

30 CUMBERLAND RENOVATION & ADDITION

SITE DETAIL

Project
30
Cumberland
Boston MA

NOTES:
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GSDesign Group Inc.

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DRAWING INDEX

ARCHITECTURAL DRAWINGS:

- A0.0 COVER SHEET, DRAWING INDEX, PROJECT DATA
- PLOT PLAN
- GROUND WATER PLAN
- A1.0 GROUND LEVEL WALK OUT PLAN & FIRST FLOOR PLAN
- A1.1 SECOND FLOOR PLAN & THIRD FLOOR PLAN
- A1.2 ROOF PLAN
- A2.0 BUILDING SIDE ELEVATIONS
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- EC1.0 EXISTING

STRUCTURAL DRAWINGS:

ELECTRICAL DRAWINGS:

GRAPHIC SYMBOLS

- EARTH
- GRAVEL/COMP. FILL
- ROCKLEDGE
- CONCRETE
- BRICK
- CONCRETE BLOCK
- STONE
- STEEL
Large Scale
- STEEL
Small Scale
- FINISHED WOOD
- ROUGH WOOD
- Dimensional Lumber Only
- BLOCKING
- Misc. sized wood
- PLYWOOD
Large Scale
- PLYWOOD
Small Scale
- PARTICLE BOARD
- GLASS
Large Scale
- GLASS
Small Scale
- GYPSUM BOARD
- ALUMINUM

DRAWING SYMBOLS

- COLUMN GRID**
 Column Or Grid Number
- DETAILS**
 Detail Number
Drawing Shown On
(Only if NOT Same Dwg.)
- SECTION**
 Section Number
Drawing Shown On
- WALL TYPES**
 Detail Number
- DOOR NUMBER**
 Door Number
Letter Used if More Than One Door Into Space
- WINDOW TYPE**
 Window Type
- CEILING HEIGHTS**
 Finish Ceiling Elevations
- NOTATIONS**
 Notation Reference Number
(Demolition Note)
- DETAIL AREA**
 Enlarged Detail Area
Detail Number
Drawing Shown On
- EQUIPMENT**
 Equipment Reference Number
- NORTH ARROW**
 True North
Plan North (Project Reference)
- REVISIONS**
 Revision Location

ARCHITECTURAL ABBREVIATIONS

- SYMBOLS** used as abbreviations:
- angle L
cantileve
chanIB
rounsG
- ABBREVIATIONS:**
- AFF above finished floor
AC acoustical
ACT acoustical tile
ADJ adjacent
ADJT adjustable
ALT aluminum
ALUM aluminum
ANC anchor, anchorage
AB anchor bolt
ASPH asphalt
- BSMT** basement
BRG bearing
BEL below
BET between
BIT bituminous
BLKG blocking
BD board
BOT bottom
BRK brick
BLDG building
- CAB** cabinet
CPT carpet (ed)
CB catch basin
CLC ceiling
CEN cement
CER ceramic
CT ceramic tile
CIR circle
ORC circumference
CO cleanset
CLR clear (ance)
COL column
COB combination
COMP compress (ed), (ion), (ble)
CONC concrete
OMU concrete masonry unit
CONST construction
CONT continuous
CJ control joint
CTR counter
CRS course
- DEP** depressed
DTL detail
DIAG diagonal
DIA diameter
DIM dimension
DR door
DH double hung
DWR drawer
DWG drawing
DW dishwasher
- EF** each face
ELEC electric (al)
EL elevation
ELEV elevator
ENCL enclosure
EQ equal
EXH exhaust
EXG existing
EXP exposed
EXT exterior
- FOF** face of finish
FW finish (ed)
FF finished floor
FA fire alarm
FEC fire extinguisher cabinet
FHC fire hose cabinet
FP fireproof
FLR floor (ing)
FD floor drain
FLUOR fluorescent
FTG footing
FND foundation
FBO furnished by others
FUR furred (ing)
- GA** gage, gauge
GALV galvanized
GL glass, glazing
GB grab bar
GD grade
GYP gypsum
- HDWD** hardwood
HDWR hardware
HDR header
HD heavy duty
HT height
HM hollow metal
HOR horizontal
- INCL** include (d), (ing)
ID inside diameter
INS insulate (d), (ion)
INT interior
INTM intermediate
INV invert
- JT** joint
KO knockout
- LBL** label
LAB laboratory
LAV lavatory
LH left hand
L length
LT light
LW light weight
L.C.C. lead coated copper
- MH** manhole
MAS masonry
MO masonry opening
MAX maximum
MECH mechanical
MED medium
MTL metal
MIN minimum
MIR mirror
MISC miscellaneous
MLD molding
MTD mount (ed)
- NAT** natural
NOM nominal
NIC not in contract
NTS not to scale
- OC** on center (s)
OPR opening
OPP opposite
OD outside diameter
OA overall
OH overhead
- PNT** paint (ed)
PNL panel
PTD paper towel dispenser
PAR parallel
PVMT pavement
PERIM perimeter
PLAS plaster
PLM plastic laminate
PL plate
PLWD plywood
PT pressure treated
- QT** quarry tile
- REF** reference
REFR refrigerator
RESN reinforce (s)
RES resilient
RA return air
REV revision (s), revised
RH right hand
R riser
RD roof drain
RFG roofing
RM room
RO rough opening
- SCH** schedule
SEC section
SHT sheet
SIM similar
SC solid core
SQ square
SS stainless steel
STL steel
STR structural
SUSP suspended
SYM symmetry (cal)
SYS system
- TEL** telephone
TV television
TK thick (ness)
TPD toilet paper dispenser
T&G tongue and groove
TOC top of concrete
TOS top of steel
TOW top of wall
T tread
TRTD treated
- UC** undercut
UNO unless noted otherwise
UR urinal
- VB** vapor barrier
VNR veneer
WC water closet
WP waterproof (ing)
WNM welded wire mesh
W wide, wide
WIN window
WG wire glass
WO without
- WH** wall hung
WC water closet
WP waterproof (ing)
WNM welded wire mesh
W wide, wide
WIN window
WG wire glass
WO without

