEV LLC	WEST POINT REALTY DEV LLC	51 THORNY MEADOW WAY	HANOVER MA	2339	LAWLEY ST	DORCHESTER	2122
1602630000	JENNESS COLE	JENNESS COLE	55 LAWLEY ST	DORCHESTER MA	2122 55	LAWLEY ST	DORCHESTER	2122
1602631000	STEWART KENISHA	STEWART KENISHA	57 LAWLEY ST	DORCHESTER MA	2122 57	59 LAWLEY ST	DORCHESTER	2122
1602632000	KENNEY TRACY A	KENNEY TRACY A	63 LAWLEY ST	DORCHESTER MA	2122 63	LAWLEY ST	DORCHESTER	2122
1602641000	46 PORT NORFOLK STREET	46 PORT NORFOLK STREET	46 PORT NORFOLK ST	DORCHESTER MA	2122 46	PORT NORFOLK ST	DORCHESTER	2122
1602641002	WEISS WILLIAM	WEISS WILLIAM	46 PORT NORFOLK ST #1	DORCHESTER MA	2122 46	PORT NORFOLK ST #1	DORCHESTER	2122
1602641004	VAN DAO LIEN-THU	VAN DAO LIEN-THU	46 PORT NORFOLK ST #2	DORCHESTER MA	2122 46	PORT NORFOLK ST #2	DORCHESTER	2122
1602641006	KELLY JESSICA	KELLY JESSICA	46 PORT NORFOLK ST #3	DORCHESTER MA	2122 46	PORT NORFOLK ST #3	DORCHESTER	2122
1602642000	CYB INVESTMENTS LLC	CYB INVESTMENTS LLC	12 ERICSSON ST 3RD FLOOR	DORCHESTER MA	2122 40	PORT NORFOLK ST	DORCHESTER	2122
1602643000	HARRINGTON CHARLES H	HARRINGTON CHARLES H	55 PORT NORFOLK ST	DORCHESTER MA	2122	PORT NORFOLK ST	DORCHESTER	2122
1602644010	SCHILL CHRISTOPHER L	SCHILL CHRISTOPHER L	34 PORT NORFOLK ST	DORCHESTER MA	2122 34	PORT NORFOLK ST	DORCHESTER	2122
1602644020	WEST POINT REALTY DEV LLC	WEST POINT REALTY DEV LLC	30 PORT NORFOLK ST	DORCHESTER MA	2122	PORT NORFOLK ST	DORCHESTER	2122
1602645000	OLEARY JUDY	OLEARY JUDY	28 PORT NORFOLK ST	DORCHESTER MA	2122 28	PORT NORFOLK ST	DORCHESTER	2122
1602660001	PALIWODA JAN ETAL	PALIWODA JAN ETAL	34 FAYE AVENUE	MIDDLEBORO MA	2346	PORT NORFOLK ST	DORCHESTER	2122
1602661000	BOTTOM OF THE NINTH LLC	BOTTOM OF THE NINTH LLC	755 EAST BROADWAY	SOUTH BOSTON MA	2127 29 - 31	PORT NORFOLK ST	DORCHESTER	2122
1602662000	35 PORT NORFOLK STREET	35 PORT NORFOLK STREET	35 PORT NORFOLK ST	DORCHESTER MA	2122 35	PORT NORFOLK ST	DORCHESTER	2122
1602662002	CASEY KAREN M	CASEY KAREN M	35 PORT NORFOLK ST #1	DORCHESTER MA	2122 35	PORT NORFOLK ST #1	DORCHESTER	2122
1602662004	FINN JOSEPH E	FINN JOSEPH E	35 PORT NORFOLK ST #2	DORCHESTER MA	2122 35	PORT NORFOLK ST #2	DORCHESTER	2122

AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act

(to be submitted to the Massachusetts Department of Environmental Protection and the Conservation Commission when filing a Notice of Intent)

I, Steven Eriksen, hereby certify to the best of my knowledge, under the pains and penalties of perjury that on August 15, 2019 I gave notification to the abutters in compliance with the second paragraph of Massachusetts General Law Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by Tim Johnson Architect LLC with the Boston Conservation Commission on August 15, 2019 for property located at 51 Lawley Street Ward 16 Parcel 02629010.

The form of the notification, and a list of the abutters to whom it was given and their addressees, are attached to this Affidavit of Service.

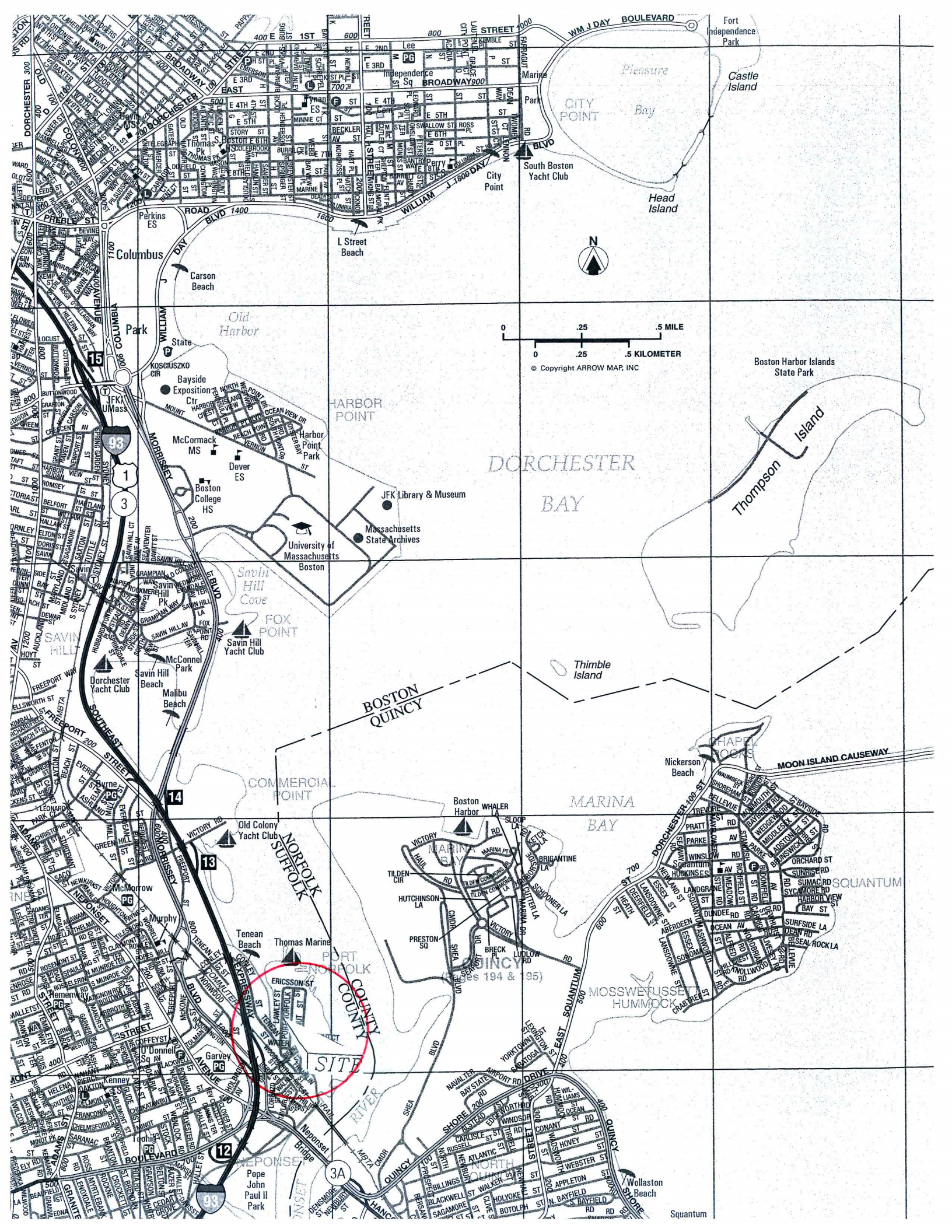


Name

8-15-19

Date

The project is not located within an Outstanding Resource Water (ORW).



0 .25 .5 MILE
0 .25 .5 KILOMETER

© Copyright ARROW MAP, INC

HARBOR POINT

DORCHESTER BAY

Thompson Island

BOSTON QUINCY

MARINA BAY

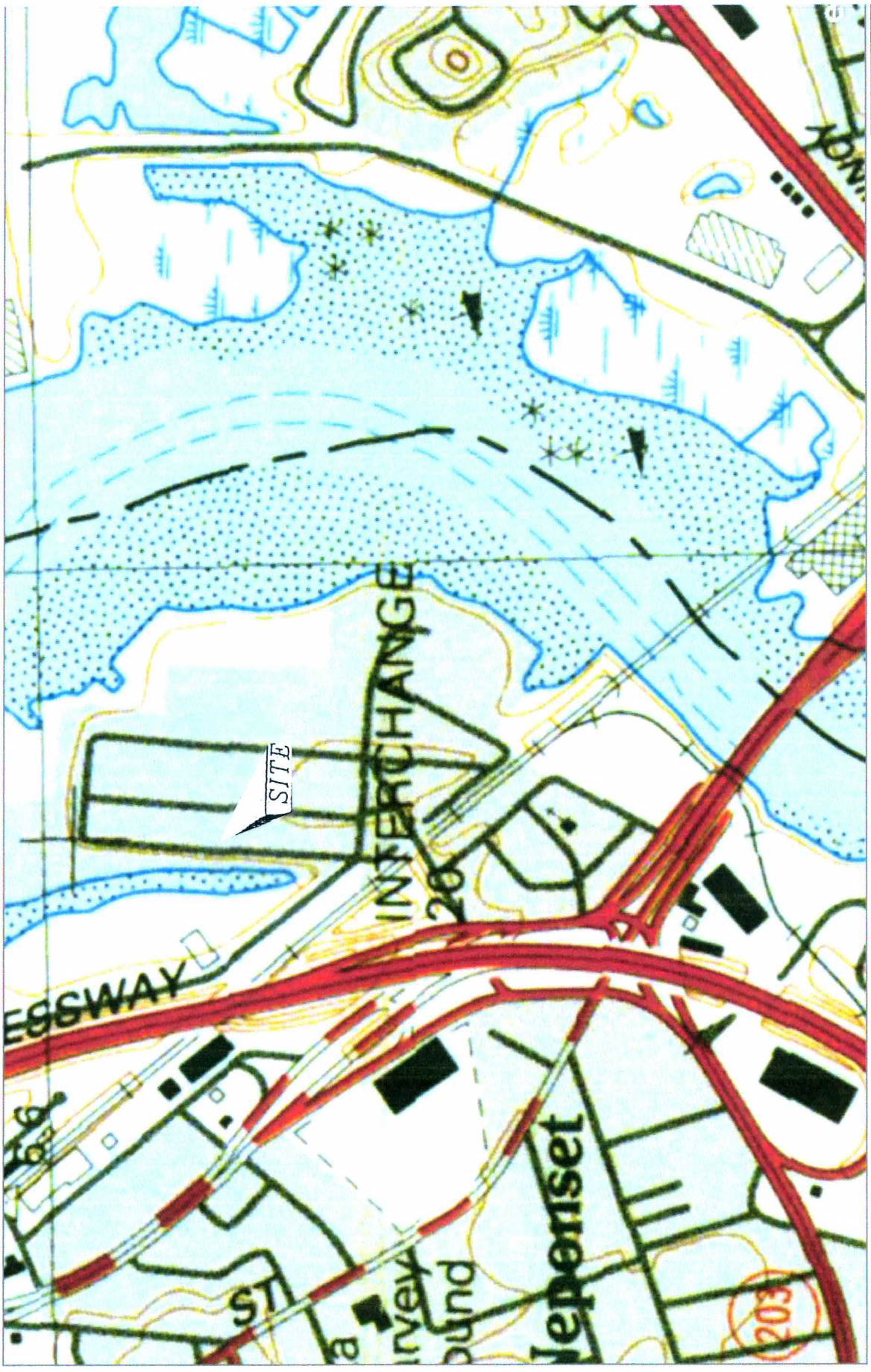
NORFOLK SUFFOLK

PORT NORFOLK QUINCY

MOSSWESSETT HUMMOCK

Squantum

USGS Topographic Quadrangle Maps



USGS 1:25,000 Topographic Maps for Massachusetts

City of Boston, MassGIS, Esri Canada, Esri, HERE, Garmin, INCREMENT P, Intermap, USGS, METI/NASA, EPA, USDA | USGS, Ma

Soil Map—Norfolk and Suffolk Counties, Massachusetts
(Lawley Street - Dorchester)



MAP LEGEND

 Area of Interest (AOI)	 Spoil Area
 Soil Map Unit Polygons	 Stony Spot
 Soil Map Unit Lines	 Very Stony Spot
 Soil Map Unit Points	 Wet Spot
 Special Point Features	 Other
 Blowout	 Special Line Features
 Borrow Pit	Water Features
 Clay Spot	 Streams and Canals
 Closed Depression	Transportation
 Gravel Pit	 Rails
 Gravelly Spot	 Interstate Highways
 Landfill	 US Routes
 Lava Flow	 Major Roads
 Marsh or swamp	 Local Roads
 Mine or Quarry	Background
 Miscellaneous Water	 Aerial Photography
 Perennial Water	
 Rock Outcrop	
 Saline Spot	
 Sandy Spot	
 Severely Eroded Spot	
 Sinkhole	
 Slide or Slip	
 Sodic Spot	

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Norfolk and Suffolk Counties, Massachusetts
Survey Area Data: Version 14, Sep 12, 2018

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 10, 2014—Aug 25, 2014

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

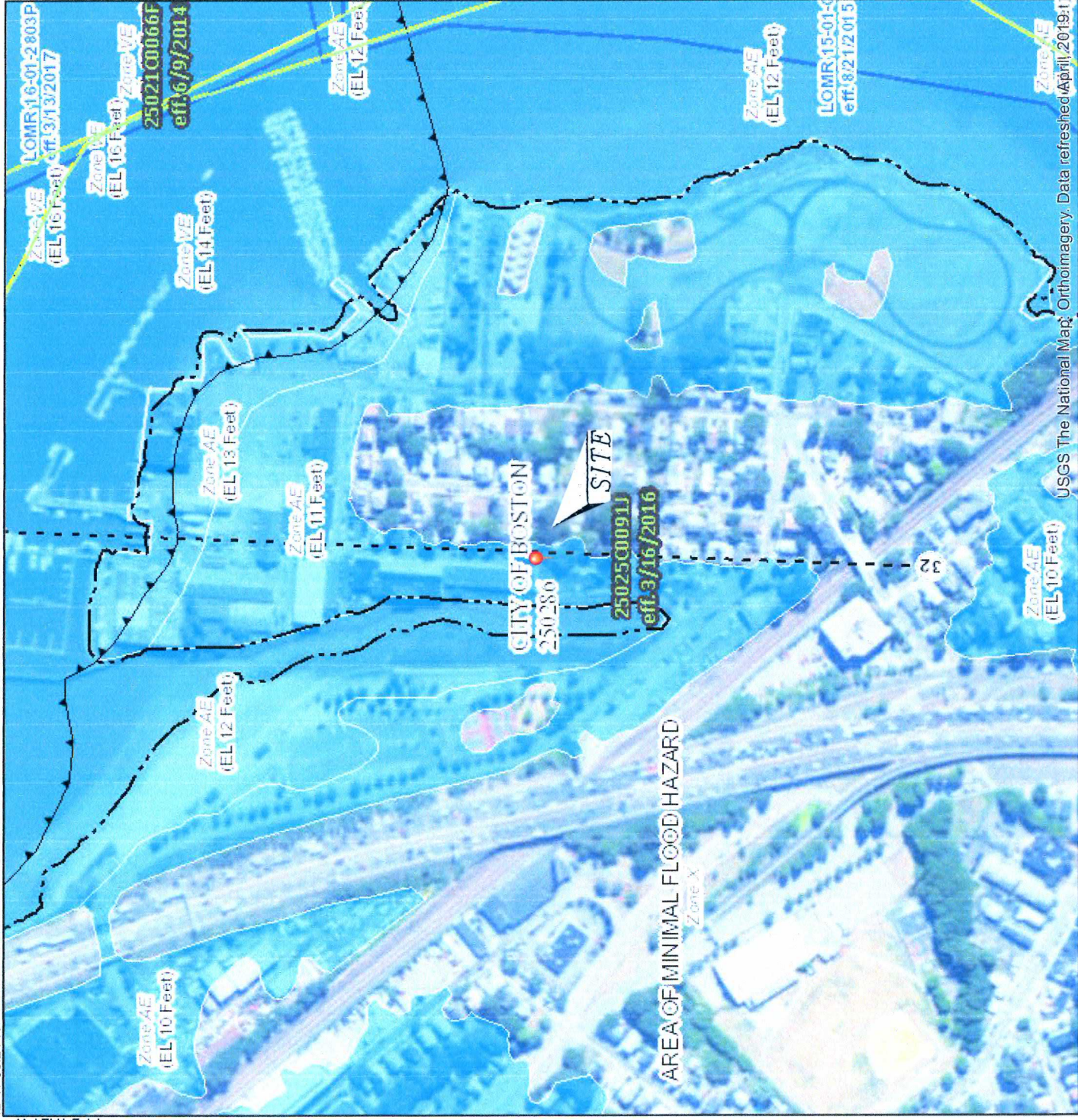
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
603	Urban land, wet substratum, 0 to 3 percent slopes	0.3	100.0%
Totals for Area of Interest		0.3	100.0%

National Flood Hazard Layer FIRMette



42°17'38.24"N



USGS The National Map® Orthorectified. Data refreshed April 2019. 71°2'9.78"W

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

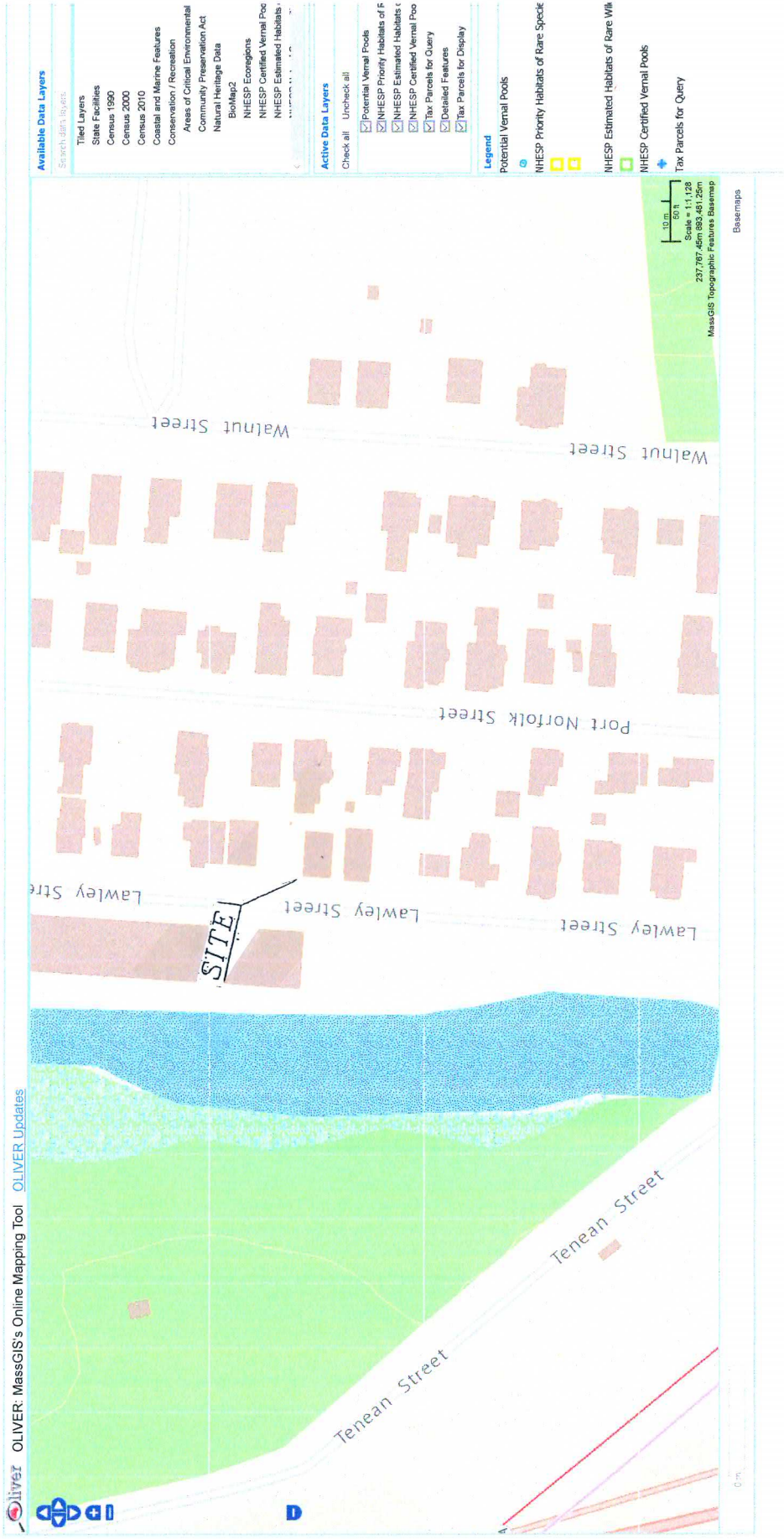
- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE) Zone A, V, A99
 - With BFE or Depth Zone AE, AO, AH, VE, AR
 - Regulatory Floodway
- OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee, See Notes, Zone X
 - Area with Flood Risk due to Levee Zone D
- OTHER AREAS**
 - Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone I
- GENERAL STRUCTURES**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
- OTHER FEATURES**
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature
- MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 7/5/2019 at 12:03:32 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.





NORSE ENVIRONMENTAL SERVICES, INC.

92 Middlesex Road, Unit 4

Tyngsboro, MA 01879

TEL. (978) 649-9932 • FAX (978) 649-7582

Website: www.norseenvironmental.com

Notice of Intent Report

For

**51 Lawley Street
Ward 16 Parcel 02629010
Dorchester, MA**

Prepared For

Tim Johnson Architect LLC
190 Old Colony Avenue
South Boston, MA 02127

Prepared By

Norse Environmental Services, Inc.
92 Middlesex Road, Unit 4
Tyngsborough, MA 01879

August 2019
Revised September 2019

Narrative

The applicant is proposing to construct a 4-story, 2 family dwelling, porch, driveway, retaining walls, drainage, grading and associated utilities within Land Subject to Coastal Storm Flowage (LSCSF) per 310 CMR 10.04. The dwelling will be on a slab foundation and the site will be serviced by city sewer and water. The project proposes to raise the elevation of the site and structure outside of LSCSF. Per the enclosed plan and CEC letter, 185 +/- c.y of cut and 48 +/- c.y. of fill for a net cut of 137 +/- c.y. of material to be removed from the site. The project incorporates retaining walls to minimize grading. Erosion controls will be set and maintained for the duration of the project.

Site Description

The parcel (ID Number 1602629010) consists of 3,557 +/- s.f of land located easterly on Lawley Street in Dorchester, MA. The parcel is vegetated vacant land sloping from the rear of the property to Lawley Street. The site is bounded by residential dwellings on Lawley Street and a commercial property across the street.

Soils

The Web Soil Survey Norfolk and Suffolk County maps this site as Urban land, wet substratum. Urban land, wet substratum consists of areas where 85 percent of the land surface is covered by structures or impervious surfaces such as buildings, pavement, industrial sites, and railroad yards, and where the underlying soil is dominated by fill material overlying wet soils. The underlying wet soils may include Freetown, Saco, Scarborough, and Swansea. The areas are irregular in shape range from 6 to 2,100 acres in size. A water table may be present in the lower substratum. Included with this unit in mapping are areas of Udorthents, loamy soils and Udorthents, wet substratum soils where the soil is exposed.