CODE COMPLIANCE

ALL WORK SHALL CONFORM TO CURRENT BUILDING CODES, FEDERAL, STATE AND LOCAL CODE REQUIREMENTS, LAWS AND ORDINANCES.

COMPLIANCE WITH CURRENT VERSIONS OF THE FOLLOWING CODES AND AGENCIES ARE REQUIRED:

2015
IBRC - International Residential Building Code
IEBC - International Existing Building Code
IECC - International Energy Conservation Code
IMC - International Mechanical Code
IFC - International Fire Code

780 CMR - MA Amendments to the IBC
527 CMR - MA fire prevention and electrical regulations
521 CMR - MA accessibility regulations
248 CMR - MA plumbing regulations
524 CMR - MA elevator regulations

STATE OF MASSACHUSETTS BUILDING CODE 9th EDITION AND THE CITY OF BOSTON

ZONING ANALYSIS

30 CUMBERLAND STREET			
ZONING DISTRICT	HUNTINGTON AVE. / PRUDENTIAL CENTER		
ZONING SUBDISTRICT	ST. BOTOLPH STREET PROTECTION AREA		
SUBDISTRICT TYPE	PROTECTION AREA		
ZONING ARTICLE	41		
MAP NUMBER	1D		
OVERLAY AREAS			
GROUNDWATER CONSERVATION	BOA APPROVAL REQUIRED		
RESTRICTED PARKING	NA		
HISTORIC DISTRICT: ST. BOTOLPH AREA ARCHITECTURAL CONSERVATION DISTRICT	APPROVAL REQUIRED		
PARK DESIGN REVIEW	APPROVAL REQUIRED		
ROOFTOP ADDITIONS	BOA APPROVAL REQUIRED		
BUILDING INFORMATION			
BUILDING USE TYPE	SINGLE FAMILY RESIDENTIAL		
BUILDING FOOTPRINT	1,342.62 SF		
GROSS FLOOR AREA	5,822.67 SF		
DIMENSIONAL REQUIREMENTS			
	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT FRONTAGE	NONE	22.66 FEET	22.66 FEET
MINIMUM LOT SIZE	NONE	2,728 SF	2,728 FF
MINIMUM LOT WIDTH	NONE	22.66 FEET	22.66 FEET
HEIGHT LIMITATIONS	45 FEET	42.5 FEET	42.5 FEET
MAXIMUM FLOOR AREA RATIO	2.0	1.91	2.13
OPEN SPACE REQUIREMENTS	NONE		
FRONT YARD SETBACK	NONE		
SIDE YARD SETBACK	NONE		
REAR SETBACK	30 FEET	31 FEET	10 FEET
OFF STREET PARKING	.7 SPACE	2	2

Issued For

REV.	ISSUE	DATE

PERMIT

**COVER SHEET,
DRAWING INDEX,
PROJECT DATA**

Drawing Title:

Drawn By: CT Checked By: GG

A0.0

Drawing Number:

File Name: Scale:

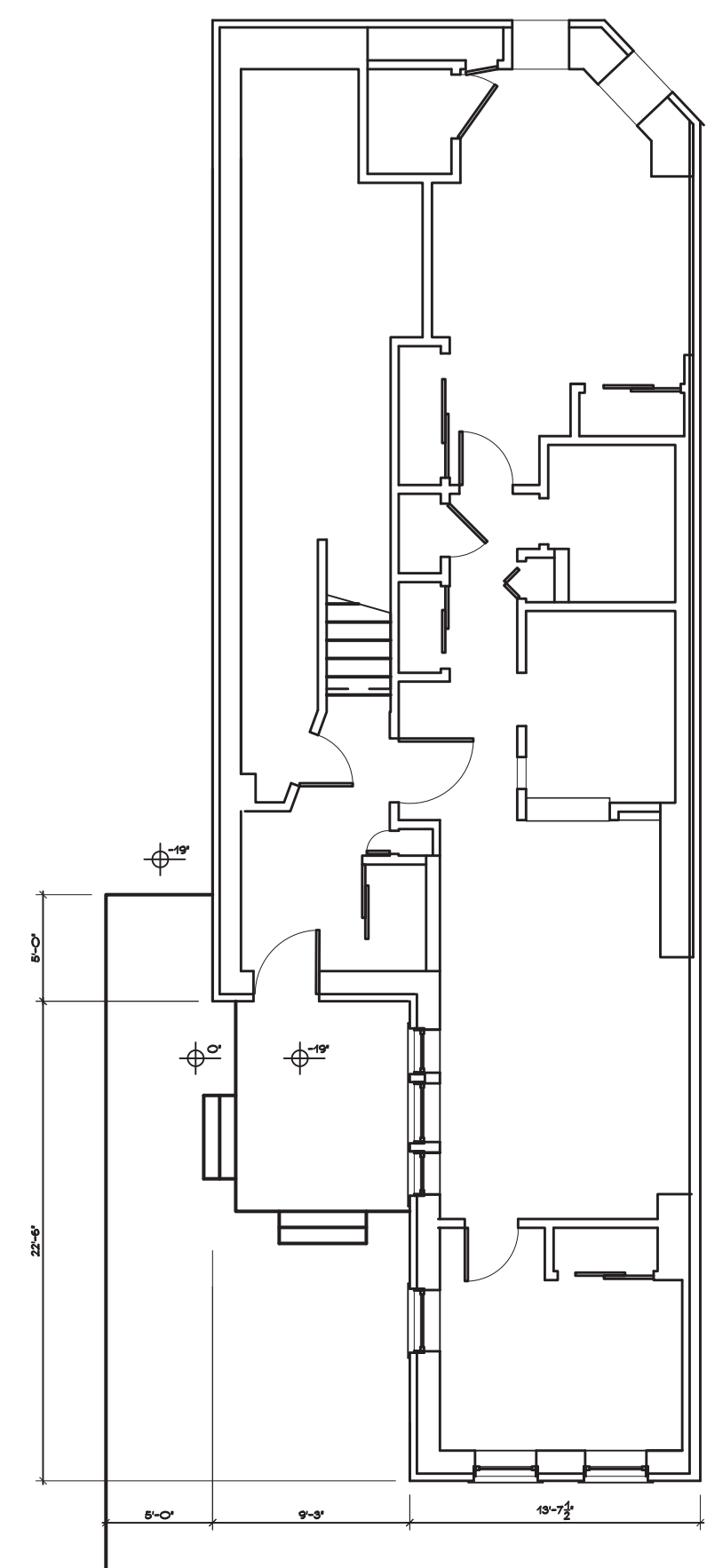
Date: 10/11/19

Project
30
Cumberland
 Boston MA

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