Resource Area

Approximately 1,540 +/- s.f. of the site is located within LSCSF. 310 CMR 10.04 Land Subject to Coastal Storm Flowage means, "land subject to any inundation caused by coastal storms up to and including that caused by the 100-year storm, surge of record or storm of record, whichever is greater". According to the FEMA Flood Insurance Rate Map the portion of the site in LSCSF is designated as Zone AE with an elevation of 11 ft. or 17.46 ft Boston City Base (BCB).

310 CMR 10.00 The Massachusetts Wetland Protection Act presently has no performance standards for work within LSCSF. However, the Commonwealth of Massachusetts, “Applying the Massachusetts Coastal Wetlands Regulations” provides guidance for work within LSCSF.

The project proposes to disturb 1,540 +/- s.f. LSCSF. Per the Massachusetts Building Code section 780 CMR 120G Flood-Resistant Construction and Construction in Coastal Dunes, requires construction at or above the Base Flood Elevation. The first-floor elevation and utility elevation are proposed at 18.5 +/- ft. (BCB) or the living area will be a minimum of 1.04 ft. above the base flood elevation (see the enclosed Climate Resiliency Checklist).

The project also proposes green space to include 230 s.f. of pervious pavers and 1,227 s.f. of lawn area or 41% of the lot.

Stormwater

The project has been designed to meet the stormwater standards to the maximum extent practicable. The stormwater on site will be managed through roof top infiltration, catchbasin and routed to a Cultec infiltration system. The applicant is improving site conditions by managing runoff from the dwelling and driveway. Larger less frequent storms will overflow to the street drainage system on Lawley Street approved by the Boston Water and Sewer Department. Stormwater is collected via roof leaders which discharges into a Cultec System. 50.3 % of stormwater is captured from the building and driveway. 41% of the site is lawn and pervious area and will infiltrate into the ground (see enclosed plan and Drainage Report).

Straw wattles for erosion controls will be installed prior to construction. During construction the project site will be maintained and there will be no discharge of any pollutants.

10.58 Riverfront Area

10.58 (2) Definitions, Critical Characteristics and Boundaries.

3. The Riverfront Area is the area of land between a river’s mean annual high-water line measured horizontally outward from the river and a parallel line located 200 feet away, except that the parallel line is located;

a. 25 feet away in Boston, Brockton, Cambridge, Chelsea, Everett, Fall River.....

The site and work are located greater than 25 feet from the Neponset River.

Priority Habitat

There is no Priority Habitat, or Estimated Habitat for Rare or Endangered Species located at the proposed project according to MassGIS (map enclosed).

Area of Critical Environmental Concern

The project is not located within an Area of Critical Environmental Concern (ACEC) according to the MassGIS (map enclosed).

Outstanding Resource Water

The project is not located within an Outstanding Resource Water (ORW).

CIVIL ENVIRONMENTAL CONSULTANTS LLC
ENGINEERS AND LAND SURVEYORS

8 Oak Street
Peabody, MA 01960
Phone (978) 531-1191
Fax (978) 531-5501
ceclandsurvey@comcast.net

August 23, 2019

Tim Johnson
190 Old Colony Ave
Boston Ma 02127

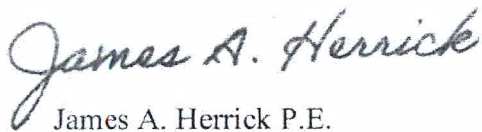
Re: 51 Lawley Street Cut & Fill Calculations

Mr Johnson

In Regards to the Cut & Fill Calculations for 51 Lawley Street.


We have calculated that that the site will have approximately 185 cubic yards of cut and 48 cubic yards of fill with a net amount of approximagely 137 cubic yards of material to be removed from the site.

if you have any questions please feel free to call my office,


James A. Herrick P.E.

ILLICIT DISCHARGE COMPLIANCE STATEMENT

I verify that no illicit discharges exist from the 51 Lawley Street Boston MA residence.
Through the implementation of the Operation and Maintenance Plan, measures are set forth
to prevent illicit discharges from entering the stormwater management drainage system.

 Signature	JAMES E. PASKELL Print Name	9/16/18 Date
owner/mgr. Title	H. A. Rety Dev. LLC Company	
Signature	Print Name	Date
Title	Company	

Note: This certification must be signed before stormwater is conveyed to the proposed stormwater drainage system in accordance with Standard 10 of the Massachusetts Stormwater Management Standards.

Notification to Abutters Under the Massachusetts Wetlands Protection Act

In accordance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40 you are hereby notified of the following.

- A. The name of the applicant is Tim Johnson Architect LLC
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of Boston, seeking permission to remove, fill, dredge, or alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40).
- C. The address where the activity is proposed is 51 Lawley Street - Dorchester Ward 16 Parcel 02629010.
Proposing to construct a 4-story, 2 family dwelling porch, driveway, retaining walls, drainage, grading and associated utilities within Land Subject to Coastal Storm Flowage (LSCSF).
- D. Copies of the Notice of Intent may be examined at: Boston Conservation Commission located at Boston City Hall, 1 City Hall Square, Room 709 Boston, MA 02201 between the hours of 9:00 a.m. to 5:00 p.m. on the following days of the week: Monday through Friday. For more information, call: 617-635-3850.
- E. Copies of the Notice of Intent may also be examined at Norse Environmental Services by calling this telephone number 978-649-9932 between the hours of 8:00 a.m. and 6:00 p.m. on the following days of the week: Monday thru Thursday/ Friday until 12:00 p.m.
- F. Information regarding the date, time, and place of the public hearing may be obtained from the Boston Conservation Commission by calling this telephone number 617-635-3850 between the hours of 9:00 a.m. to 5:00 p.m. on the following days of the week: Monday thru Friday. For more information, call: 617-635-3850.

A public hearing will take place at 6 p.m. on October 23, 2019 at Boston City Hall, 1 City Hall Square in the Piemonte Room, 5th floor.

The following is a link to view the Public Notice Page to confirm hearing date and agenda items: <https://www.boston.gov/public-notices>

Note: Notice of the public hearing, including its date, time, and place, will be published at least five (5) days in advance in the Boston Herald.

Note: Notice of the public hearing, including its date, time, and place, will be posted in the City or Town Hall not less than forty-eight (48) hours in advance.

Note: You also may contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetland Protection Act. To contact DEP Call: **Northeast Region:** 978-694-3200.

If you have any further questions please call Steven Eriksen at Norse Environmental Services, Inc., 978-649-9932.

AFFIDAVIT OF SERVICE


Under the Massachusetts Wetlands Protection Act

(to be submitted to the Massachusetts Department of Environmental Protection and the Conservation Commission when filing a Notice of Intent)

I, Steven Eriksen, hereby certify to the best of my knowledge, under the pains and penalties of perjury that on October 3, 2019 I gave notification to the abutters in compliance with the second paragraph of Massachusetts General Law Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by Tim Johnson Architect LLC with the Boston Conservation Commission on October 3, 2019 for property located at 51 Lawley Street Ward 16 Parcel 02629010.

The form of the notification, and a list of the abutters to whom it was given and their addressees, are attached to this Affidavit of Service.



Name

10-3-19

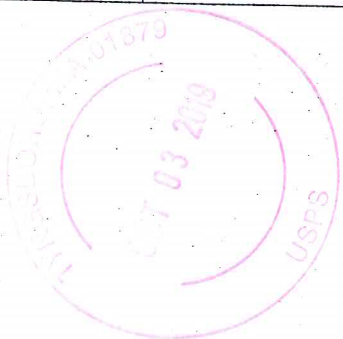
Date

Certificate of Mailing — Firm (Domestic)

Address of Sender

ENVIRONMENTAL SERVICES, INC
 92 Middlesex Road - Unit 4
 Tyngsboro, MA 01879

Affix stamp



TOTAL NO. of Pieces Listed by Sender

22

TOTAL NO. of Pieces Received at Post Office

22

Print barcode here.

Postmaster, per (signer)

DMM

USPS Tracking Number
 Firm-specific Identifier

1

STEWART KENISHA
 57 LAWLEY ST
 DORCHESTER, MA 02122

2

KENNEY TRACY A
 63 LAWLEY ST
 DORCHESTER, MA 02122

3

46 PORT NORFOLK STREET
 46 PORT NORFOLK ST
 DORCHESTER, MA 02122

4

WEISS WILLIAM
 46 PORT NORFOLK ST #1
 DORCHESTER, MA 02122

5

VAN DAO LIEN-THU
 46 PORT NORFOLK ST #2
 DORCHESTER, MA 02122

6

KELLY JESSICA
 46 PORT NORFOLK ST #3
 DORCHESTER, MA 02122

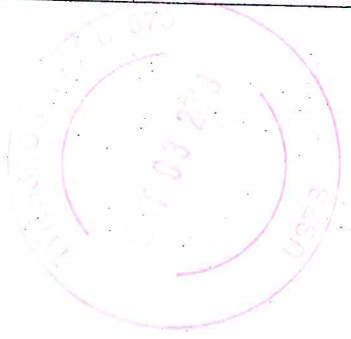
Address	Postage	Fee	Special Handling	Parcel/Airift
STEWART KENISHA 57 LAWLEY ST DORCHESTER, MA 02122				
KENNEY TRACY A 63 LAWLEY ST DORCHESTER, MA 02122				
46 PORT NORFOLK STREET 46 PORT NORFOLK ST DORCHESTER, MA 02122				
WEISS WILLIAM 46 PORT NORFOLK ST #1 DORCHESTER, MA 02122				
VAN DAO LIEN-THU 46 PORT NORFOLK ST #2 DORCHESTER, MA 02122				
KELLY JESSICA 46 PORT NORFOLK ST #3 DORCHESTER, MA 02122				

Certificate of Mailing — Firm (Domestic)

Address of Sender

ENVIRONMENTAL SERVICES, INC
92 Middlesex Road - Unit 4
Tyngsboro, MA 01879

Affix stamp



TOTAL NO. of Pieces Listed by Sender
22

Print barcode here.

TOTAL NO. of Pieces Received at Post Office
22

Postmaster, per (signer)

DMM

USPS Tracking Number
Firm-specific Identifier

Address

	Postage	Fee	Special Handling	Parcel/Airlift
1 CYB INVESTMENTS LLC 12 ERICSSON ST 3 RD FLOOR DORCHESTER, MA 02122				
2 HARRINGTON CHARLES H 55 PORT NORFOLK ST DORCHESTER, MA 02122				
3 SCHILL CHRISTOPHER L 34 PORT NORFOLK ST DORCHESTER, MA 02122				
4 WEST POINT REALTY DEV LLC 30 PORT NORFOLK ST DORCHESTER, MA 02122				
5 OLEARY JUDY 28 PORT NORFOLK ST DORCHESTER, MA 02122				
6 PALIWODA JAN ETAL 34 FAYE AVENUE MIDDLEBORO, MA 02346				

Address of Sender

ENVIRONMENTAL SERVICES, INC
92 Middlesex Road - Unit 4
Tyngsboro, MA 01879

Certificate of Mailing — Firm (Domestic)

Affix stamp

TOTAL NO. of Pieces Listed by Sender 22	TOTAL NO. of Pieces Received at Post Office 22
Postmaster, per (signer) DMM	

Print barcode here.

USPS Tracking Number
Firm-specific Identifier

Address

	Postage	Fee	Special Handling	Parcel/Airlift
1 BOTTOM OF THE NINTH LLC 755 EAST BROADWAY SOUTH BOSTON, MA 02127				
2 35 PORT NORFOLK STREET 35 PORT NORFOLK ST DORCHESTER, MA 02122				
3 CASEY KAREN M 35 PORT NORFOLK ST #1 DORCHESTER, MA 02122				
4 FINN JOSEPH E 35 PORT NORFOLK ST #2 DORCHESTER, MA 02122				
5				
6				

NOTE: Project filings should be prepared and submitted using the online [Climate Resiliency Checklist](#).

A.1 - Project Information

Project Name:	RESIDENTIAL APARTMENTS			8-14-19
Project Address:	51 LAWLEY ST., DORCHESTER			7-31-19
Project Address Additional:				8-26-19
Filing Type (select)	Initial (PNF, EPNF, NPC or other substantial filing) Design / Building Permit (prior to final design approval), or Construction / Certificate of Occupancy (post construction completion)			
Filing Contact	Name	Company	Email	Phone
Is MEPA approval required	Yes/no		Date	

A.3 - Project Team

Owner / Developer:	WEST POINT REALTY DEV. II, LLC			
Architect:	TIM JOHNSON ARCHITECT, LLC			
Engineer:	CIVIL ENVIRONMENTAL CONSULTANTS, LLC			
Sustainability / LEED:				
Permitting:				
Construction Management:				

A.3 - Project Description and Design Conditions

List the principal Building Uses:	R-3, TWO-FAMILY.			
List the First Floor Uses:				
List any Critical Site Infrastructure and or Building Uses:				

Site and Building:

Site Area:	3,557 SF	Building Area:	3,858 SF
Building Height:	43'-0" Ft	Building Height:	4 Stories
Existing Site Elevation - Low:	14.6 Ft BCB	Existing Site Elevation - High:	24.2 Ft BCB
Proposed Site Elevation - Low:	14.6 Ft BCB	Proposed Site Elevation - High:	24.2 Ft BCB
Proposed First Floor Elevation:	18.6 Ft BCB	Below grade levels:	0 Stories

Article 37 Green Building:

LEED Version - Rating System :		LEED Certification:	Yes / No
Proposed LEED rating:	Certified/Silver/ Gold/Platinum	Proposed LEED point score:	Pts.

Building Envelope

When reporting R values, differentiate between R discontinuous and R continuous. For example, use "R13" to show R13 discontinuous and use R10c.i. to show R10 continuous. When reporting U value, report total assembly U value including supports and structural elements.

Roof:	<input type="text"/>	(R)	Exposed Floor:	<input type="text"/>	(R)
Foundation Wall:	<input type="text"/>	(R)	Slab Edge (at or below grade):	<input type="text"/>	(R)
Vertical Above-grade Assemblies (%'s are of total vertical area and together should total 100%):					
Area of Opaque Curtain Wall & Spandrel Assembly:	<input type="text"/>	(%)	Wall & Spandrel Assembly Value:	<input type="text"/>	(U)
Area of Framed & Insulated / Standard Wall:	<input type="text"/>	(%)	Wall Value:	<input type="text"/>	(R)
Area of Vision Window:	<input type="text"/>	%	Window Glazing Assembly Value:	<input type="text"/>	(U)
			Window Glazing SHGC:	<input type="text"/>	(SHGC)
Area of Doors:	<input type="text"/>	%	Door Assembly Value:	<input type="text"/>	(U)

Energy Loads and Performance

For this filing – describe how energy loads & performance were determined

For this filing – describe how energy loads & performance were determined					
Annual Electric:	<input type="text"/>	(kWh)	Peak Electric:	<input type="text"/>	(kW)
Annual Heating:	<input type="text"/>	(MMbtu/hr)	Peak Heating:	<input type="text"/>	(MMbtu)
Annual Cooling:	<input type="text"/>	(Tons/hr)	Peak Cooling:	<input type="text"/>	(Tons)
Energy Use - Below ASHRAE 90.1 - 2013:	<input type="text"/>	%	Have the local utilities reviewed the building energy performance?:	<input type="text"/>	Yes / no
Energy Use - Below Mass. Code:	<input type="text"/>	%	Energy Use Intensity:	<input type="text"/>	(kBtu/SF)

Back-up / Emergency Power System

Electrical Generation Output:	<input type="text"/>	(kW)	Number of Power Units:	<input type="text"/>
System Type:	<input type="text"/>	(kW)	Fuel Source:	<input type="text"/>

Emergency and Critical System Loads (in the event of a service interruption)

Electric:	<input type="text"/>	(kW)	Heating:	<input type="text"/>	(MMbtu/hr)
			Cooling:	<input type="text"/>	(Tons/hr)

B – Greenhouse Gas Reduction and Net Zero / Net Positive Carbon Building Performance

Reducing GHG emissions is critical to avoiding more extreme climate change conditions. To achieve the City's goal of carbon neutrality by 2050 new buildings performance will need to progressively improve to net carbon zero and positive.

B.1 – GHG Emissions - Design Conditions

For this Filing - Annual Building GHG Emissions: (Tons)

For this filing - describe how building energy performance has been integrated into project planning, design, and engineering and any supporting analysis or modeling:

Describe building specific passive energy efficiency measures including orientation, massing, envelop, and systems:

Describe building specific active energy efficiency measures including equipment, controls, fixtures, and systems:

Describe building specific load reduction strategies including on-site renewable, clean, and energy storage systems:

Describe any area or district scale emission reduction strategies including renewable energy, central energy plants, distributed energy systems, and smart grid infrastructure:

Describe any energy efficiency assistance or support provided or to be provided to the project:

B.2 - GHG Reduction - Adaptation Strategies

Describe how the building and its systems will evolve to further reduce GHG emissions and achieve annual carbon net zero and net positive performance (e.g. added efficiency measures, renewable energy, energy storage, etc.) and the timeline for meeting that goal (by 2050):

C - Extreme Heat Events

Annual average temperature in Boston increased by about 2°F in the past hundred years and will continue to rise due to climate change. By the end of the century, the average annual temperature could be 56° (compared to 46° now) and the number of days above 90° (currently about 10 a year) could rise to 90.

C.1 – Extreme Heat - Design Conditions

Temperature Range - Low:
Annual Heating Degree Days:

Temperature Range - High:
Annual Cooling Degree Days:

What Extreme Heat Event characteristics will be / have been used for project planning

Days - Above 90°:
Number of Heatwaves / Year:

Days - Above 100°:
Average Duration of Heatwave (Days):

Describe all building and site measures to reduce heat-island effect at the site and in the surrounding area:

C.2 - Extreme Heat - Adaptation Strategies

Describe how the building and its systems will be adapted to efficiently manage future higher average temperatures, higher extreme temperatures, additional annual heatwaves, and longer heatwaves:

Describe all mechanical and non-mechanical strategies that will support building functionality and use during extended interruptions of utility services and infrastructure including proposed and future adaptations:

D - Extreme Precipitation Events

From 1958 to 2010, there was a 70 percent increase in the amount of precipitation that fell on the days with the heaviest precipitation. Currently, the 10-Year, 24-Hour Design Storm precipitation level is 5.25". There is a significant probability that this will increase to at least 6" by the end of the century. Additionally, fewer, larger storms are likely to be accompanied by more frequent droughts.

D.1 - Extreme Precipitation - Design Conditions

10 Year, 24 Hour Design Storm:

Describe all building and site measures for reducing storm water run-off:

D.2 - Extreme Precipitation - Adaptation Strategies

Describe how site and building systems will be adapted to efficiently accommodate future more significant rain events (e.g. rainwater harvesting, on-site storm water retention, bio swales, green roofs):

E - Sea Level Rise and Storms

Under any plausible greenhouse gas emissions scenario, sea levels in Boston will continue to rise throughout the century. This will increase the number of buildings in Boston susceptible to coastal flooding and the likely frequency of flooding for those already in the floodplain.

Is any portion of the site in a FEMA SFHA?

Yes No

What Zone:

AE, AH, AO, AR, A99, V, VE
Ft BCB

Current FEMA SFHA Zone Base Flood Elevation:

Is any portion of the site in a BPDA Sea Level Rise - Flood Hazard Area? Use the online [BPDA SLR-FHA Mapping Tool](#) to assess the susceptibility of the project site.

Yes No

If you answered YES to either of the above questions, please complete the following questions. Otherwise you have completed the questionnaire; thank you!

E.1 – Sea Level Rise and Storms – Design Conditions

Proposed projects should identify immediate and future adaptation strategies for managing the flooding scenario represented on the BPDA Sea Level Rise - Flood Hazard Area (SLR-FHA) map, which depicts a modeled 1% annual chance coastal flood event with 40 inches of sea level rise (SLR). Use the online [BPDA SLR-FHA Mapping Tool](#) to identify the highest Sea Level Rise - Base Flood Elevation for the site. The Sea Level Rise - Design Flood Elevation is determined by adding either 24" of freeboard for critical facilities and infrastructure and any ground floor residential units OR 12" of freeboard for other buildings and uses.

Sea Level Rise - Base Flood Elevation:

17.46 Ft BCB

Sea Level Rise - Design Flood Elevation:

18.5 Ft BCB

First Floor Elevation:

18.5 Ft BCB

Site Elevations at Building:

17.56-18.5 Ft BCB

Accessible Route Elevation:

14.6 Ft BCB

Describe site design strategies for adapting to sea level rise including building access during flood events, elevated site areas, hard and soft barriers, wave / velocity breaks, storm water systems, utility services, etc.:

N/A

Describe how the proposed Building Design Flood Elevation will be achieved including dry / wet flood proofing, critical systems protection, utility service protection, temporary flood barriers, waste and drain water back flow prevention, etc.:

ALL UTILITY SERVICE SHUT-OFFS LOCATED 1.04' ABOVE BFE PER ASCE 24.

Describe how occupants might shelter in place during a flooding event including any emergency power, water, and waste water provisions and the expected availability of any such measures:

N/A

Describe any strategies that would support rapid recovery after a weather event:

PER ASCE 24, FIRST FLOOR ELEVATION 1.04' ABOVE BFE & ALL STRUCTURE AT OR BELOW BFE CONSTRUCTED W/ FLOOD DAMAGED-RESISTANT MATERIALS.