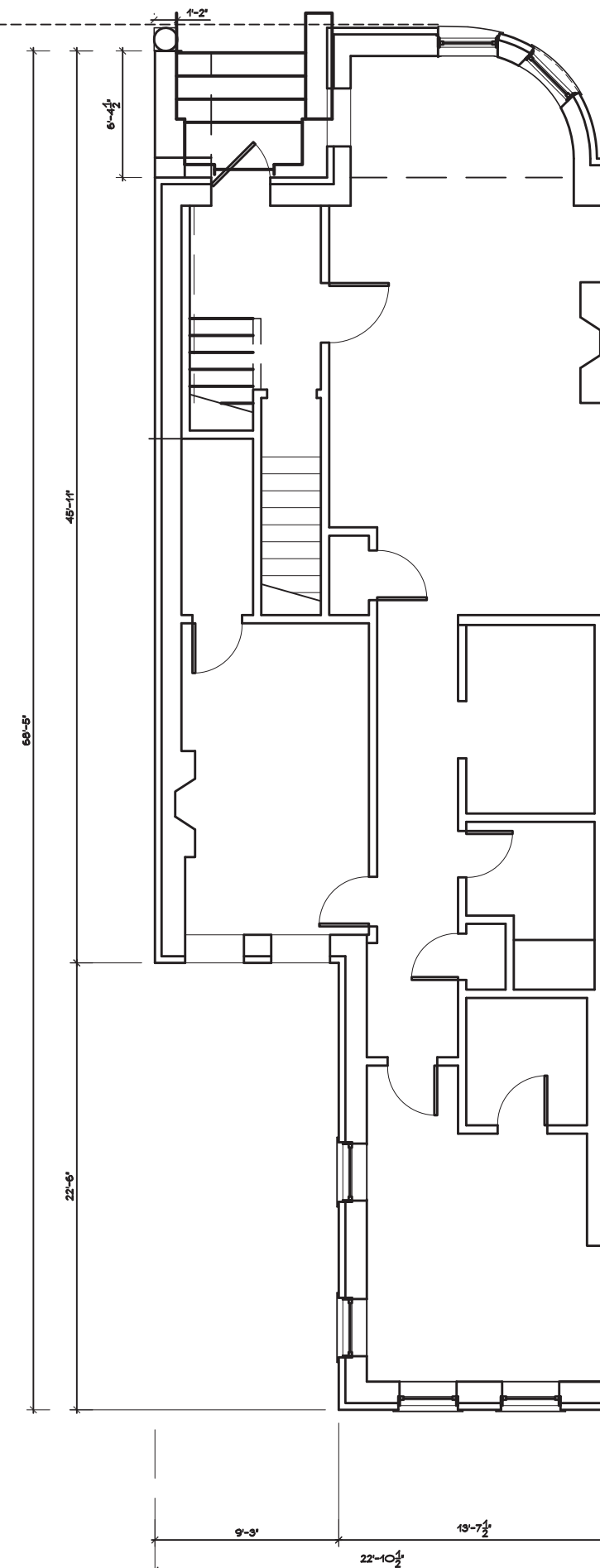


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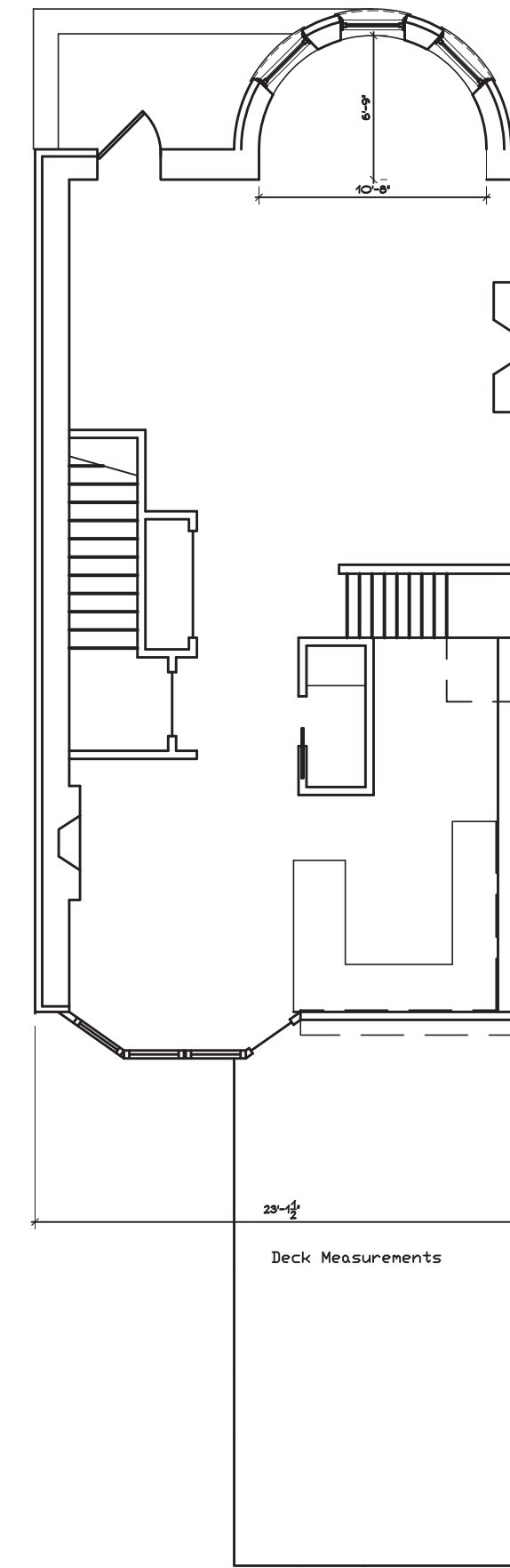
Walkout Plan Scale: 1/8" = 1'-0"