E.2 – Sea Level Rise and Storms – Adaptation Strategies

Describe future site design and or infrastructure adaptation strategies for responding to sea level rise including future elevating of site areas and access routes, barriers, wave / velocity breaks, storm water systems, utility services, etc.:

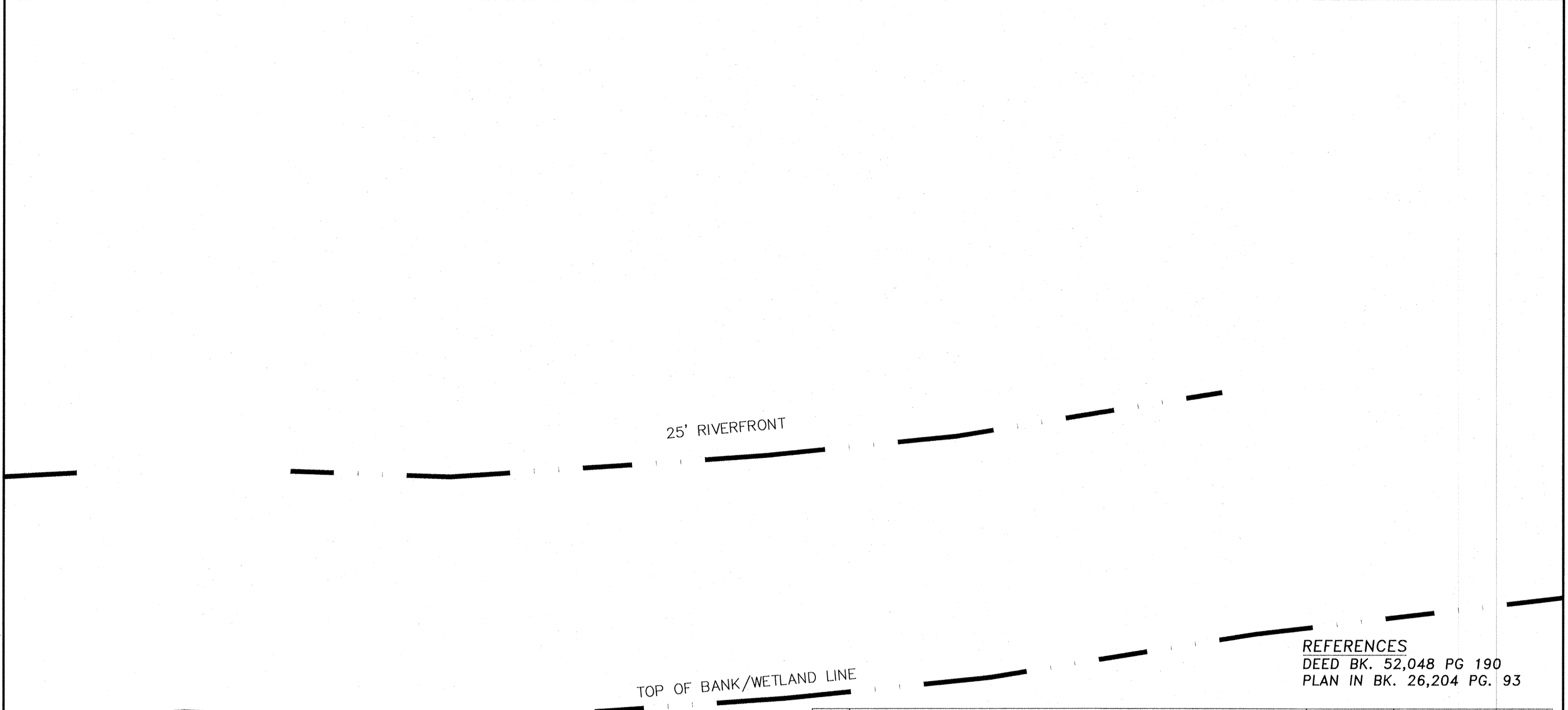
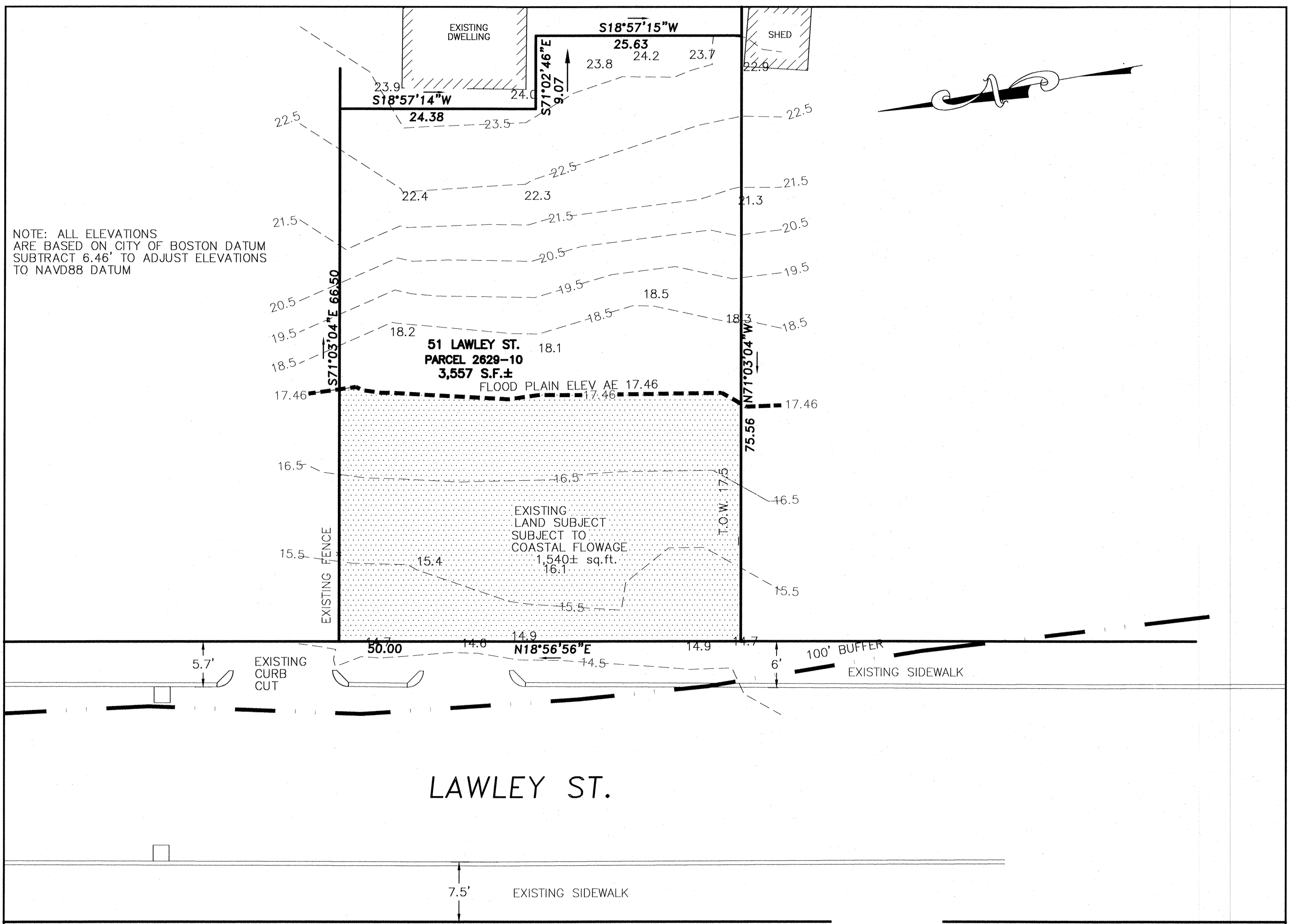
A large rectangular area that has been redacted with a grey stippled pattern, obscuring the text that would describe site design and infrastructure adaptation strategies.

Describe future building adaptation strategies for raising the Sea Level Rise Design Flood Elevation and further protecting critical systems, including permanent and temporary measures:

A large rectangular area that has been redacted with a grey stippled pattern, obscuring the text that would describe building adaptation strategies.

A pdf and word version of the Climate Resiliency Checklist is provided for informational use and off-line preparation of a project submission. NOTE: Project filings should be prepared and submitted using the online [Climate Resiliency Checklist](#).

For questions or comments about this checklist or Climate Change best practices, please contact: John.Dalzell@boston.gov



NEPONSET RIVER

GRAPHIC SCALE
1 inch = 10 ft.

NEPONSET RIVER

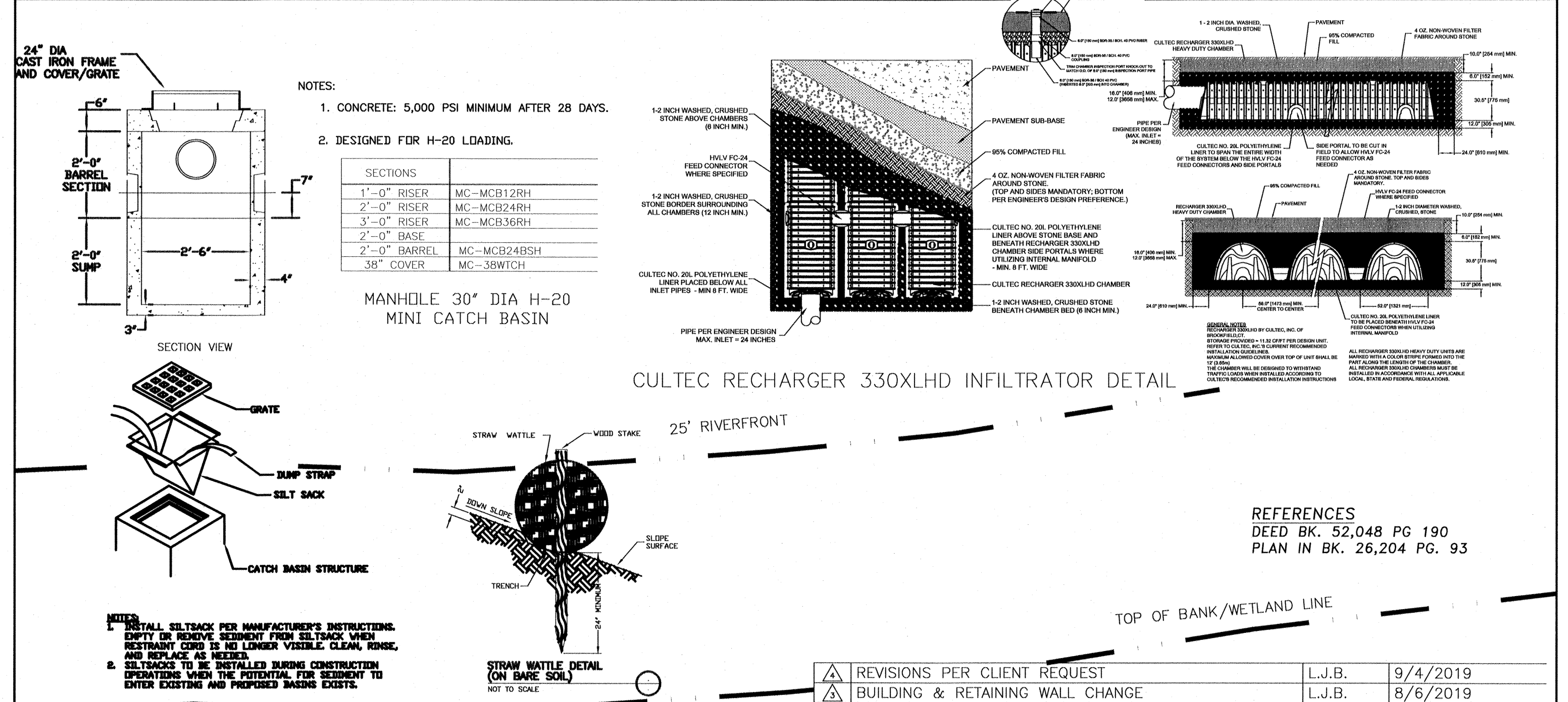
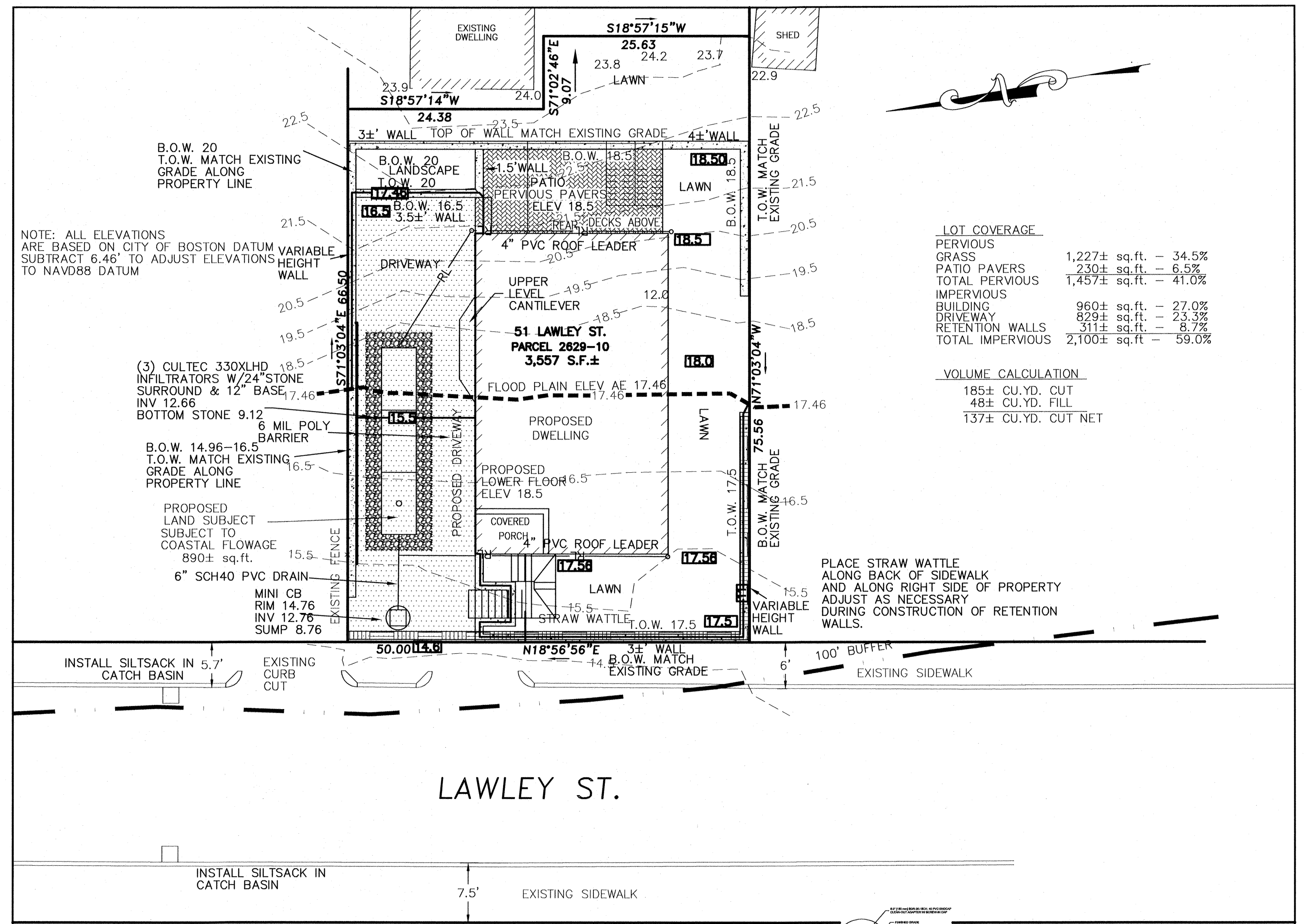
GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

REFERENCES
DEED BK. 52,048 PG 190
PLAN IN BK. 26,204 PG. 93

△ ADDED SPOT SHOT ELEVATIONS TO PLAN	L.J.B.	9/24/2019
△ REVISIONS PER CLIENT REQUEST	L.J.B.	9/4/2019

EXISTING SITE PLAN
51 LAWLEY STREET
DORCHESTER, MA
FOR
WEST POINT REALTY DEVELOPMENT LLC
CIVIL ENVIRONMENTAL CONSULTANTS LLC
8 OAK STREET PEABODY, MA 01960 (978)531-1191

SHEET NO: 1 OF 1 DATE 8/22/2019 JOB NO: 2201
DRAWN BY: L.J.B.



NEPONSET RIVER

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

NEPONSET RIVER

GRAPHIC SCALE
(IN FEET)
1 inch = 10 ft.

REFERENCES
DEED BK. 52,048 PG 190
PLAN IN BK. 26,204 PG. 93

△ REVISIONS PER CLIENT REQUEST	L.J.B.	9/4/2019
△ BUILDING & RETAINING WALL CHANGE	L.J.B.	8/6/2019
△ REVISIONS PER CONCOM REQUEST	L.J.B.	5/28/2019
△ REVISE FIRST FLOOR ELEV	L.J.B.	4/17/2019

CONSERVATION PLAN
51 LAWLEY STREET
DORCHESTER, MA
FOR
WEST POINT REALTY DEVELOPMENT LLC
CIVIL ENVIRONMENTAL CONSULTANTS LLC
8 OAK STREET PEABODY, MA 01960 (978)531-1191

SHEET NO: 1 OF 1 DATE 8/22/2019 JOB NO: 2201
DRAWN BY: L.J.B. REV:10/16/18



LOCUS: N.T.S.



STREET VIEW

PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET, DORCHESTER, MA

OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

12/23/18				
BOSTON ZONING CODE REVIEW				
1.)	Parcel 1602629010 is located within zoning district 1F-5000/NDOD. The vacant lot is 3,556 sf.			
2.)	2-family detached & accessory parking are forbidden uses.			
3.)	The proposed 2-family dwelling contains 3,587.0 sf net living area.			
4.)	Not used.			
5.)	Article 65 Dimensional Regulations: (any other dwelling or use)			
	1F-5000			
	Item	Req'd/Allowed	New 2-family	
a.)	Lot size min.	5,000 sf	3,556 sf	
b.)	Lot area min./add'l unit	N/A	N/A	
c.)	Lot width/frontage min.	50 ft	50 ft	
d.)	Floor to area ratio	0.5	1.0	
e.)	Height of building max.	2-1/2 stories/35 ft	4 st./38'-0"±	Mean Ht
f.)	Usable open space/D.U.	None	1,540 sf or 770 sf/D.U.	
g.)	Front yard min. depth	15 ft/modal yard	15 ft/ modal yard	Note 2
h.)	Side yard min. depth	10 ft	14' (LT) & 10' (RT)	
i.)	Rear yard min. depth	10 ft	13' +/-	Note 3
j.)	Parapet setback	N/A	N/A	
k.)	Off-street parking	1 sp/D.U. or 2 sp.	2 spaces Std. 2 spaces tandem	Table F
	Note 1:	Not used.		
	Note 2:	Section 65-45.2, Conformity w/exist bldg alignment.		
	Note 3:	Section 65-42.11, Rear yards of certain shallow lots.		

PROJECT INFO:

Address: 51 Lawley Street, Dorchester, MA
 Exist. Occupancy: Vacant Land
 Proposed Occupancy: R-3, Two-Family

Lot: 3,556 sf
 Parcel: 1602629010
 District: 1F-5000
 Ward: 16

Net Square Footage*		
Level	GSF	Net SF*
LL	960.0 sf	760.0 sf
G	938.0 sf	867.0 sf
2	980.0 sf	980.0 sf
3	980.0 sf	980.0 sf
Totals	3,858.0 sf	3,587.0 sf

*NET square footage is measured to ext. face of walls and dimising walls and excludes basement, storage, laundry & mechanical areas.

SCHEDULE OF DRAWINGS

- A00 PROJECT INFORMATION
- C01 ARCHITECTURAL SITE PLAN
- C02 SURVEYED SITE PLAN
- V01 PERSPECTIVE VIEWS
- V02 PERSPECTIVE VIEWS
- A01 LOWER LEVEL FLOOR PLAN
- A02 FIRST FLOOR PLAN
- A03 SECOND FLOOR PLAN
- A04 THIRD FLOOR PLAN
- A05 ROOF PLAN
- A06 1-1 BUILDING SECTION
- A07 2-2 BUILDING SECTION
- A08 3-3 BUILDING SECTION
- A09 WEST (STREET) ELEVATION
- A10 NORTH (DRIVEWAY) ELEVATION
- A11 EAST (REAR) ELEVATION
- A12 SOUTH ELEVATION
- A13 SCHEDULES
- A14 WALL/ FLOOR TYPES
- A15 WALL/FLOOR TYPES

REVISIONS	
△ 08/07/19	△
△ 08/26/19	△
△	△

Tim Johnson Architect, LLC

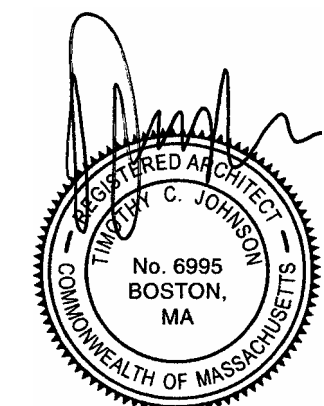


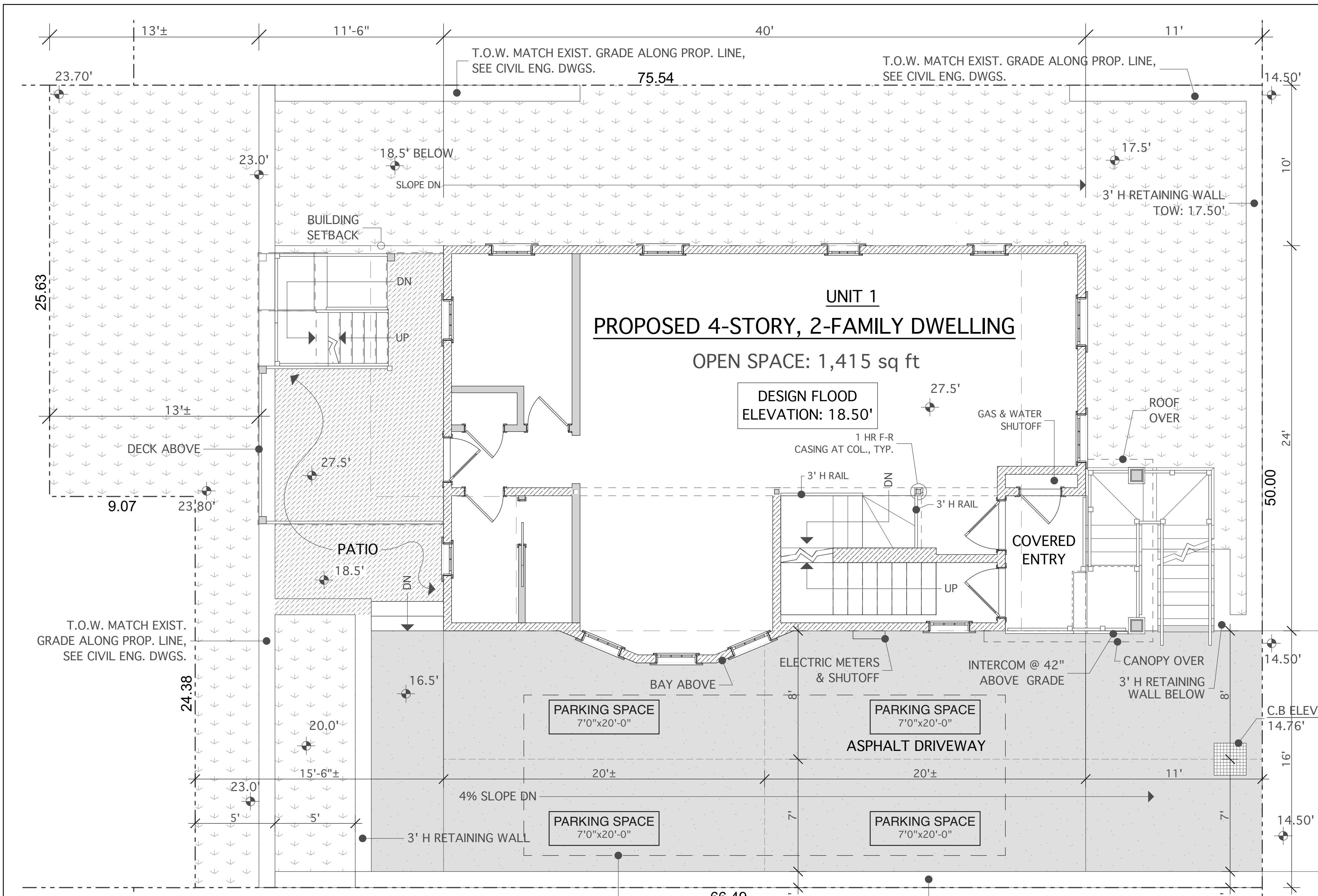
PERMIT SET

PROJECT INFORMATION

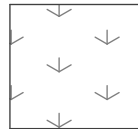
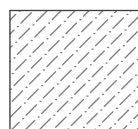

DATE: 08/02/19 SC: N. T. S.

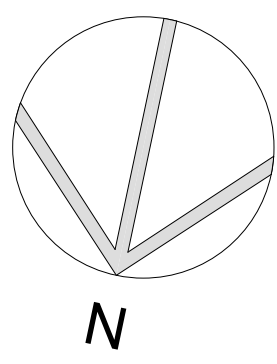
A00





PROPOSED SITE SURFACES:

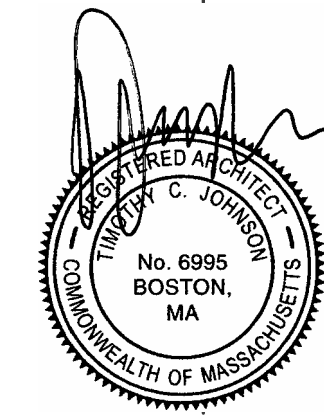
-  RED FESCUE GRASS
-  PERVIOUS SURFACE
-  IMPERVIOUS SURFACE




SITE PLAN

LOT: 3,556 sq ft
 0 2' 4' 8'

NOTE: NAVD 88 ELEVATION ADJUSTMENT TO BOSTON CITY BASE = 17.46'
 NAVD 88 ELEVATION 11 = 17.46' BOSTON BASE



<p>OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580</p>	<p>PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363</p>						
<p>PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122</p>							
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> </thead> <tbody> <tr> <td style="width: 50%;">▲ 08/07/19</td> <td style="width: 50%;">▲</td> </tr> <tr> <td>▲ 08/26/19</td> <td>▲</td> </tr> </tbody> </table> <p style="text-align: center;">Tim Johnson Architect, LLC</p>		REVISIONS		▲ 08/07/19	▲	▲ 08/26/19	▲
REVISIONS							
▲ 08/07/19	▲						
▲ 08/26/19	▲						
							
<p>PERMIT SET</p>							
<p>ARCHITECTURAL SITE PLAN</p>							
<p>DATE: 08/02/19 SC: 1/4" = 1'-0"</p>							
<p>C01</p>							

1. ACCOUNT NUMBER NEW ACCOUNT
 2. PARCEL NUMBER 2629-10
 3. WARD 18
 4. PROPERTY LOCATION 51 LAWLEY ST.
 5. NEIGHBORHOOD DORCHESTER, MA
 6. ZIP CODE 02124
 7. OWNER ADDRESS 174 HAMPDEN ST. ROXBURY, MA 02119
 8. OWNER TELEPHONE NO. (617)445-5900
 9. TYPE OF PREMISE 1-FAMILY DWELLING
 10. METER SIZE 5/8"
 11. INSIDE YES
 12. OUTSIDE NO
 13. TYPE OF BUILDING WOOD FRAME
 14. SEWER FLOWS 3 BEDROOMS @ 110 G.P.D.= 3300 G.P.D.
 14. LAND USE CODE R1

THIS PLAN HAS BEEN CALCULATED FROM INSTRUMENT SURVEY AND FROM RECORD INFORMATION ONLY. THE ABSENCE OR EXACTNESS OF UTILITIES IS NEITHER INTENDED OR IMPLIED. THE CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS OF ALL UTILITIES.

CONTRACTOR TO NOTIFY DIG-SAFE (1-888-DIG-SAFE) AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.

BOSTON WATER AND SEWER COMMISSION
 LOCATION APPROVED UNDER THE FOLLOWING CONDITIONS

Reviewed and approved as to proposed connection(s) to existing Water & Sewer facilities as shown, for issue of building permit only. Additional Permits must be obtained from BWSO prior to connection to BWSO facilities. Site Plans are valid for a period of one (1) year from date of approval.

JOHN P. SULLIVAN, JR. P.E.
 Chief Engineer

FOR B.W.S.C. USE ONLY

DRAINAGE CALCULATIONS

ROOF & DRIVEWAY AREA = 1676 S.F.
 INFILTRATE (STORE) 1 OF RUNOFF
 1/12 (1676 S.F.) = 139.7 CU. FT.
 USE (2) CULTEC 330XLHD INFILTRATORS- SEE DETAIL
 52.2 X 2 = 104.4 CU. FT. WITH 1 FT. CRUSHED STONE AROUND
 VOLUME COMPUTATION EXTERIOR CRUSHED STONE
 17.5 X 6.33 X 3.54 = 392.14 CU. FT.
 392.14 CU. FT. - 104.4 CU. FT. (CHAMBER VOLUME) = 287.74 CU. FT.
 287.74 CU. FT. X 0.3 (VOIDS) = 86.32 CU. FT. VOLUME VOIDS STORAGE
 104.4 CU. FT. CHAMBER VOLUME + 86.32 CU. FT. VOIDS = 190.72 CU. FT.
 190.72 CU. FT. TOTAL STORAGE > 139.7 CU. FT. RUNOFF CALCULATION

AFTER THE SITE PLAN IS SIGNED BY THE CHIEF ENGINEER OR HIS DESIGNEE, A GENERAL SERVICE APPLICATION MUST BE FILLED OUT AND SIGNED BY THE OWNER OF THE PROPERTY OR THE OWNER'S AGENT PRIOR TO THE TIME OF INSTALLATION OF DOMESTIC WATER SERVICE, FIRE PIPE SERVICE, BUILDING SEWER OR BUILDING STORM DRAIN CONNECTIONS. A PREREQUISITE FOR FILING A GENERAL SERVICE APPLICATION WITH THE BOSTON WATER AND SEWER COMMISSION FOR NEW CONSTRUCTION IS THE "ROUGH CONSTRUCTION SIGN-OFF" DOCUMENT FROM THE CITY OF BOSTON'S INSPECTORIAL SERVICES DEPARTMENT. AN INSPECTION FEE WILL BE CHARGED FOR EACH WATER AND SEWER CONNECTION. TWENTY-FOUR(24) HOURS ADVANCED NOTICE IS REQUIRED FOR INSPECTION SCHEDULING. IF ANY INSPECTION DATE IS SCHEDULED ON THE WEEKENDS, HOLIDAY, OR AFTER REGULAR WORK HOURS, AND THE CONTRACTOR FAILS TO NOTIFY THE BWSO INSPECTORS OF CANCELLATION IN ADVANCE, AN ADDITIONAL INSPECTION FEE WILL BE CHARGED TO THE CONTRACTOR WHEN THE JOB IS SUBSEQUENTLY RESCHEDULED.

1" TYPE K COPPER WATER SERVICE

INSPECTED BY DATE
 6" SDR35 PVC SEWER SERVICE W/CLEANOUT

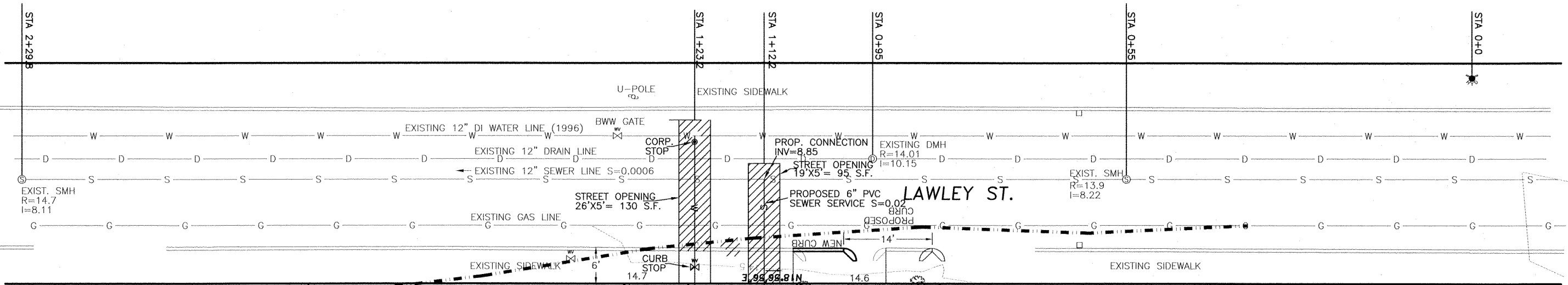
INSPECTED BY DATE
 DYE TEST

INSPECTED BY DATE
 MINI-CB INSTALLATION

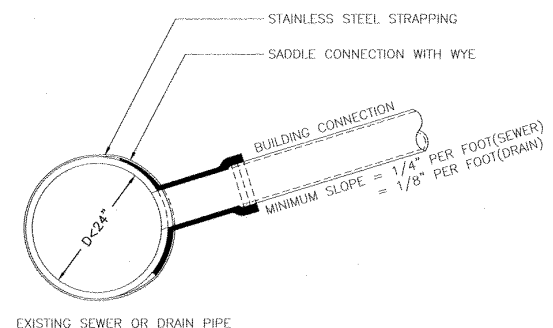
INSPECTED BY DATE
 INFILTRATION SYSTEM INSTALLATION

INSPECTED BY DATE
 DOWNSPOUT INSTALLATION

INSPECTED BY DATE

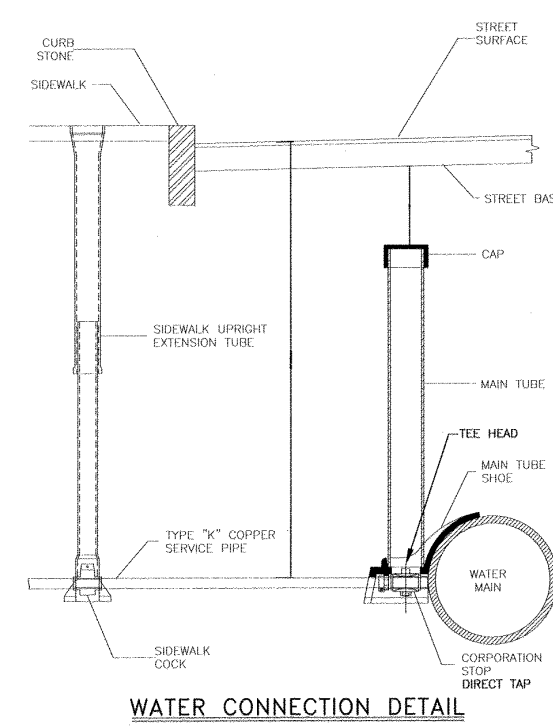


ALL WATER, SEWER AND DRAIN SERVICE CONNECTIONS TO BOSTON WATER AND SEWER COMMISSION FACILITIES MUST BE PERFORMED BY A BONDED DRAIN LAYER LICENSED BY THE BOSTON WATER AND SEWER COMMISSION.

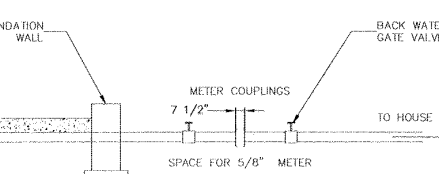
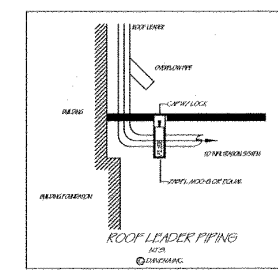
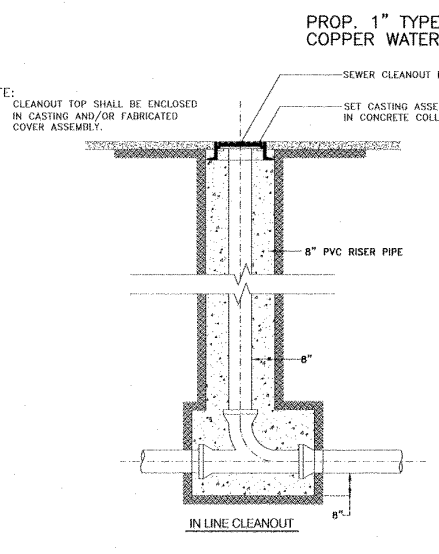


- NOTES:
 1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
 2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
 3. FULL WYE CONNECTION FITTINGS MAY BE USED.
 4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR A FULL WYE FITTING ARE NOT ALLOWED.

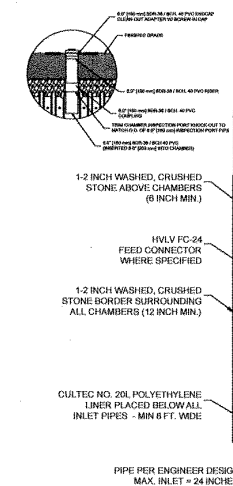
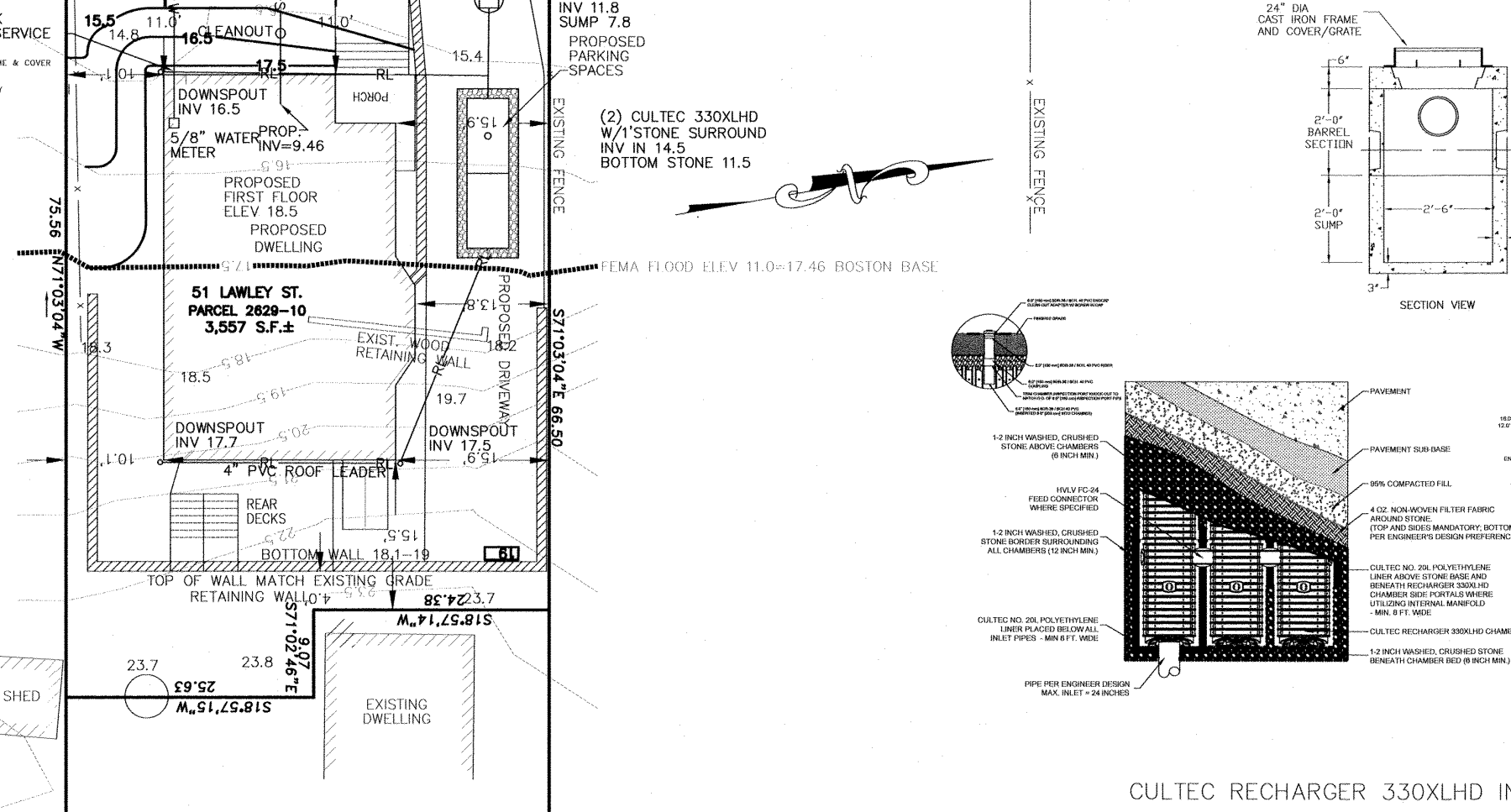
SEWER CONNECTION DETAIL



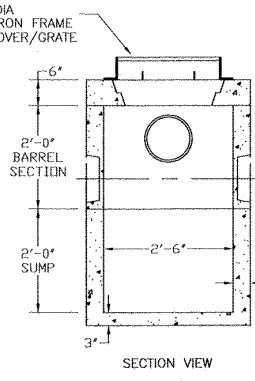
WATER CONNECTION DETAIL



WATER METER SPACING DETAIL



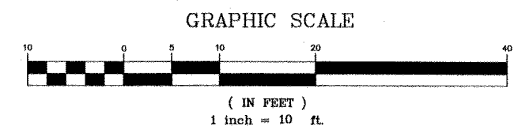
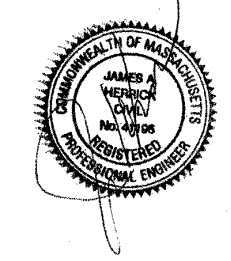
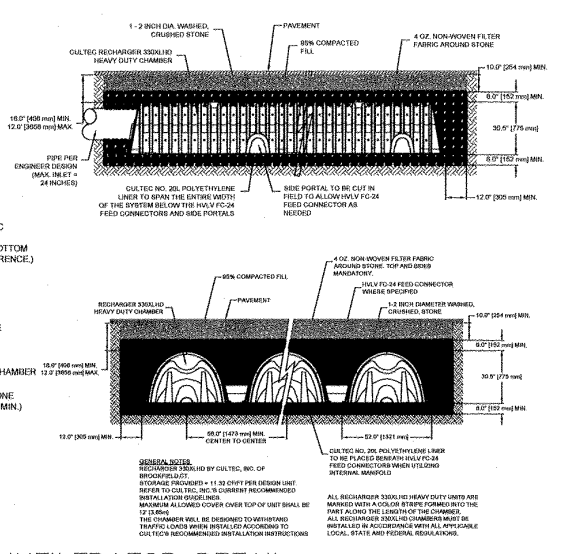
CULTEC RECHARGER 330XLHD INFILTRATOR DETAIL



- NOTES:
 1. CONCRETE: 5000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGNED FOR H-20 LOADING.

SECTIONS	
1'-0" RISER	MC-MCB12RH
2'-0" RISER	MC-MCB24RH
3'-0" RISER	MC-MCB36RH
2'-0" BASE	MC-MCB24BSH
2'-0" BARREL	MC-MCB24BSH
3H COVER	MC-3SWTCH

MANHOLE 30" DIA H-20 MINI CATCH BASIN



REVISE FIRST FLOOR ELEV L.J.B. 4/17/2019

SITE PLAN #18-
51 LAWLEY STREET
DORCHESTER, MA
FOR
WEST POINT DEVELOPMENT LLC
 CIVIL ENVIRONMENTAL CONSULTANTS LLC
 8 OAK STREET PEABODY, MA 01960 (978) 531-1191

SHEET NO: 1 OF 1 DATE: 11/5/2018 JOB NO: 2201
 DRAWN BY: L.J.B.

OWNER:
 WEST POINT REALTY DEVELOPMENT II, LLC
 51 LAWLEY STREET
 DORCHESTER, MA 02122
 TEL: 617-799-3580

PROJECT ARCHITECT:
 TIM JOHNSON ARCHITECT, LLC
 343 W. BROADWAY, STE. 102
 BOSTON, MA 02127
 TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY DWELLING
 51 LAWLEY STREET
 DORCHESTER, MA 02122

REVISIONS

08/07/19	△
08/26/19	△
	△

Tim Johnson Architect, LLC



PERMIT SET

SURVEYED SITE PLAN

DATE: 08/02/19 SC: N. T. S.

C02



STREET VIEW

OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS

△ 08/07/19	△
△ 08/26/19	△
△	△

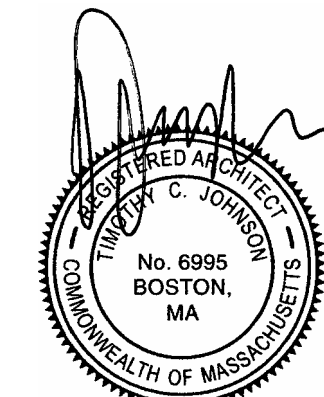
Tim Johnson Architect, LLC



PERMIT SET

PERSPECTIVE
VIEWS

DATE: 08/02/19 SC: N. T. S.



V01



REAR VIEW

OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS

△ 08/07/19	△
△ 08/26/19	△
△	△

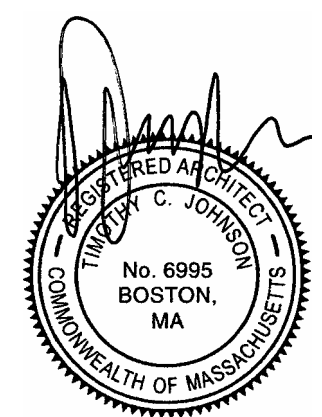
Tim Johnson Architect, LLC



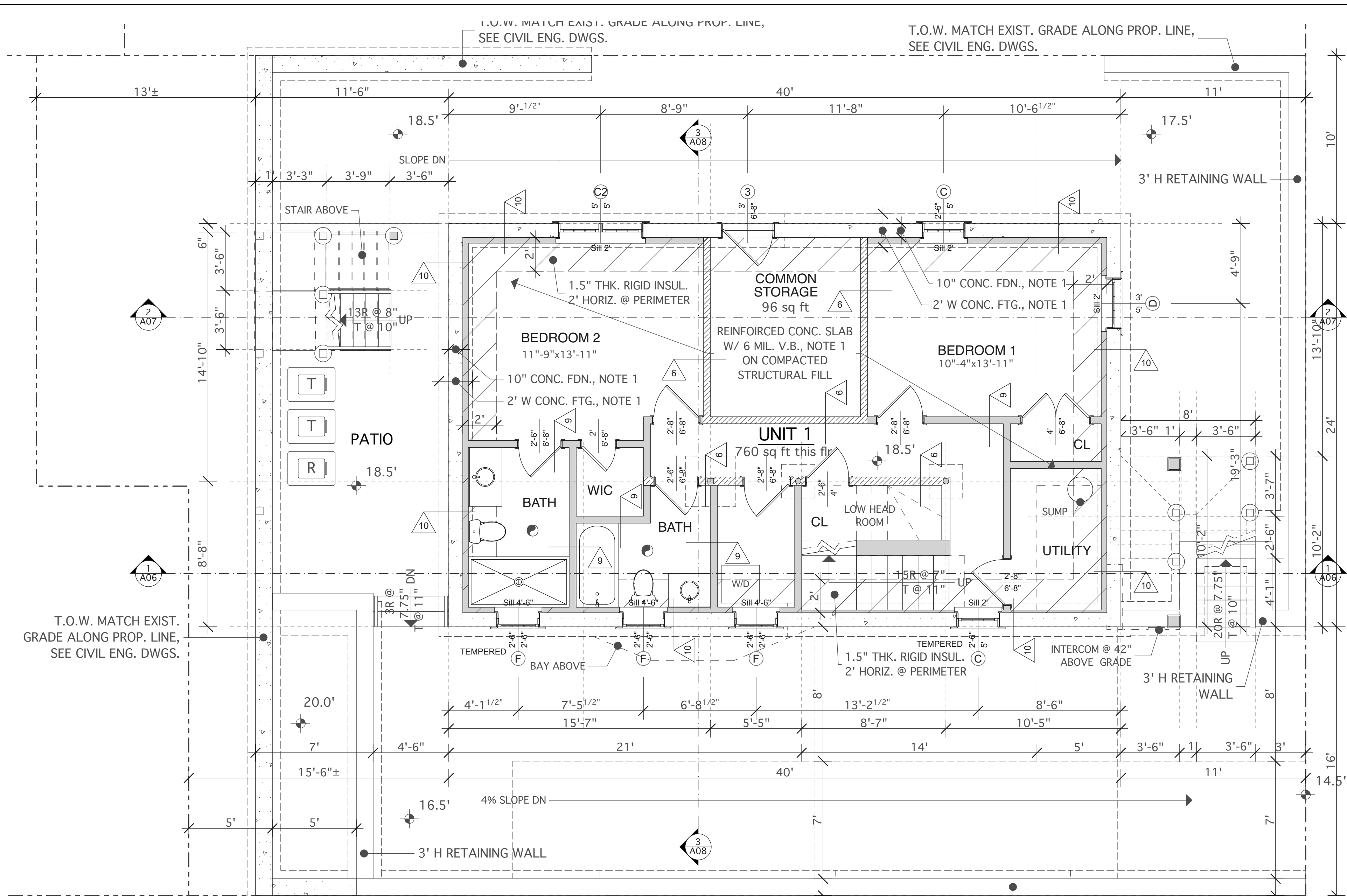
PERMIT SET

PERSPECTIVE
VIEWS

DATE: 08/02/19 SC: N. T. S.