1



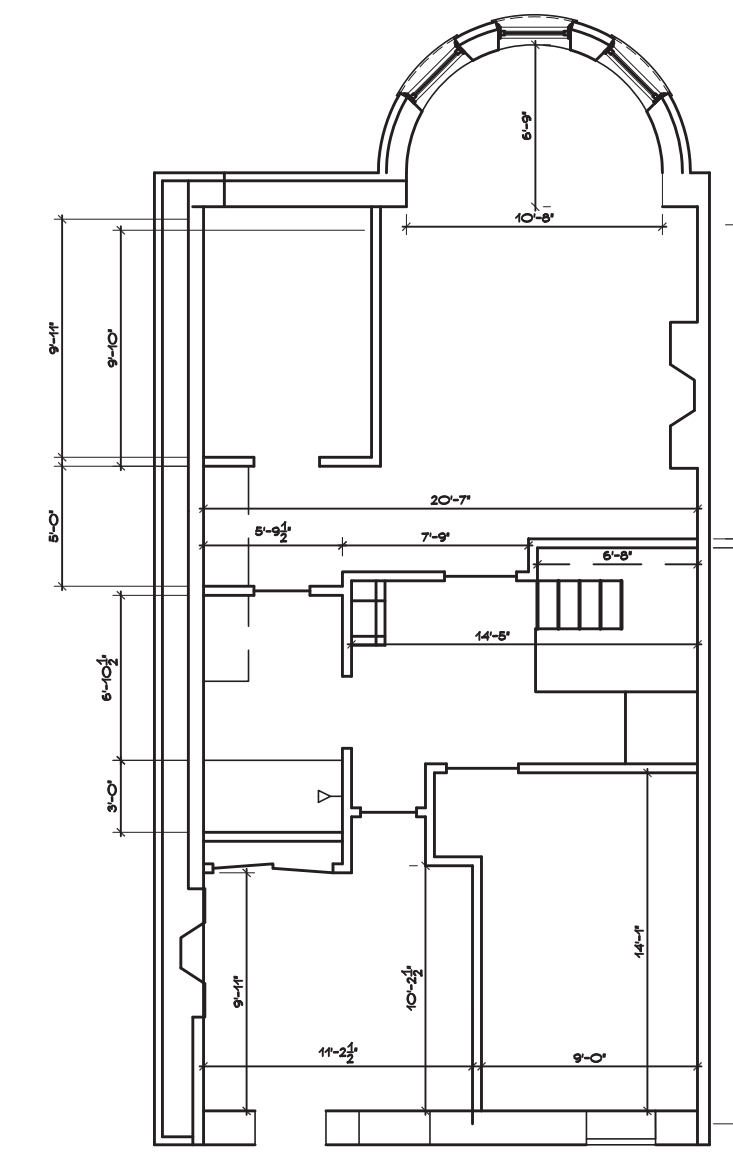
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2



Second Floor Plan Scale: 1/8" = 1'-0"