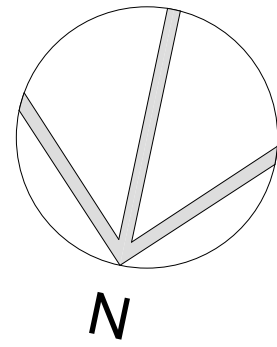
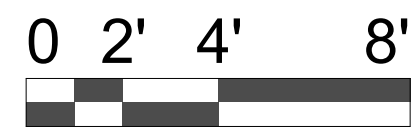


V02



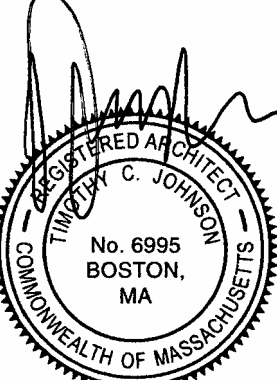
LOWER LEVEL FLOOR PLAN

960 sq ft gross this flr

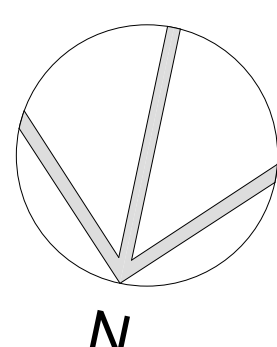
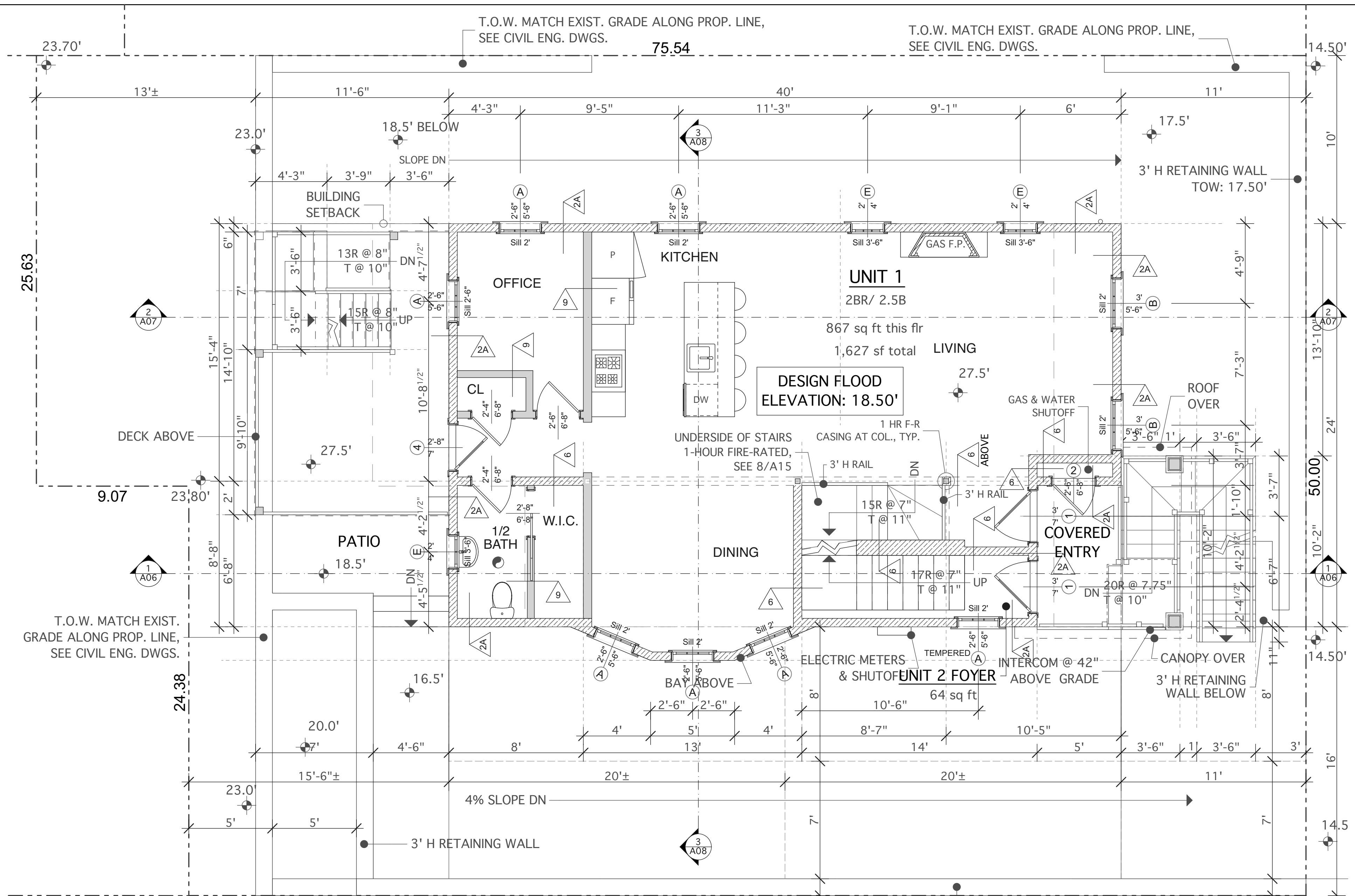


- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36"H RAILING AT NOSING.
 - 6.) 42"H RAILING w/4"Ø MAX. OPNGS.
 - 7.) 36"H RAILING w/4"Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR

- LEGEND**
- NON-RATED WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - EXISTING WALLS
 - EXISTING BRICK WALLS
 - P.A. POST ABOVE
 - P.B. POST BELOW
 - (EX) EXISTING
 - (R) RELOCATE
 - (N) NEW
 - B.W. BEARING WALL
 - B.L. BEARING LINE
 - L.C. LALLY COLUMN
 - JOIST DIRECTION TO BE VERIFIED BY GC WALL TYPE
 - MULTIPLE STATION SMOKE DETECTOR, PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - CARBON MONOXIDE DETECTOR PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - EXHAUST FAN TO EXTERIOR
 - MULTIPLE STATION HEAT DETECTOR, THERMAL SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - EMERGENCY LIGHTING UNIT INTERCONNECTED w/NCAD BATT. BACK-UP

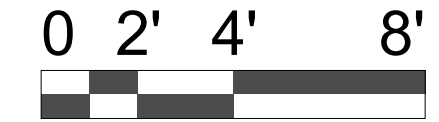


OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580		PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363	
PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122			
REVISIONS 08/07/19 08/26/19			
Tim Johnson Architect, LLC			
PERMIT SET			
LOWER LEVEL FLOOR PLAN			
DATE: 08/02/19 SC: 1/4" = 1'-0"			
A01			



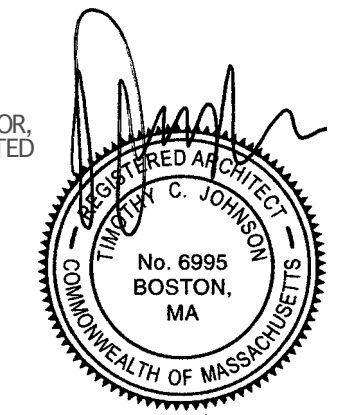
FIRST FLOOR PLAN

938 sq ft gross this flr

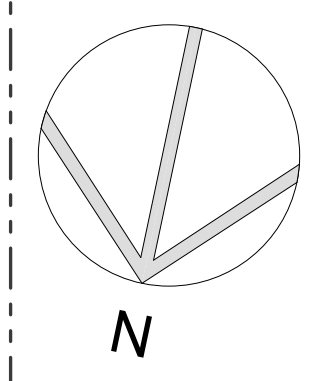
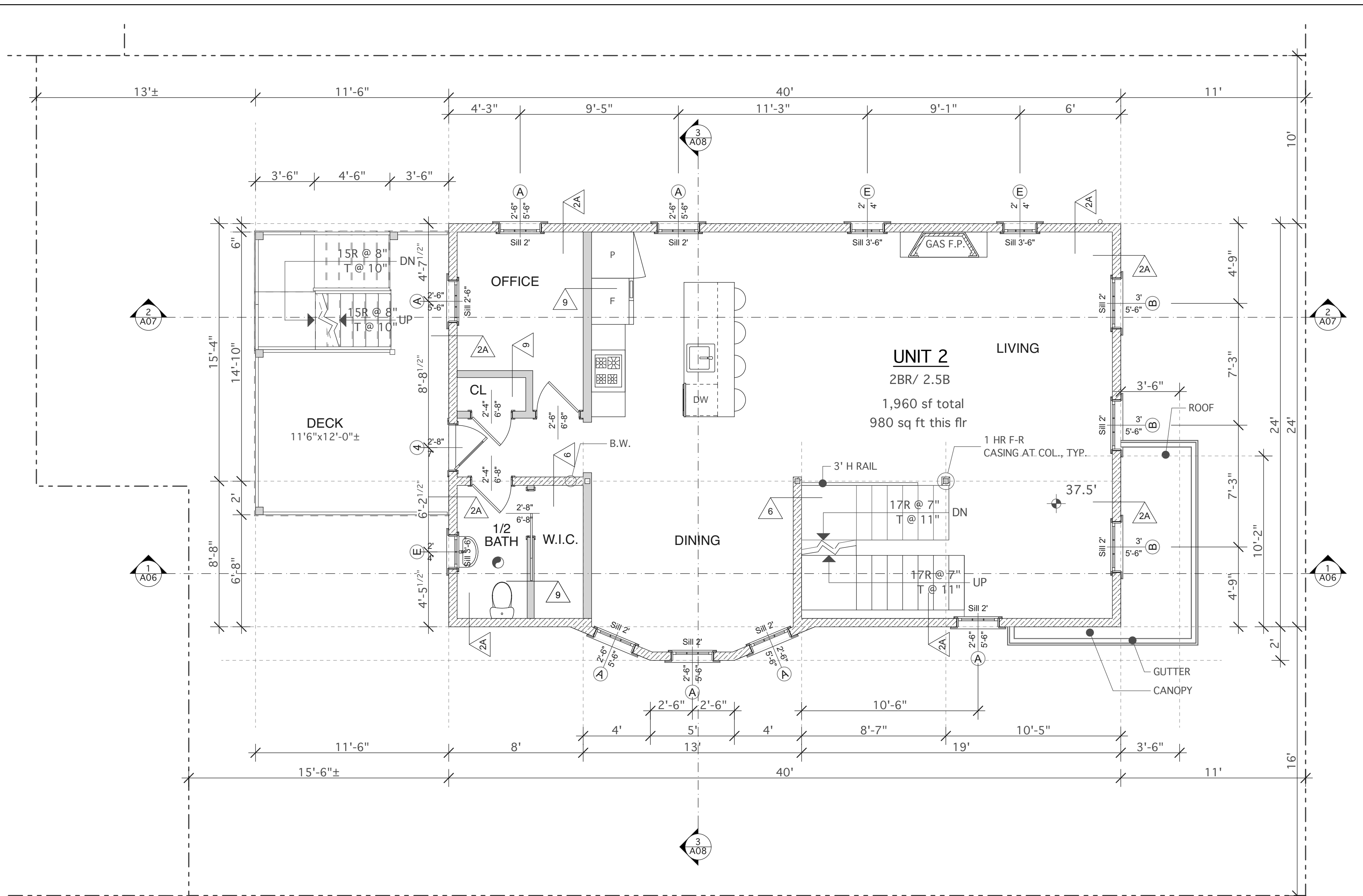


- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36"H RAILING AT NOSING.
 - 6.) 42"H RAILING w/4"Ø MAX. OPNGS.
 - 7.) 36"H RAILING w/4"Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR
 - 11.) EGRESS WINDOW PER IBC SEC. 1030

- LEGEND**
- NON-RATED WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - EXISTING WALLS
 - EXISTING BRICK WALLS
 - P.A. POST ABOVE
 - P.B. POST BELOW
 - (EX) EXISTING
 - (R) RELOCATE
 - (N) NEW
 - B.W. BEARING WALL
 - B.L. BEARING LINE
 - L.C. LALLY COLUMN
 - JOIST DIRECTION TO BE VERIFIED BY GC
 - WALL TYPE
 - (SD) MULTIPLE STATION SMOKE DETECTOR, PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - (S/CO) CARBON MONOXIDE DETECTOR PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - (E) EXHAUST FAN TO EXTERIOR
 - (HD) MULTIPLE STATION HEAT DETECTOR, THERMAL SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - (L) EMERGENCY LIGHTING UNIT INTERCONNECTED w/NCAD BATT. BACK-UP

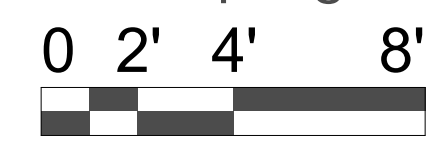


OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580		PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363	
PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122			
REVISIONS			
△	08/07/19	△	
△	08/26/19	△	
Tim Johnson Architect, LLC			
PERMIT SET			
FIRST FLOOR PLAN			
DATE: 08/02/19 SC: 1/4" = 1'-0"			
A02			



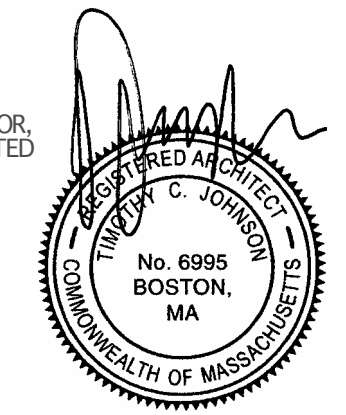
SECOND FLOOR PLAN

980 sq ft gross this flr

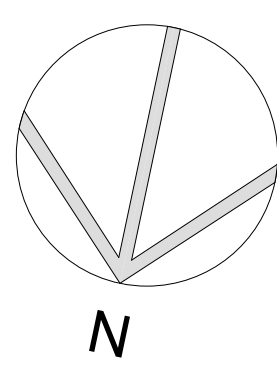
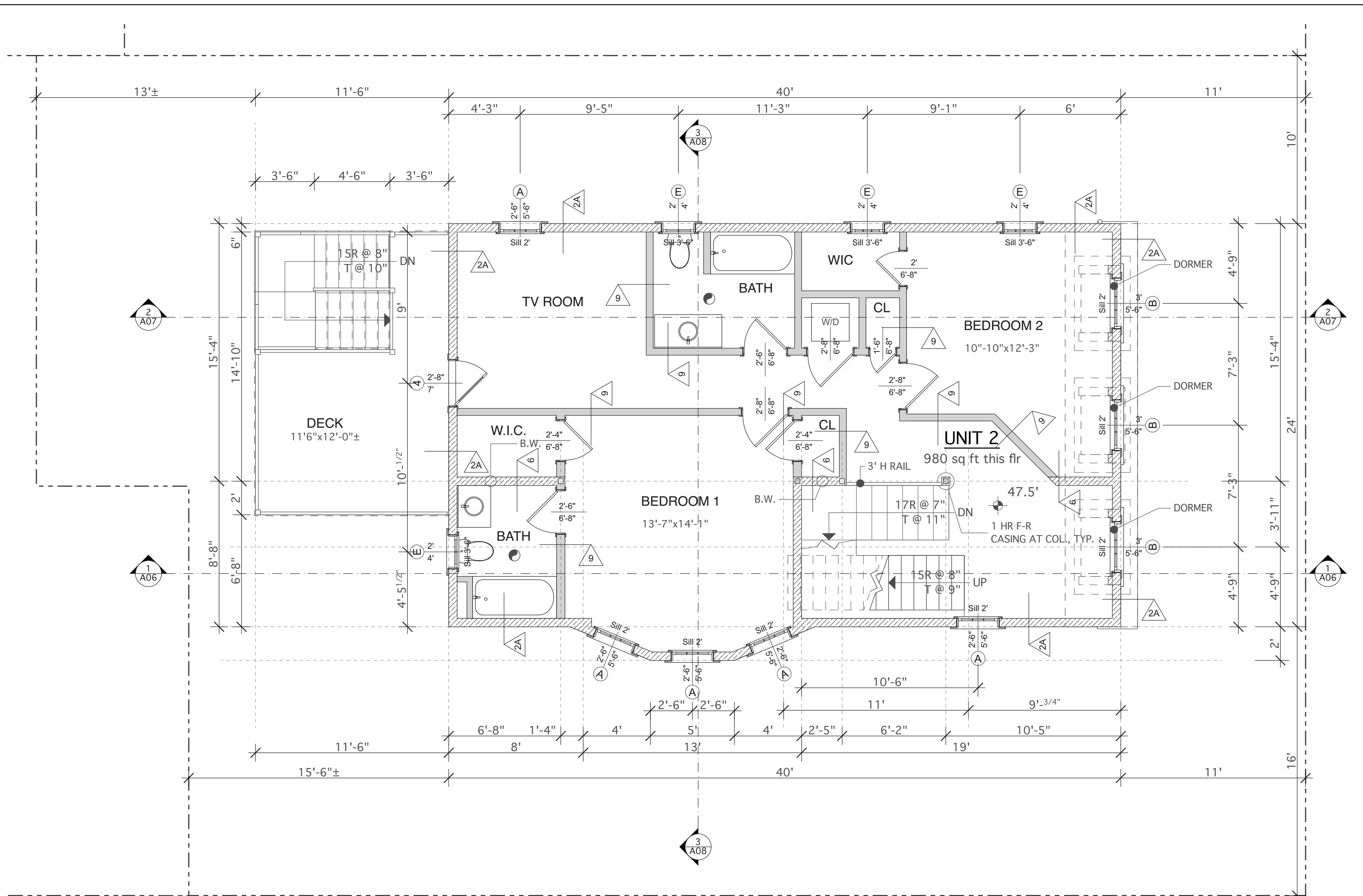


- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36"H RAILING AT NOSING.
 - 6.) 42"H RAILING w/4"Ø MAX. OPNGS.
 - 7.) 36"H RAILING w/4"Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR

- LEGEND**
- NON-RATED WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - EXISTING WALLS
 - EXISTING BRICK WALLS
 - P.A. POST ABOVE
 - P.B. POST BELOW
 - (EX) EXISTING
 - (R) RELOCATE
 - (N) NEW
 - B.W. BEARING WALL
 - B.L. BEARING LINE
 - L.C. LALLY COLUMN
 - JOIST DIRECTION TO BE VERIFIED BY GC
 - WALL TYPE
 - MULTIPLE STATION SMOKE DETECTOR, PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - CARBON MONOXIDE DETECTOR PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - EXHAUST FAN TO EXTERIOR
 - MULTIPLE STATION HEAT DETECTOR, THERMAL SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
 - EMERGENCY LIGHTING UNIT INTERCONNECTED w/NCAD BATT. BACK-UP

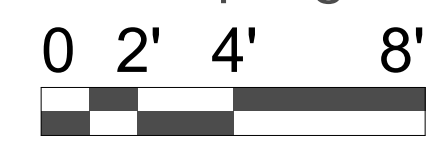


OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580		PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363					
PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122							
REVISIONS <table border="1"> <tr> <td>08/07/19</td> <td>△</td> </tr> <tr> <td>08/26/19</td> <td>△</td> </tr> </table>				08/07/19	△	08/26/19	△
08/07/19	△						
08/26/19	△						
Tim Johnson Architect, LLC							
PERMIT SET							
SECOND FLOOR PLAN							
DATE: 08/02/19 SC: 1/4" = 1'-0"							
A03							



THIRD FLOOR PLAN

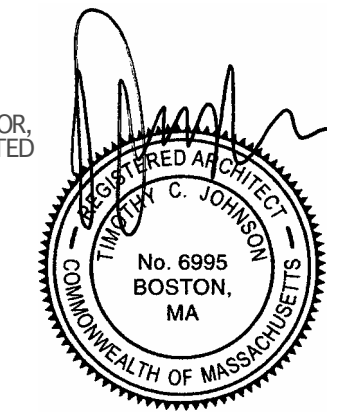
980 sq ft gross this flr



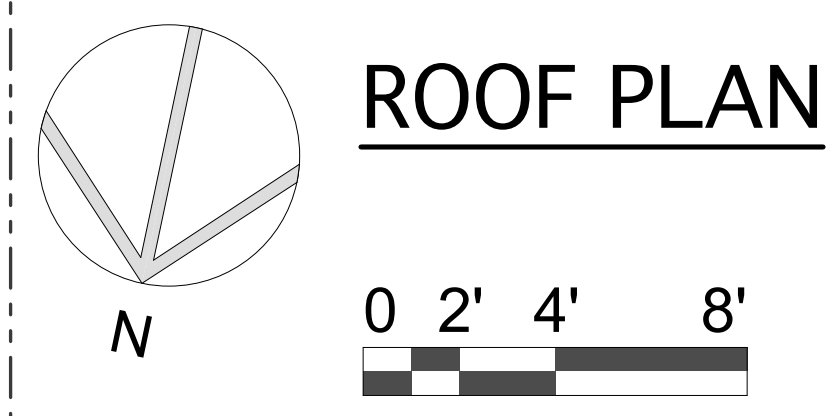
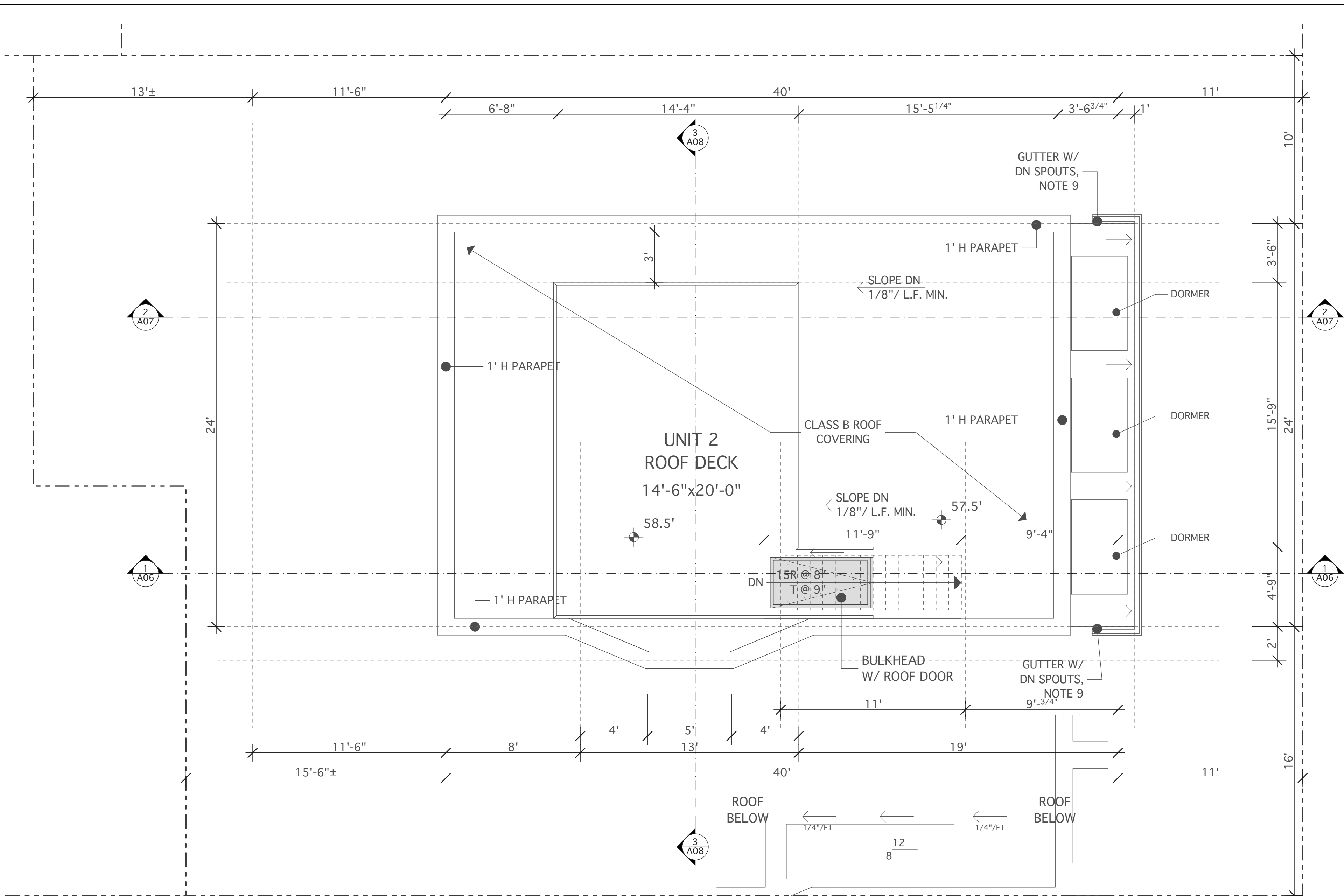
- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36"H RAILING AT NOSING.
 - 6.) 42"H RAILING w/4"Ø MAX. OPNGS.
 - 7.) 36"H RAILING w/4"Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR

- LEGEND**
- NON-RATED WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - EXISTING WALLS
 - EXISTING BRICK WALLS
 - P.A. POST ABOVE
 - P.B. POST BELOW
 - (EX) EXISTING
 - (R) RELOCATE
 - (N) NEW
 - B.W. BEARING WALL
 - B.L. BEARING LINE
 - L.C. LALLY COLUMN
 - JOIST DIRECTION TO BE VERIFIED BY GC
 - WALL TYPE

- MULTIPLE STATION SMOKE DETECTOR, PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
- CARBON MONOXIDE DETECTOR PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
- EXHAUST FAN TO EXTERIOR
- MULTIPLE STATION HEAT DETECTOR, THERMAL SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
- EMERGENCY LIGHTING UNIT INTERCONNECTED w/NCAD BATT. BACK-UP



OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580		PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363	
PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122			
REVISIONS 08/07/19 08/26/19			
Tim Johnson Architect, LLC			
PERMIT SET			
THIRD FLOOR PLAN			
DATE: 08/02/19 SC: 1/4" = 1'-0"			
A04			



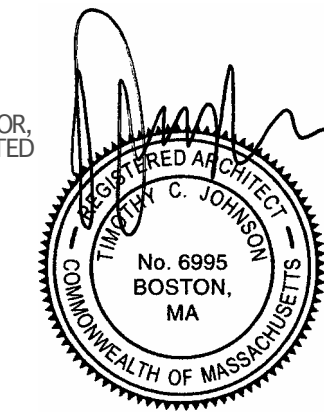
ROOF PLAN

- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36"H RAILING AT NOSING.
 - 6.) 42"H RAILING w/4"Ø MAX. OPNGS.
 - 7.) 36"H RAILING w/4"Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR

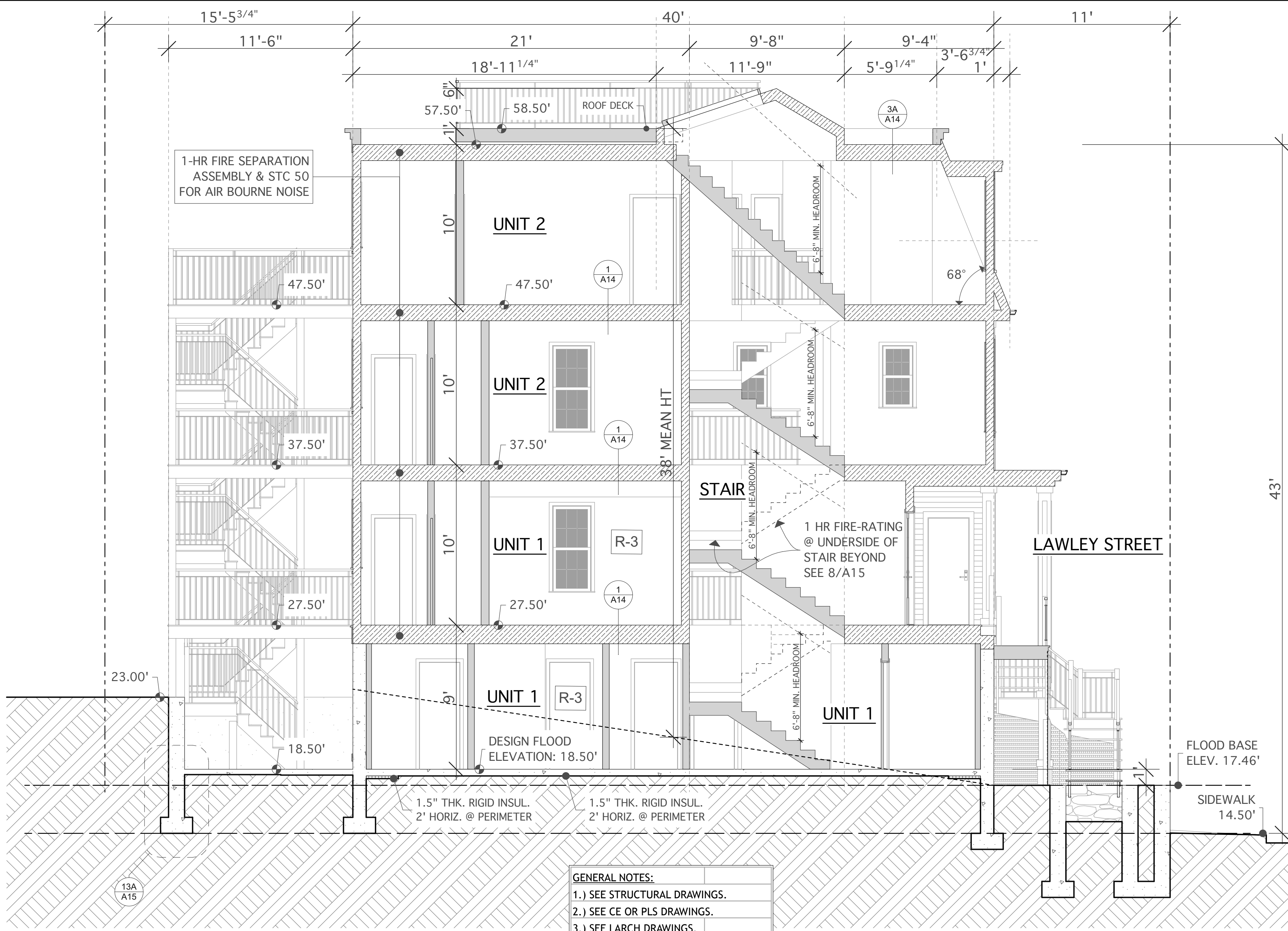
LEGEND

	NON-RATED WALLS	P.A.	POST ABOVE
	1-HR FIRE-RATED WALLS	P.B.	POST BELOW
	2-HR FIRE-RATED WALLS	(EX)	EXISTING
	EXISTING WALLS	(R)	RELOCATE
	EXISTING BRICK WALLS	(N)	NEW
		B.W.	BEARING WALL
		B.L.	BEARING LINE
		L.C.	LALLY COLUMN
	JOIST DIRECTION TO BE VERIFIED BY GC		
	WALL TYPE		

-
- MULTIPLE STATION SMOKE DETECTOR, PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
-
- CARBON MONOXIDE DETECTOR PHOTOELECTRIC SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
-
- EXHAUST FAN TO EXTERIOR
-
- MULTIPLE STATION HEAT DETECTOR, THERMAL SENSOR, INTERCONNECTED w/9 V. BATT. BACK-UP
-
- EMERGENCY LIGHTING UNIT INTERCONNECTED w/NCAD BATT. BACK-UP



<p>OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580</p>	<p>PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363</p>						
<p>PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122</p>							
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">▲ 08/07/19</td> <td style="width: 50%;">▲</td> </tr> <tr> <td>▲ 08/26/19</td> <td>▲</td> </tr> <tr> <td>▲</td> <td>▲</td> </tr> </table> <p style="text-align: right;">Tim Johnson Architect, LLC</p>		▲ 08/07/19	▲	▲ 08/26/19	▲	▲	▲
▲ 08/07/19	▲						
▲ 08/26/19	▲						
▲	▲						
<p>TIM JOHNSON ARCHITECT, LLC</p>							
<p>PERMIT SET</p>							
<p>ROOF PLAN</p>							
<p>DATE: 08/02/19 SC: 1/4" = 1'-0"</p>							
<h1 style="font-size: 48px;">A05</h1>							



1-HR FIRE SEPARATION ASSEMBLY & STC 50 FOR AIR BOURNE NOISE

UNIT 2

47.50'

UNIT 2

37.50'

UNIT 1 R-3

27.50'

UNIT 1 R-3

18.50'

DESIGN FLOOD ELEVATION: 18.50'

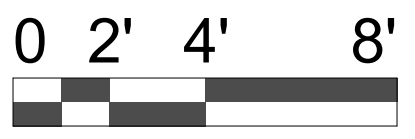
1.5" THK. RIGID INSUL. 2' HORIZ. @ PERIMETER

1.5" THK. RIGID INSUL. 2' HORIZ. @ PERIMETER

FLOOD BASE ELEV. 17.46'

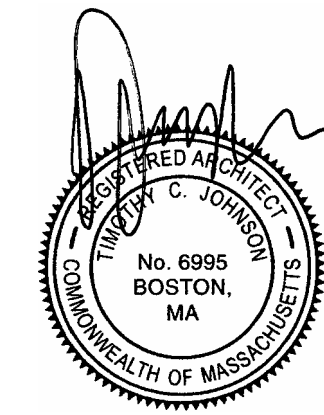
SIDEWALK 14.50'

1-1 BUILDING SECTION

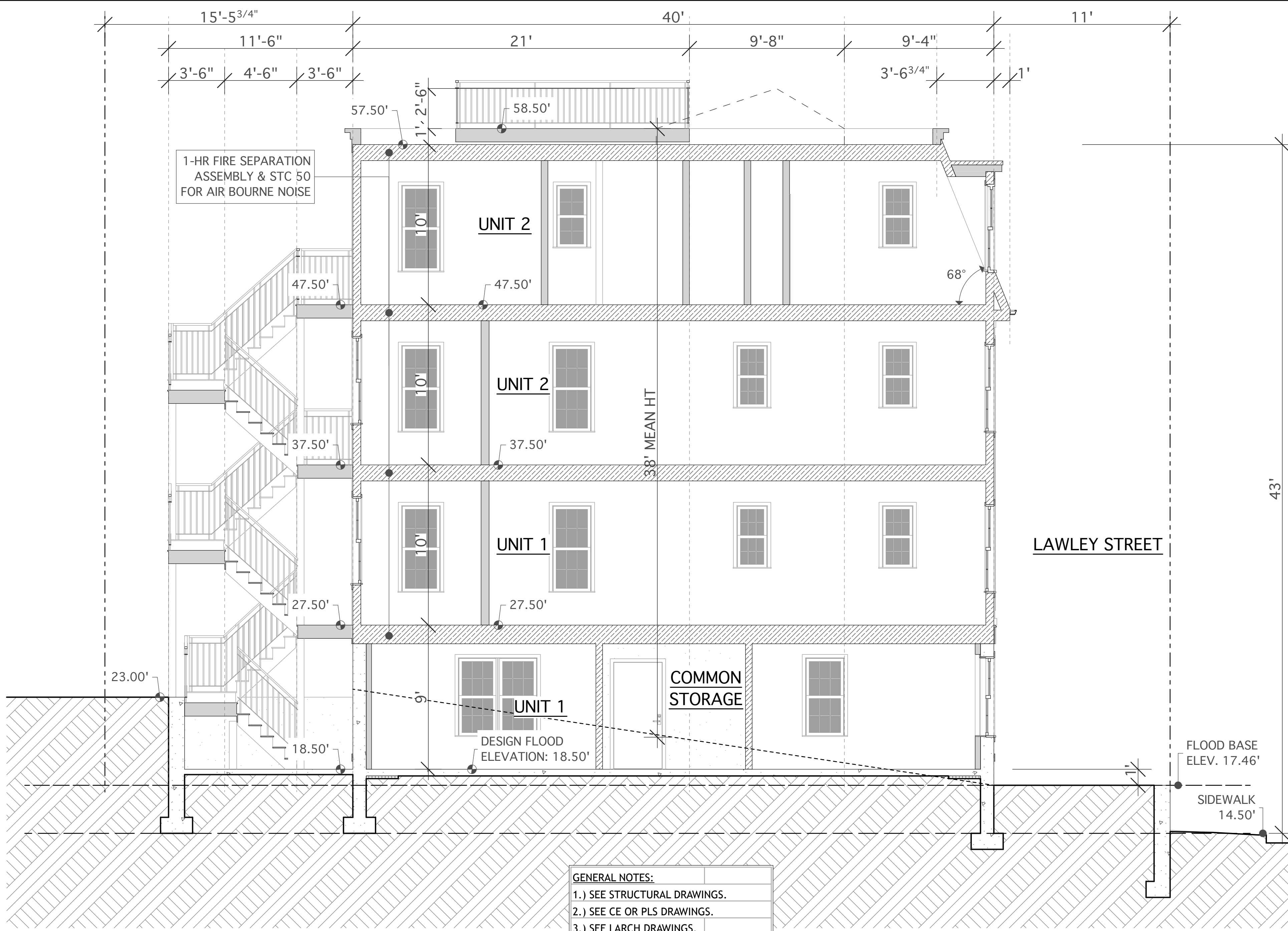


- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36"H RAILING AT NOSING.
 - 6.) 42"H RAILING w/4"Ø MAX. OPNGS.
 - 7.) 36"H RAILING w/4"Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR
 - 11.) EGRESS WINDOW PER IBC SEC. 1030

- LEGEND**
- NON-RATED WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - EXISTING WALLS
 - EXISTING BRICK WALLS
 - FLOOR ASSEMBLY TYPE
 - P.A. POST ABOVE
 - P.B. POST BELOW
 - (EX) EXISTING
 - (R) RELOCATE
 - (N) NEW
 - B.W. BEARING WALL
 - B.L. BEARING LINE
 - L.C. LALLY COLUMN
 - JOIST DIRECTION TO BE VERIFIED BY GC

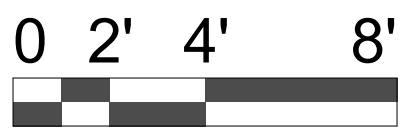


<p>OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580</p>	<p>PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363</p>						
<p>PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122</p>							
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">▲ 08/07/19</td> <td>▲</td> </tr> <tr> <td>▲ 08/26/19</td> <td>▲</td> </tr> <tr> <td>▲</td> <td>▲</td> </tr> </table> <p style="text-align: right;">Tim Johnson Architect, LLC</p>		▲ 08/07/19	▲	▲ 08/26/19	▲	▲	▲
▲ 08/07/19	▲						
▲ 08/26/19	▲						
▲	▲						
<p>TIM JOHNSON ARCHITECT, LLC</p>							
<p>PERMIT SET</p>							
<p>1-1 BUILDING SECTION</p>							
<p>DATE: 08/02/19 SC: 1/4" = 1'-0"</p>							
<h1>A06</h1>							



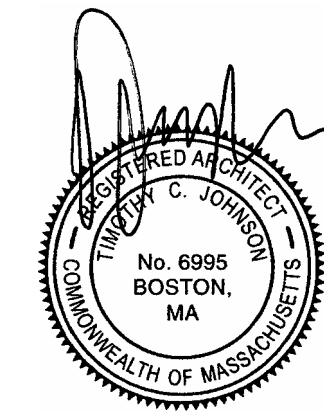
1-HR FIRE SEPARATION ASSEMBLY & STC 50 FOR AIR BOURNE NOISE

2-2 BUILDING SECTION

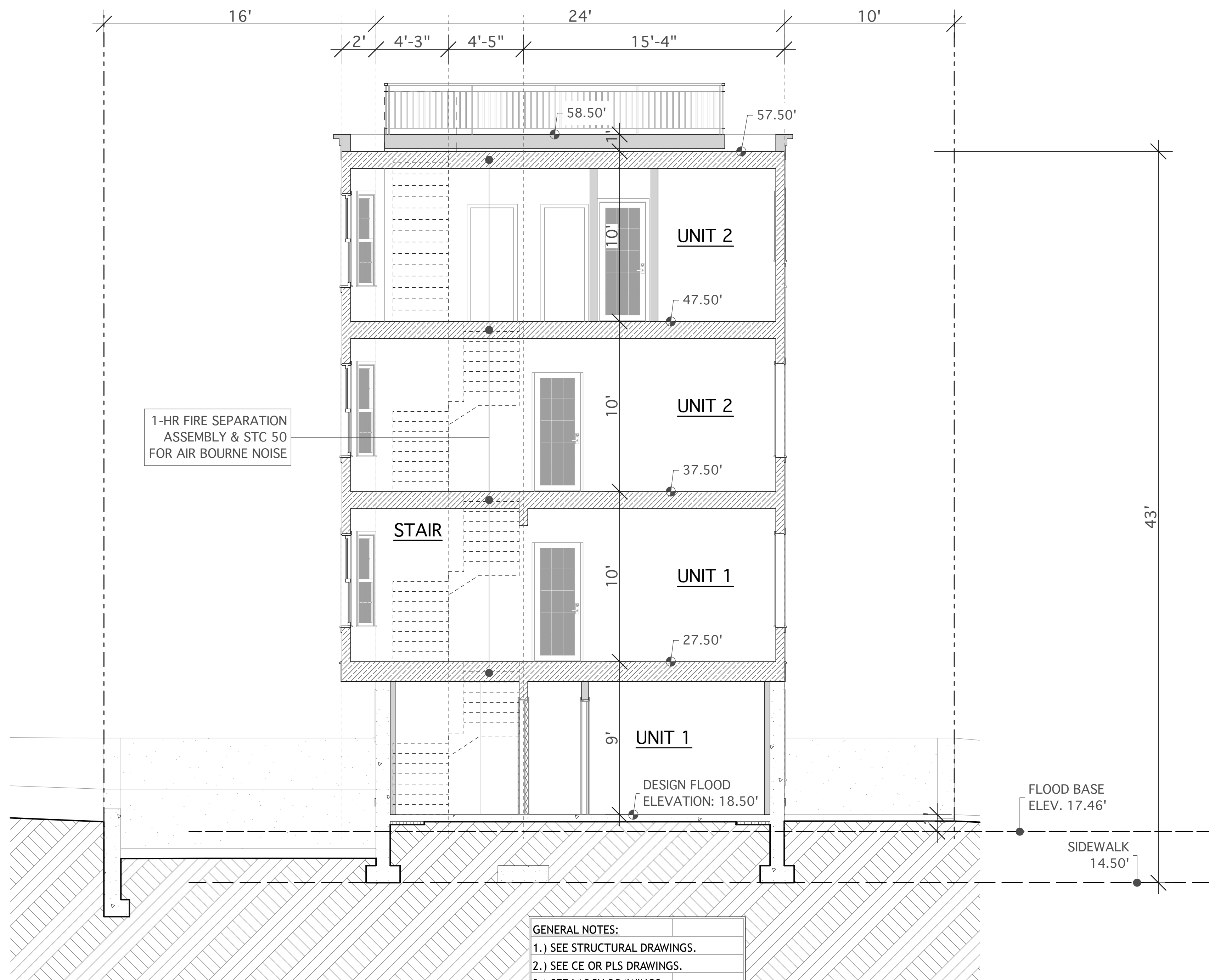


- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36" H RAILING AT NOSING.
 - 6.) 42" H RAILING w/4" Ø MAX. OPNGS.
 - 7.) 36" H RAILING w/4" Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR
 - 11.) EGRESS WINDOW PER IBC SEC. 1030

- LEGEND**
- NON-RATED WALLS
 - 1-HR FIRE-RATED WALLS
 - 2-HR FIRE-RATED WALLS
 - EXISTING WALLS
 - EXISTING BRICK WALLS
 - P.A. POST ABOVE
 - P.B. POST BELOW
 - (EX) EXISTING
 - (R) RELOCATE
 - (N) NEW
 - B.W. BEARING WALL
 - B.L. BEARING LINE
 - L.C. LALLY COLUMN
 - JOIST DIRECTION TO BE VERIFIED BY GC

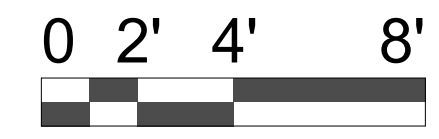


OWNER: WEST POINT REALTY DEVELOPMENT II, LLC 51 LAWLEY STREET DORCHESTER, MA 02122 TEL: 617-799-3580		PROJECT ARCHITECT: TIM JOHNSON ARCHITECT, LLC 343 W. BROADWAY, STE. 102 BOSTON, MA 02127 TEL: 617-464-4363	
PROPOSED 4-STORY, 2-FAMILY DWELLING 51 LAWLEY STREET DORCHESTER, MA 02122			
REVISIONS			
△ 08/07/19	△		
△ 08/26/19	△		
Tim Johnson Architect, LLC			
PERMIT SET			
2-2 BUILDING SECTION			
DATE: 08/02/19 SC: 1/4" = 1'-0"			
A07			



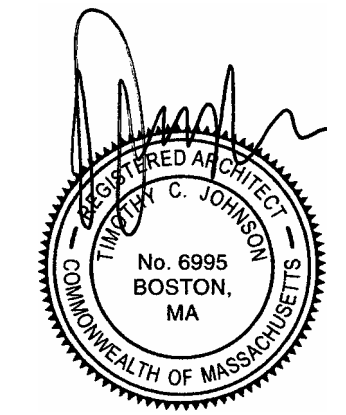
1-HR FIRE SEPARATION ASSEMBLY & STC 50 FOR AIR BOURNE NOISE

3-3 BUILDING SECTION



- GENERAL NOTES:**
- 1.) SEE STRUCTURAL DRAWINGS.
 - 2.) SEE CE OR PLS DRAWINGS.
 - 3.) SEE LARCH DRAWINGS.
 - 4.) SEE MEP DRAWINGS.
 - 5.) 36"H RAILING AT NOSING.
 - 6.) 42"H RAILING w/4"Ø MAX. OPNGS.
 - 7.) 36"H RAILING w/4"Ø MAX. OPNGS.
 - 8.) RAILING PER 521CMR 24.5.
 - 9.) DNSPOUT LOCATIONS COORDINATED W/ CIVIL ENGINEER'S DWGS.
 - 10.) VENT TO EXTERIOR
 - 11.) EGRESS WINDOW PER IBC SEC. 1030

- LEGEND**
- | | | | |
|--|-----------------------|------|--------------------------------------|
| | NON-RATED WALLS | P.A. | POST ABOVE |
| | 1-HR FIRE-RATED WALLS | P.B. | POST BELOW |
| | 2-HR FIRE-RATED WALLS | (EX) | EXISTING |
| | EXISTING WALLS | (R) | RELOCATE |
| | EXISTING BRICK WALLS | (N) | NEW |
| | FLOOR ASSEMBLY TYPE | B.W. | BEARING WALL |
| | | B.L. | BEARING LINE |
| | | L.C. | LALLY COLUMN |
| | | | JOIST DIRECTION TO BE VERIFIED BY GC |



OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS

△ 08/07/19	△
△ 08/26/19	△

Tim Johnson Architect, LLC

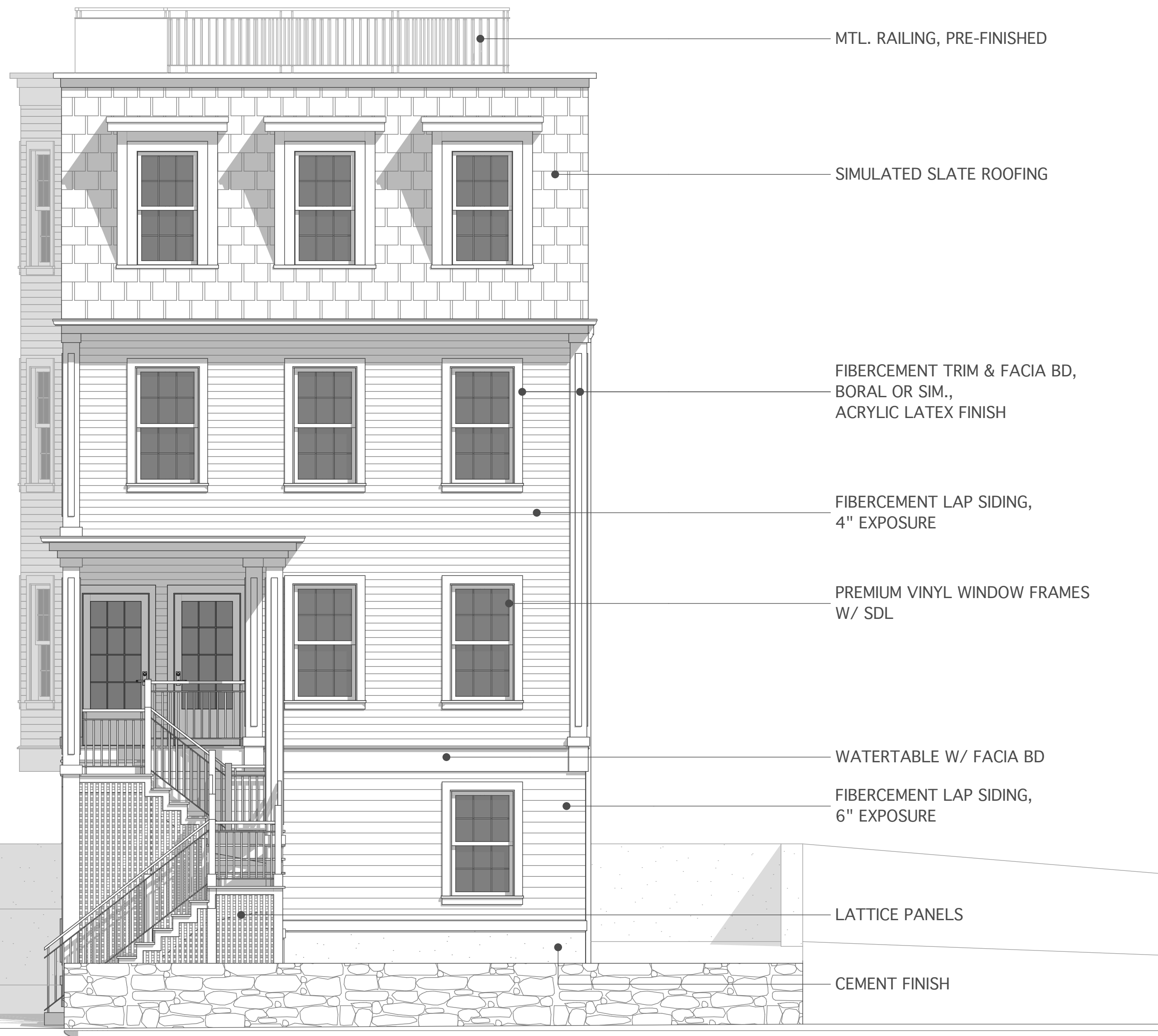


PERMIT SET

3-3 BUILDING SECTION

DATE: 08/02/19 SC: 1/4" = 1'-0"

A08



MTL. RAILING, PRE-FINISHED

SIMULATED SLATE ROOFING

FIBERCEMENT TRIM & FACIA BD,
BORAL OR SIM.,
ACRYLIC LATEX FINISH

FIBERCEMENT LAP SIDING,
4" EXPOSURE

PREMIUM VINYL WINDOW FRAMES
W/ SDL

WATERTABLE W/ FACIA BD

FIBERCEMENT LAP SIDING,
6" EXPOSURE

LATTICE PANELS

CEMENT FINISH

OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS	
△ 08/07/19	△
△ 08/26/19	△
△	△

Tim Johnson Architect, LLC



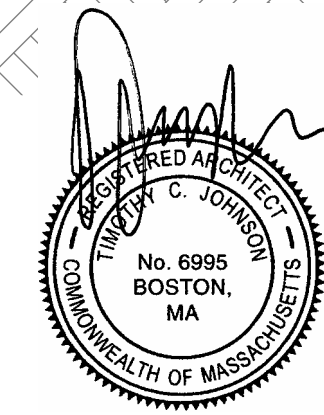
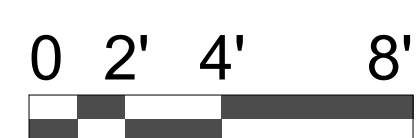
PERMIT SET

WEST (STREET)
ELEVATION

DATE: 08/02/19 SC: 1/4" = 1'-0"

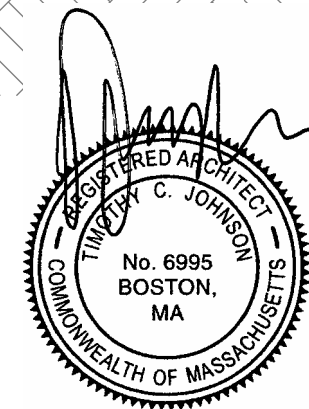
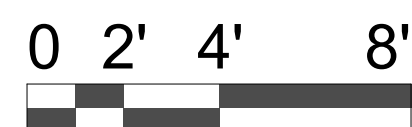
A09

WEST (LAWLEY STREET) ELEVATION





NORTH ELEVATION



OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS	
▲ 08/07/19	▲
▲ 08/26/19	▲
▲	▲

Tim Johnson Architect, LLC



PERMIT SET

NORTH
(DRIVEWAY)
ELEVATION

DATE: 08/02/19 SC: 1/4" = 1'-0"

A10



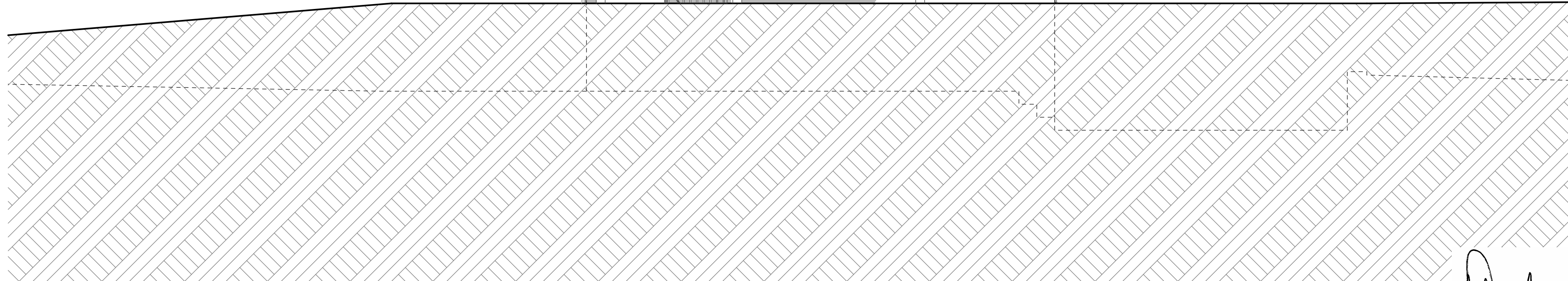
MTL. RAILING, PRE-FINISHED

FIBERCEMENT TRIM & FACIA BD,
BORAL OR SIM.,
ACRYLIC LATEX FINISH

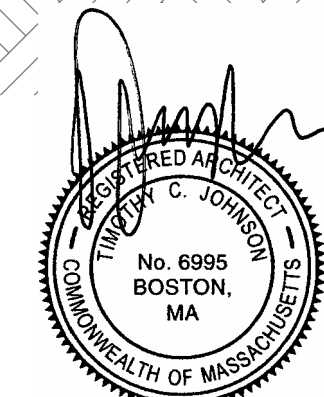
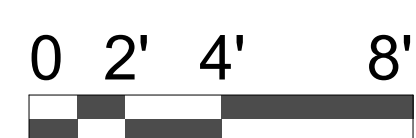
PREMIUM VINYL WINDOW FRAMES
W/ SDL

FIBERCEMENT LAP SIDING,
4" EXPOSURE

FIBERCEMENT LAP SIDING,
6" EXPOSURE



EAST ELEVATION



OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS

△ 08/07/19	△
△ 08/26/19	△
△	△

Tim Johnson Architect, LLC



PERMIT SET

EAST (REAR)
ELEVATION

DATE: 08/02/19 SC: 1/4" = 1'-0"

A11



MTL. RAILING, PRE-FINISHED

DOWNSPOUT

LAWLEY STREET

FIBERCEMENT TRIM & FACIA BD,
BORAL OR SIM.,
ACRYLIC LATEX FINISH

6X6 WD POSTS, PTD.

WD RAILING, PTD.

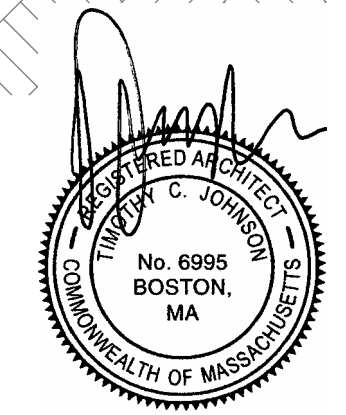
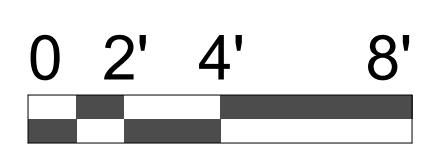
FIBERCEMENT LAP SIDING,
4" EXPOSURE

PREMIUM VINYL WINDOW
FRAMES W/ SDL

WATERTABLE W/ FACIA BD
FIBERCEMENT LAP SIDING,
6" EXPOSURE

CEMENT FINISH
LATTICE PANELS

SOUTH ELEVATION



OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS	
▲ 08/07/19	▲
▲ 08/26/19	▲
▲	▲

Tim Johnson Architect, LLC



PERMIT SET

SOUTH ELEVATION

DATE: 08/02/19 SC: 1/4" = 1'-0"

A12

WINDOW SCHEDULE

Job Name: 51 Lawley Street

Date: 06/17/19

*REVISED:

*REV.	Symbol	Qty.	Manufacturer		Type	Nominal Sizes		Rough Openings		Window	Remarks
			Company	Product No.		Width	Height	Width	Height	Glazing	
	A	19			DH	2'-6"	5'-6"			Low-E	Premium Vinyl Windows w/ 1x5 Trim, SDL & Screens, Tempered (1 of 19)
	B	8			DH	3'-0"	5'-6"			Low-E	Premium Vinyl Windows w/ 1x5 Trim, SDL & Screens
	C	2			DH	2'-6"	5'-0"			Low-E	Premium Vinyl Windows w/ 1x5 Trim, SDL & Screens, Tempered (1 of 2)
	C2	1			DH	5'-0"	5'-0"			Low-E	Premium Vinyl Windows w/ 1x5 Trim, SDL & Screens
	D	1			DH	3'-0"	5'-0"			Low-E	Premium Vinyl Windows w/ 1x5 Trim, SDL & Screens
	E	10			DH	2'-0"	4'-0"			Low-E	Premium Vinyl Windows w/ 1x5 Trim, SDL & Screens
	F	3			AW	2'-6"	2'-6"			Low-E	Premium Vinyl Windows w/ 1x5 Trim, SDL & Screens, Tempered (1 of 3)
TOTAL		44									

DOOR SCHEDULE

Job Name: 51 Lawley Street

Date: 06/17/19

*REVISED:

*REV.	LOCATION		DOOR Type	Nominal Sizes		Rough Openings		FRAME		MANUFACTURER Company	Product No.	MISC. Hdwre.	Remarks
	Symbol	Qty.		Width	Height	Width	Height	Jamb	Treshld.				
1	2	B, K	3'-0"	7'-0"					X				Fiberglass Insulated Door w/ Low-E Glazing, SDL & Tempered Glass; 1x5 Trim
2	1	B	2'-6"	6'-8"					X				Steel Insulated Door; 1x5 Trim
3	1	S	3'-0"	6'-8"					X				Steel Insulated Door; 1x5 Trim
4	3	E	2'-8"	7'-0"					X				Fiberglass Insulated Door w/ Low-E Glazing, SDL & Tempered Glass; 1x5 Trim
HARDWARE SCHEDULE				MISC. SCHEDULE				DOOR SCHEDULE				NOTES:	
L-1	Cylinder lockset, passage lock			T-1	Clr. oak, beveled edges			A	Panel door				
L-2	Cylinder lockset, privacy lock			T-2	White marble, beveled edges			B	Flush door				
L-3	Dummy trim			T-3	Clr. anod. alum., beveled edges			C	Louvre door				
L-4	Mortise-type entry lockset			T-4	Std. alum.sill,adjust. hardwd. thrhd.			D	Patio door				
L-5	Bored-type entry lockset							E	French door				
L-6	Deadbolt cylinder			W-1	Weatherstrip, bulb-type			F	Sliding door				
C-1	Heavy-duty closer			J-1	Solid dimension board, stain grade			G	Bi-fold door				
C-2	Standard-duty closer			J-2	Finger-jointed board, paint grade			H	Pocket door				
H-1	Plain bearing hinges, 3-butts			J-3	Split-wood frame			J	Sidelights				
H-2	Ball bearing hinges, 3-butts			J-4	Hollow metal frame			S	Special				
								K	1/2 Lite Door				
								T	Transom				

OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY
DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS

△ 08/07/19	△
△ 08/26/19	△
△	△

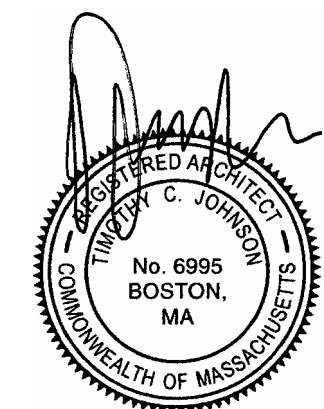
Tim Johnson Architect, LLC



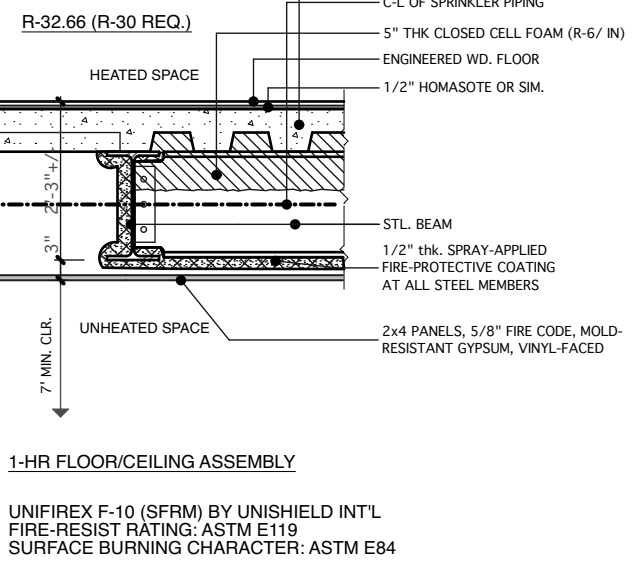
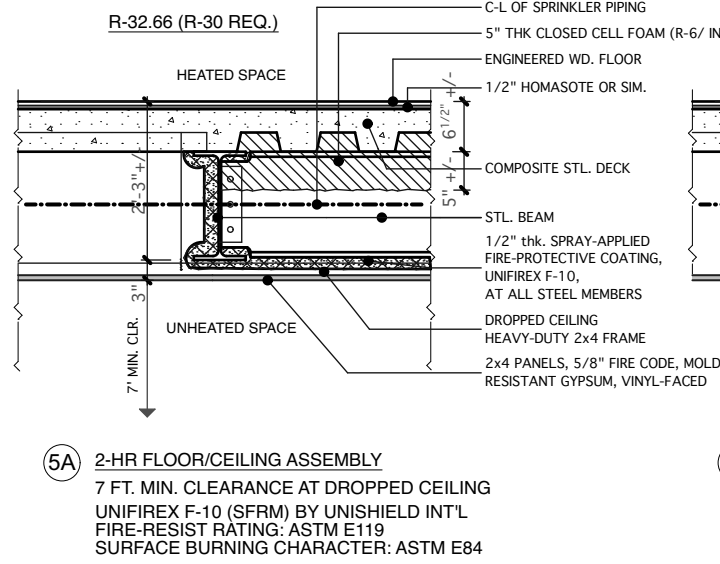
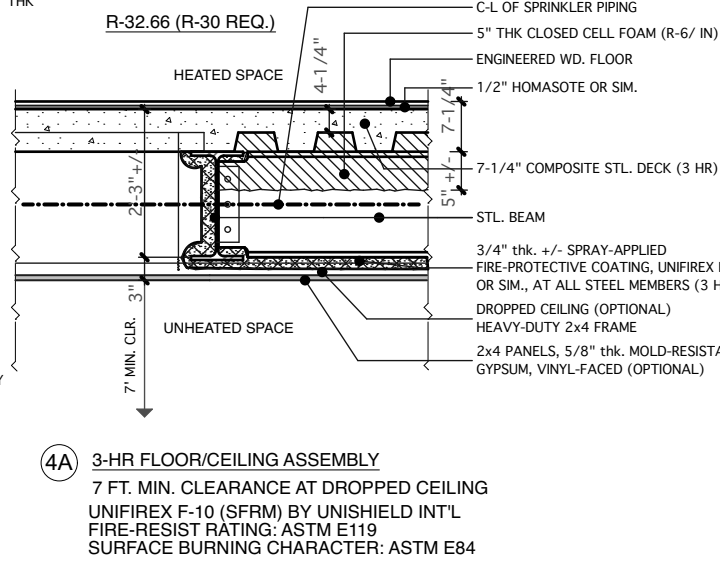
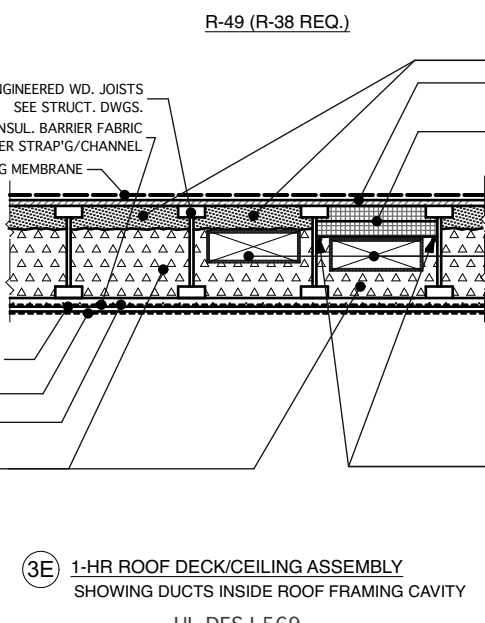
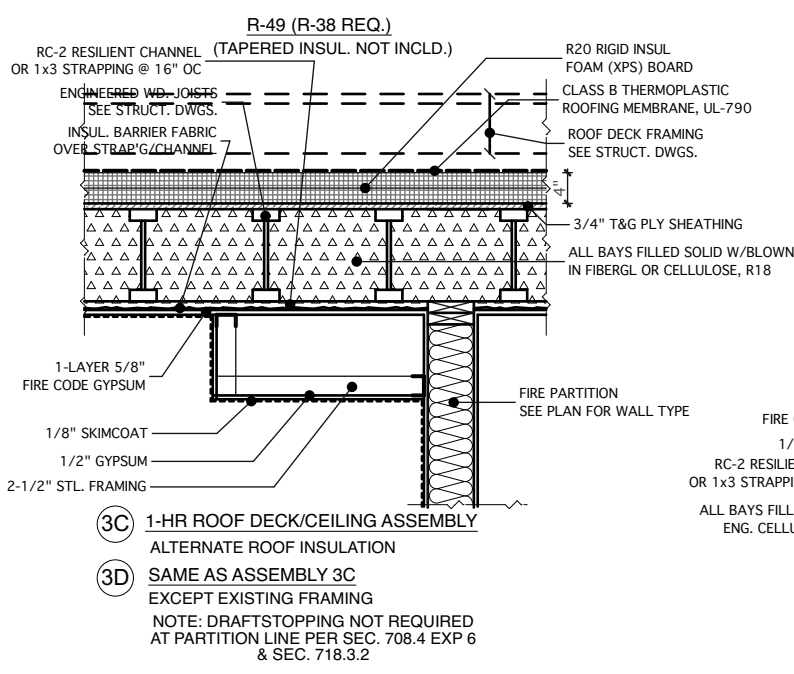
PERMIT SET

SCHEDULES

DATE: 08/02/19 SC: N. T. S.



A13



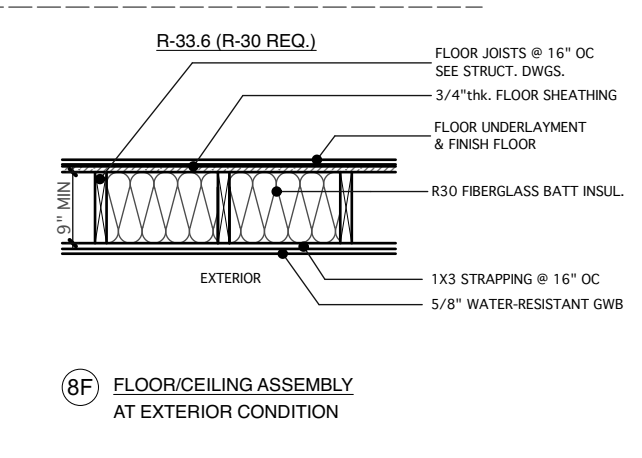
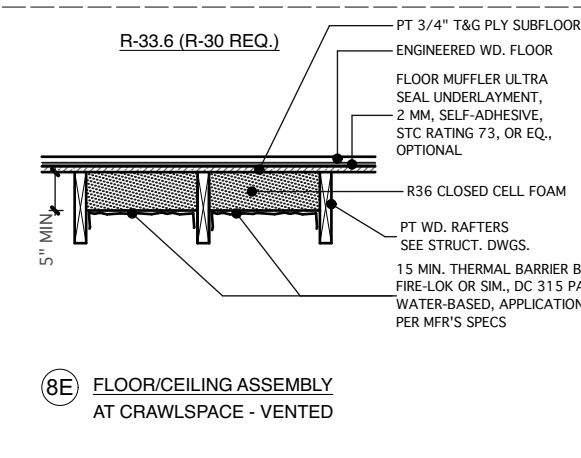
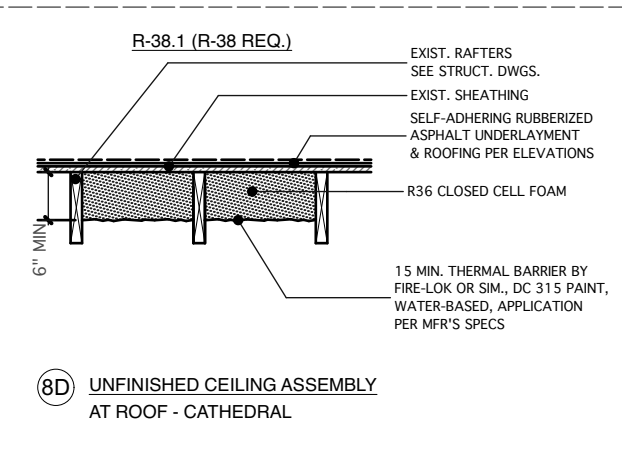
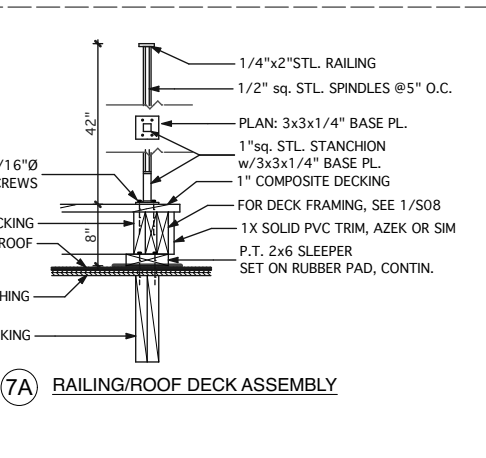
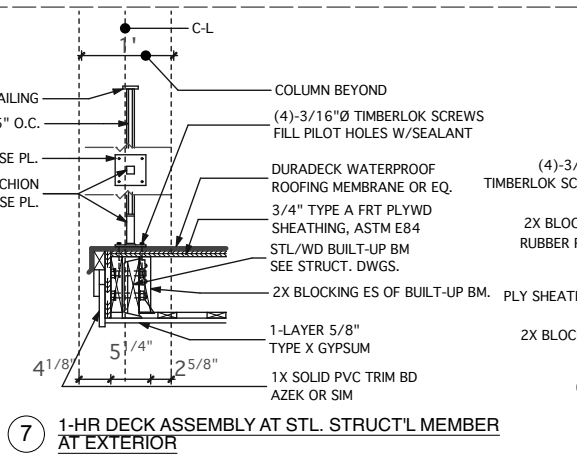
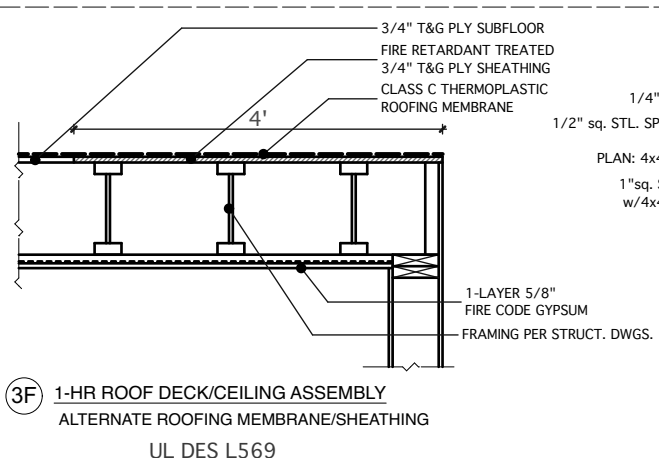
UL DES L569

UL DES L569

UL DES G529

UL DES G205

UL DES G201



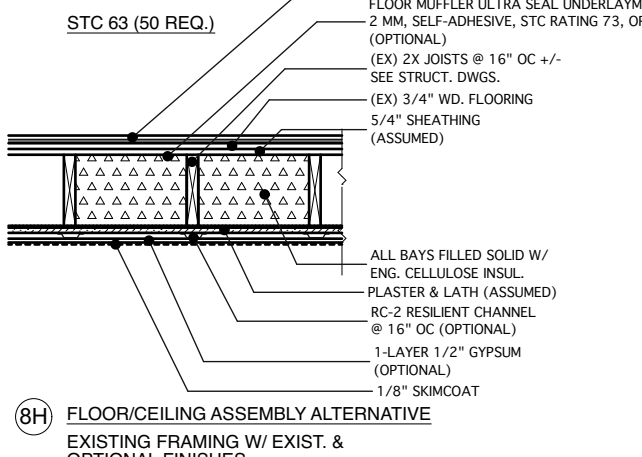
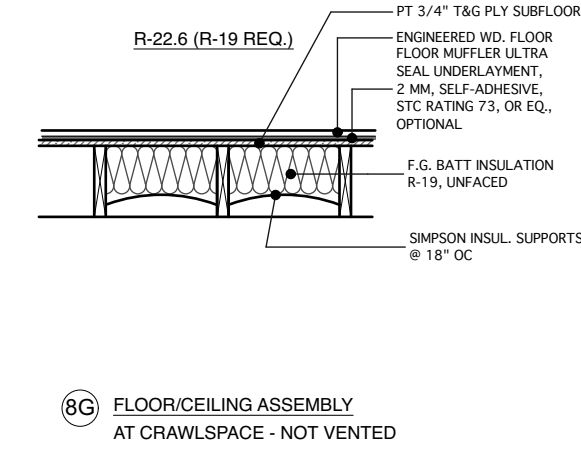
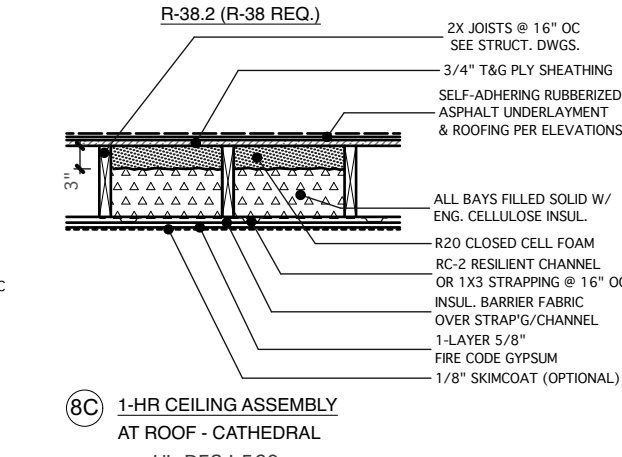
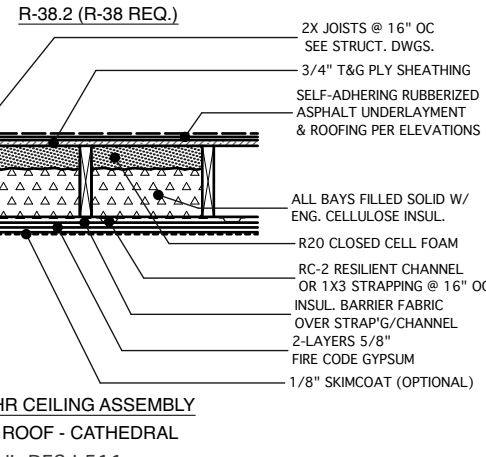
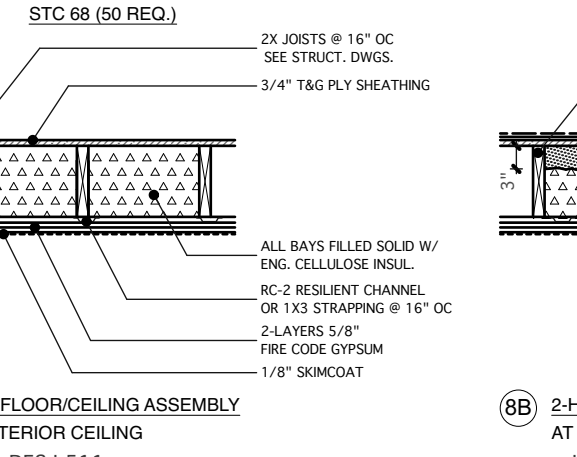
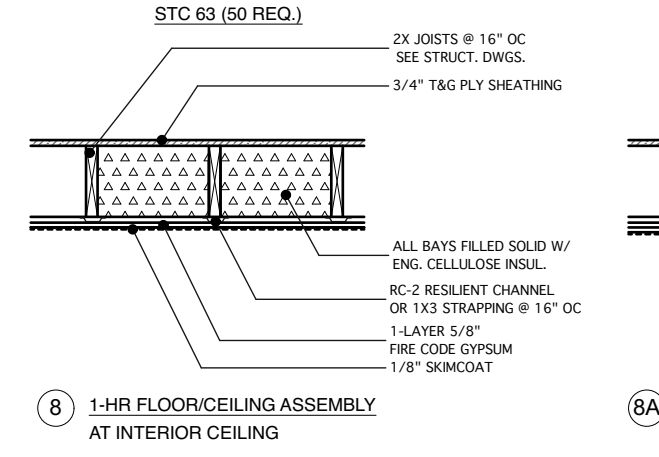
UL DES L569

UL DES L511

UL DES L569

UL DES L569

UL DES L511



UL DES X528

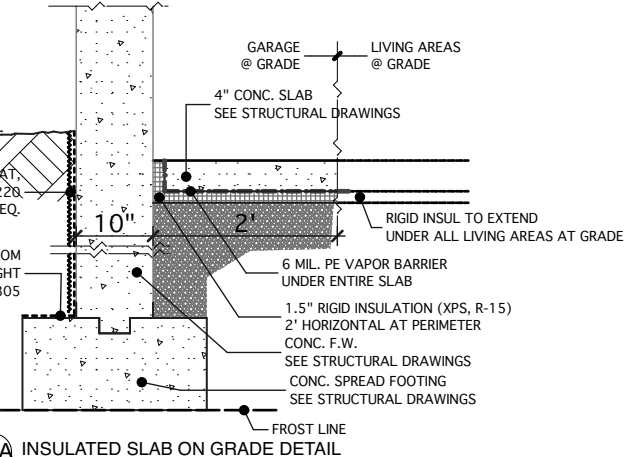
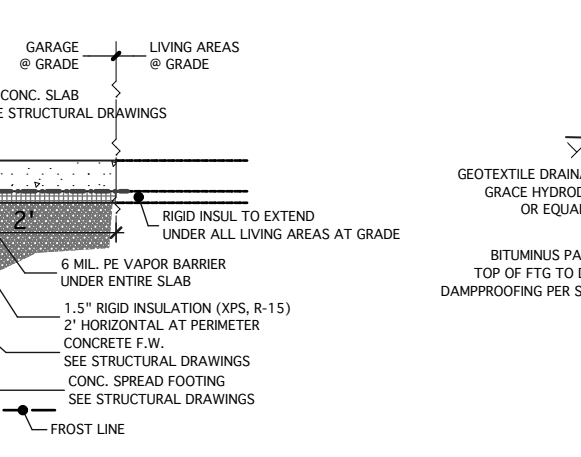
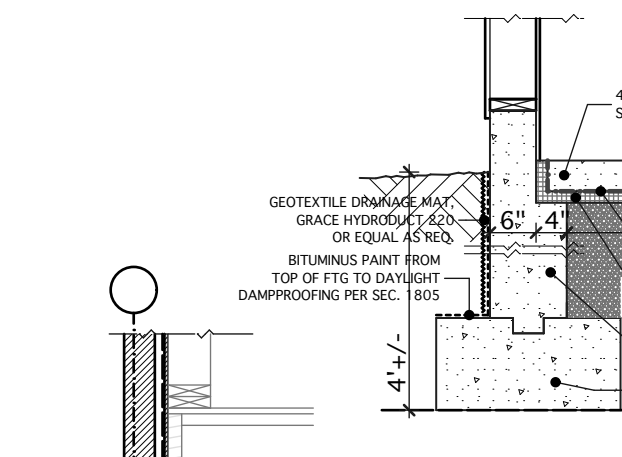
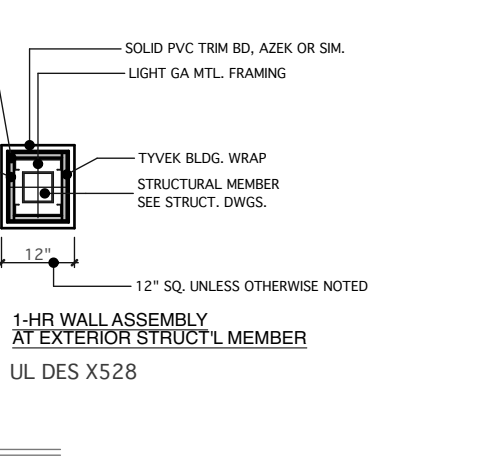
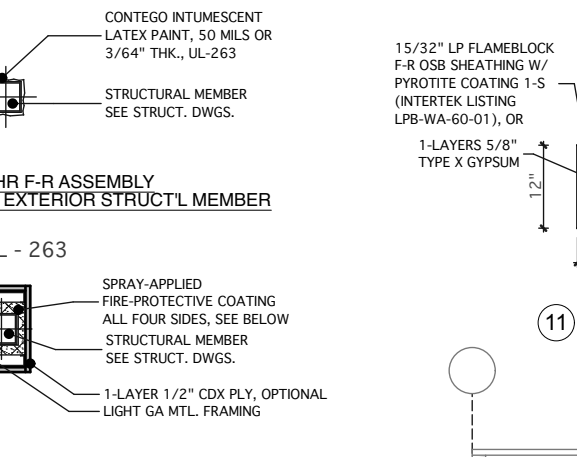
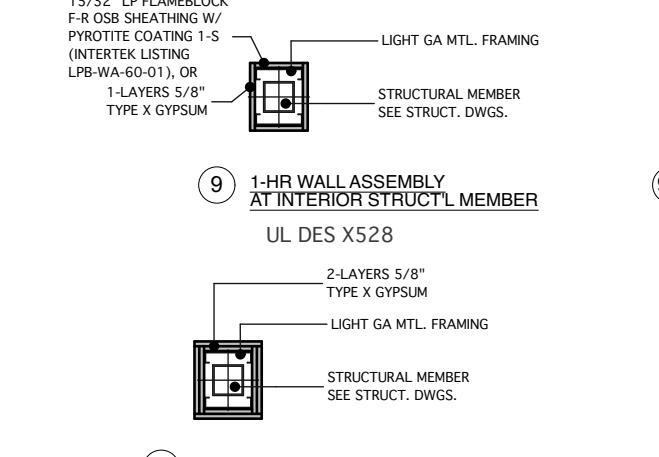
UL - 263

UL DES X528

UL DES X528

UL DES X528

UL DES X528



UL DES X528

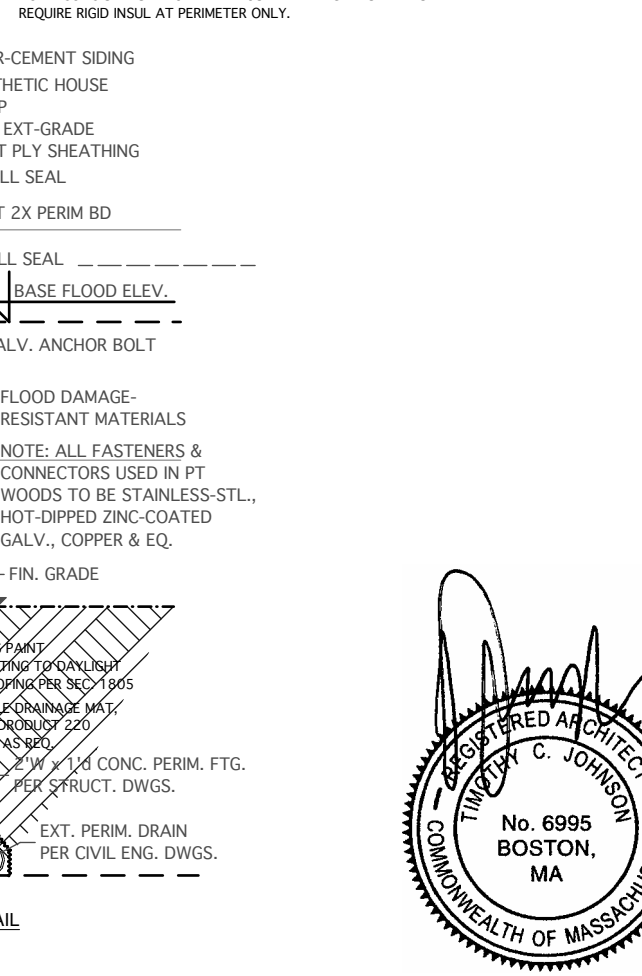
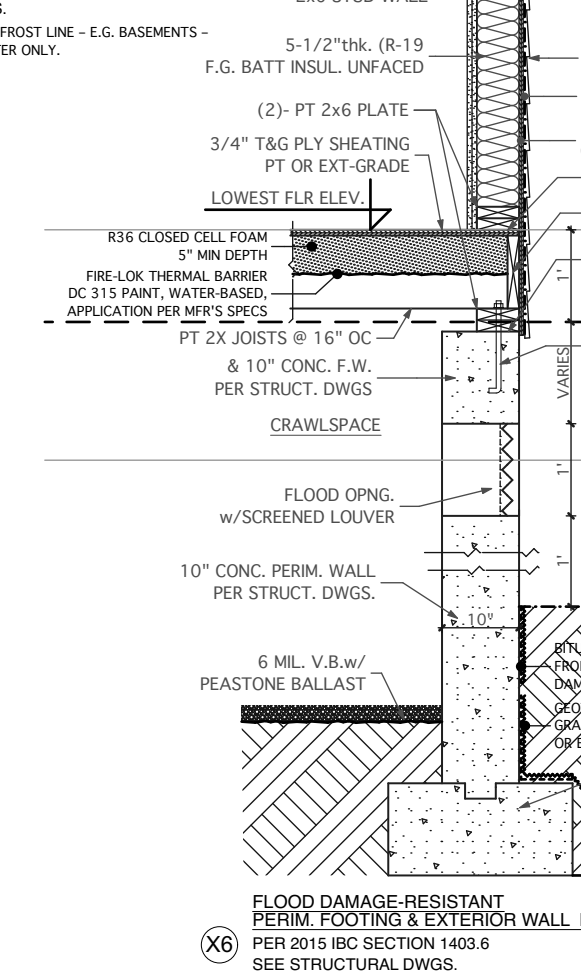
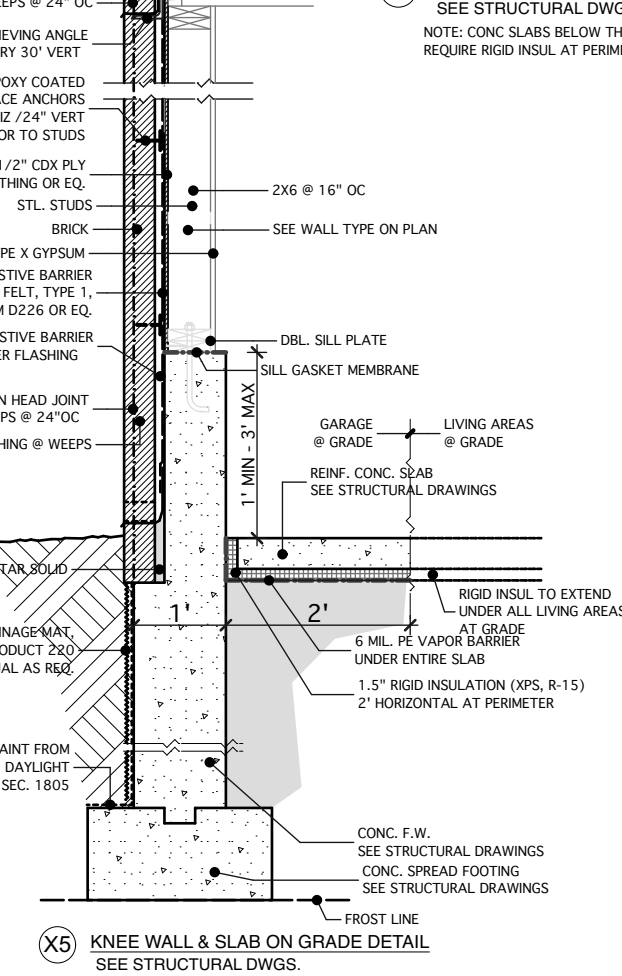
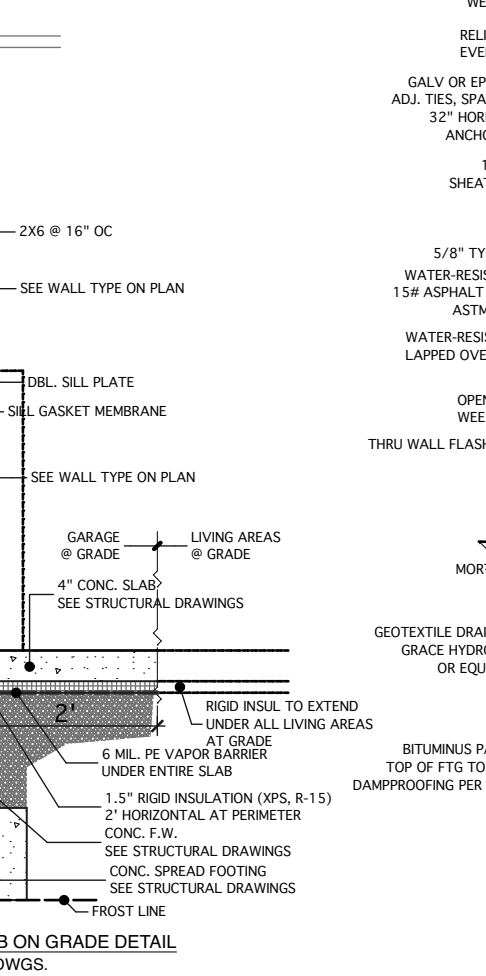
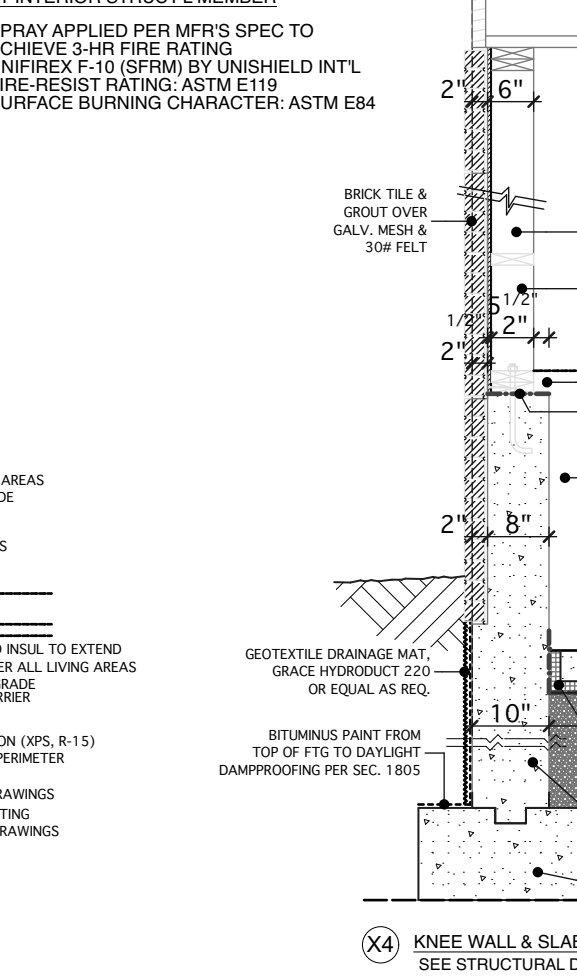
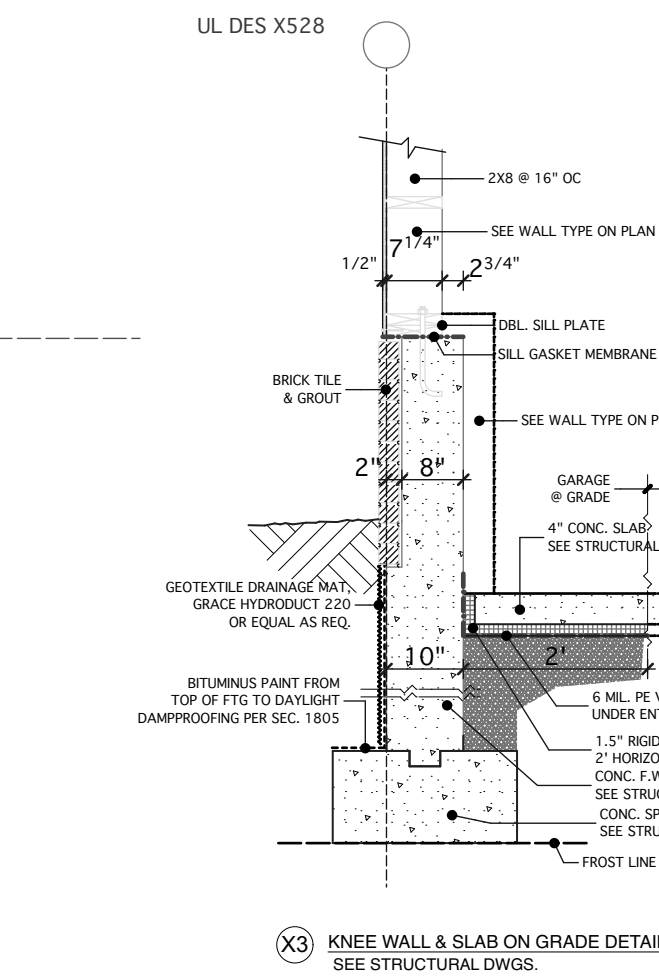
UL DES X528

UL DES X528

UL DES X528

UL DES X528

UL DES X528



UL DES X528

UL DES X528

UL DES X528

UL DES X528

UL DES X528

UL DES X528

OWNER:
WEST POINT REALTY DEVELOPMENT II, LLC
51 LAWLEY STREET
DORCHESTER, MA 02122
TEL: 617-799-3580

PROJECT ARCHITECT:
TIM JOHNSON ARCHITECT, LLC
343 W. BROADWAY, STE. 102
BOSTON, MA 02127
TEL: 617-464-4363

PROPOSED 4-STORY, 2-FAMILY DWELLING
51 LAWLEY STREET
DORCHESTER, MA 02122

REVISIONS	
08/07/19	▲
08/26/19	▲

Tim Johnson Architect, LLC

TIM JOHNSON ARCHITECT, LLC

PERMIT SET

WALL/FLOOR TYPES

DATE: 08/02/19 SC: N. T. S.

A15