3



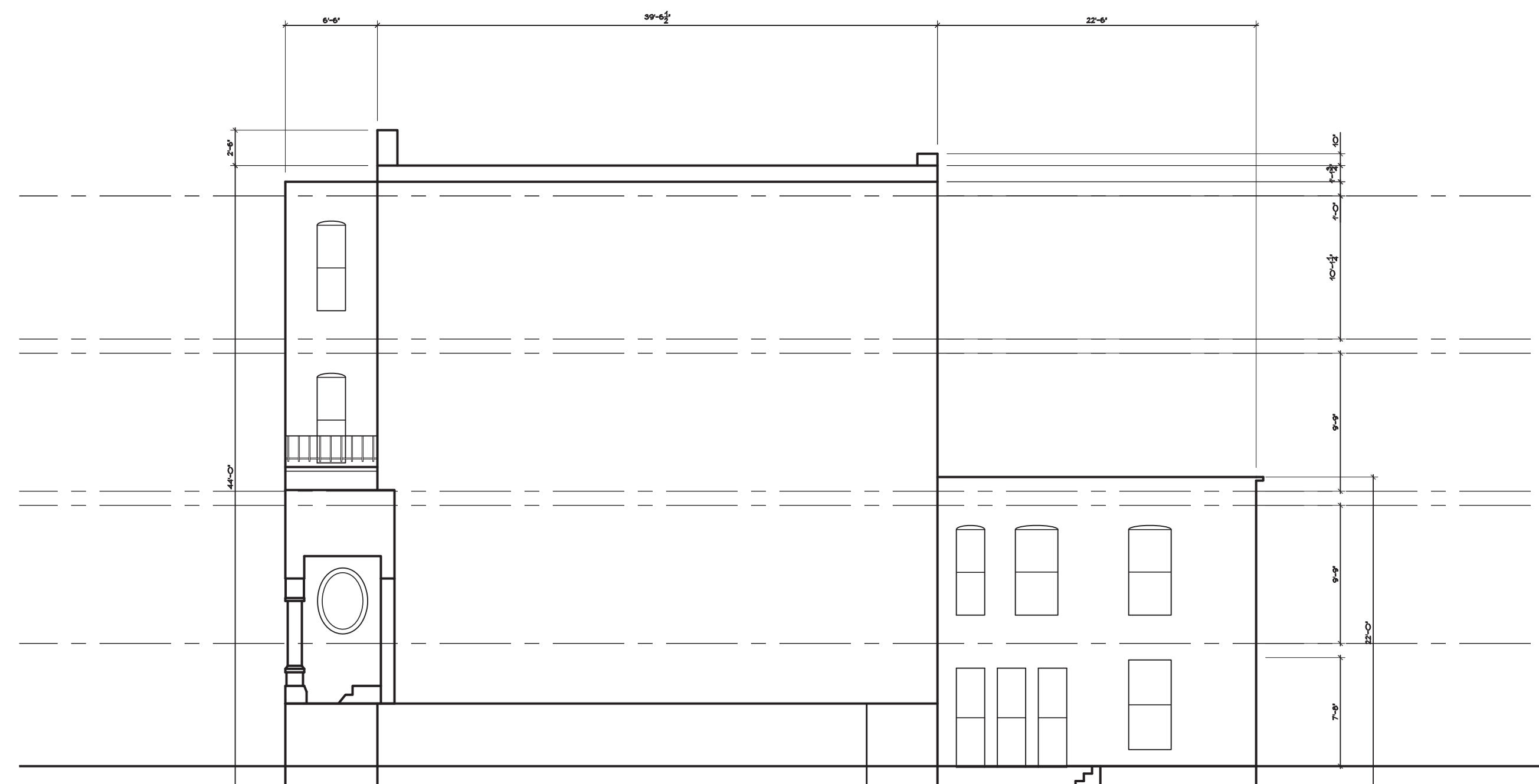
Third Floor Plan Scale: 1/8" = 1'-0"

4



Front Elevation Scale: 1/8" = 1'-0"

6



Side Elevation Scale: 1/8" = 1'-0"

7



Rear Elevation Scale: 1/8" = 1'-0"

5

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EXISTING

Drawing Title:

Drawn By: CG Checked By:

EC1-0

Drawing Number:

File Name: Scale: 1/8" = 1.0'

Date: 8/12/19



Existing Perspective

Not To Scale

1



Proposed Design Perspective

Not To Scale

2

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CONSTRUCTION DOCUMENTS

BUILDING PERSPECTIVES

Drawing Title:
 Drawn By: CT Checked By: GG

A0-1
 Drawing Number:

File Name: Scale: AS NOTED
 Date: 10/10/19



Existing Perspective

Scale: Not To Scale

1



Proposed Design Perspective

Scale: Not To Scale

2

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**30
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 Boston MA

All work on this drawing is subject to the terms and conditions of the contract documents. The drawings are prepared for the client and are not to be used for any other purpose without the written consent of the architect. The architect is not responsible for any errors or omissions in the drawings or for any consequences arising therefrom.



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No.	Date	By

CONSTRUCTION DOCUMENTS

BUILDING PERSPECTIVES

Drawing Title
 Drawn By: CF Checked By: CG

A0-2

Drawing Number
 File Name: Scale: AS NOTED
 Date: 10/14/19



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GAKIDIS + STEWART

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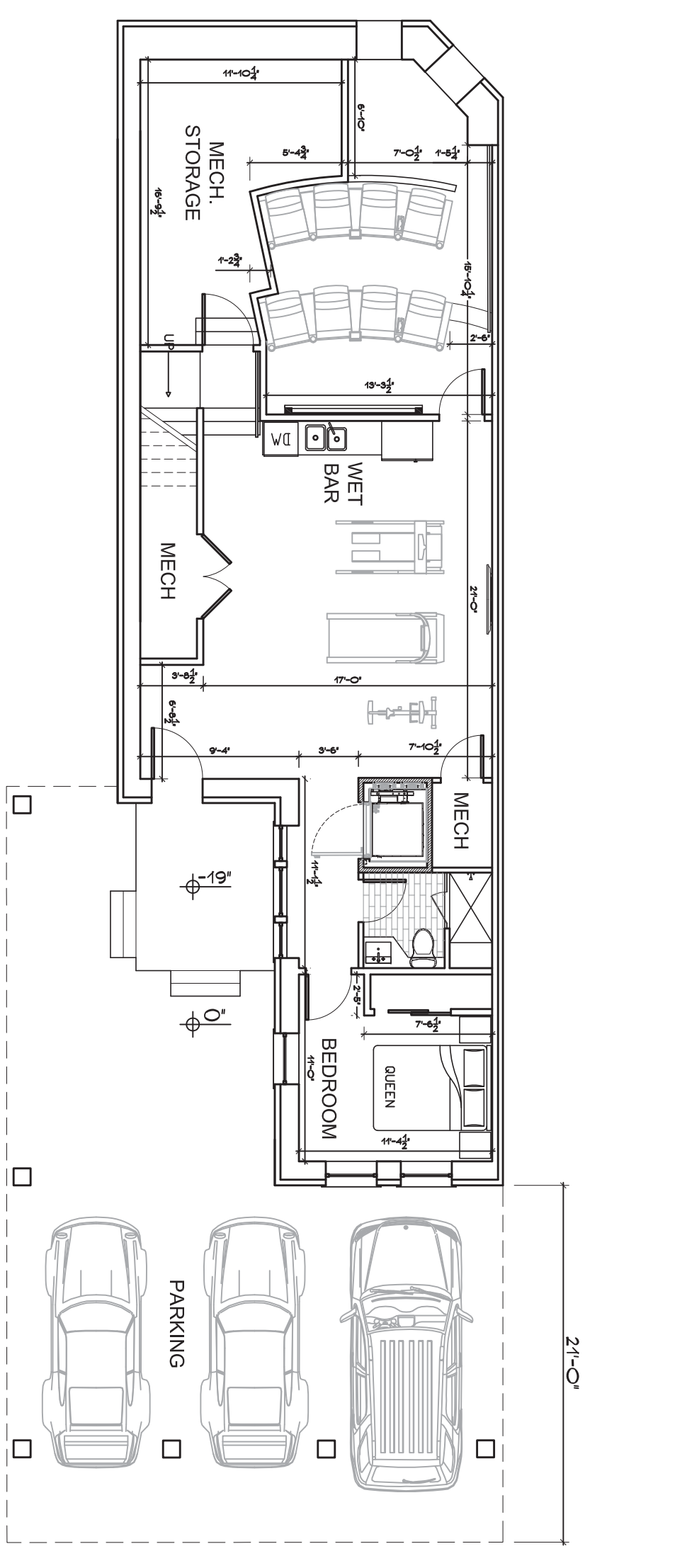
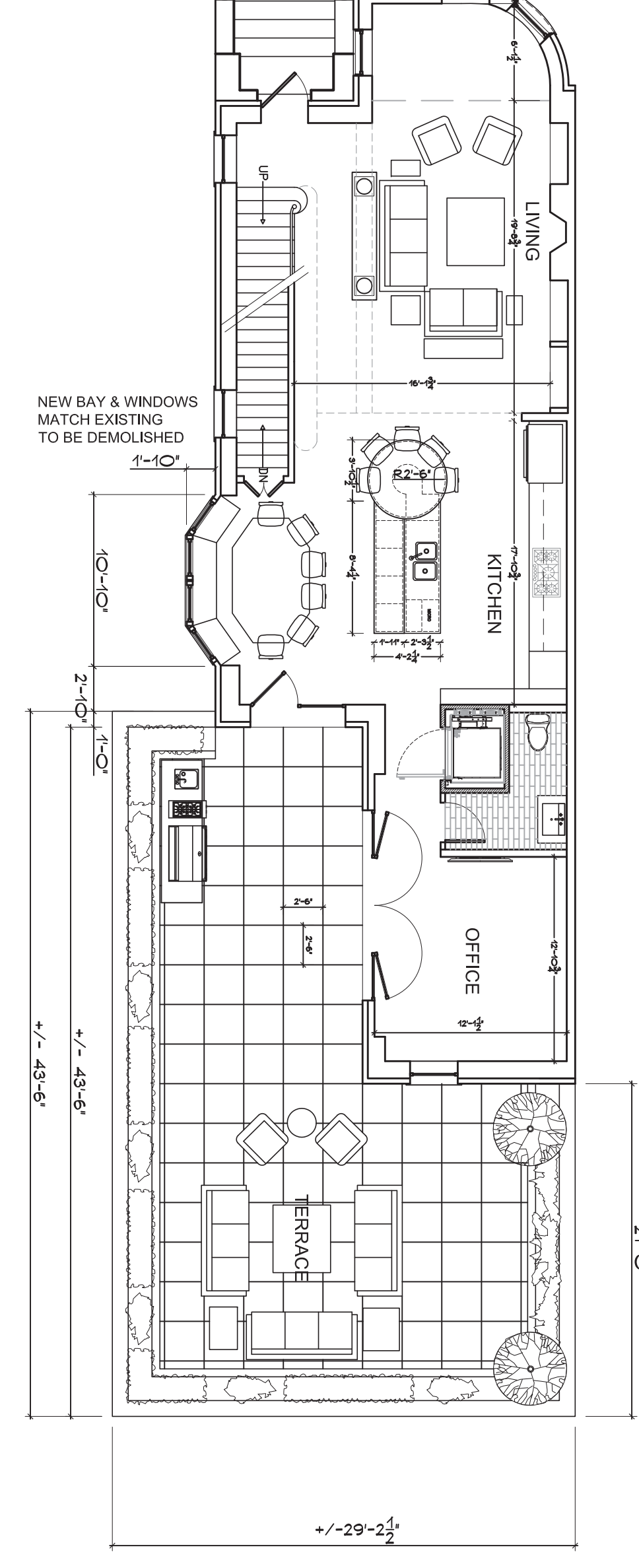
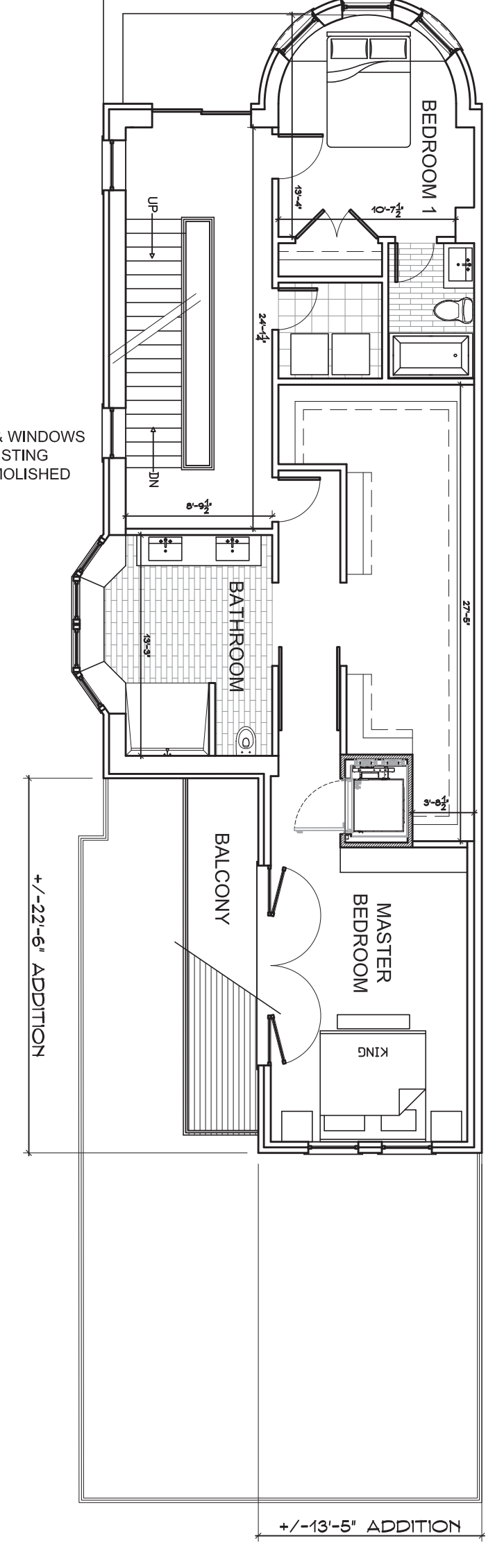
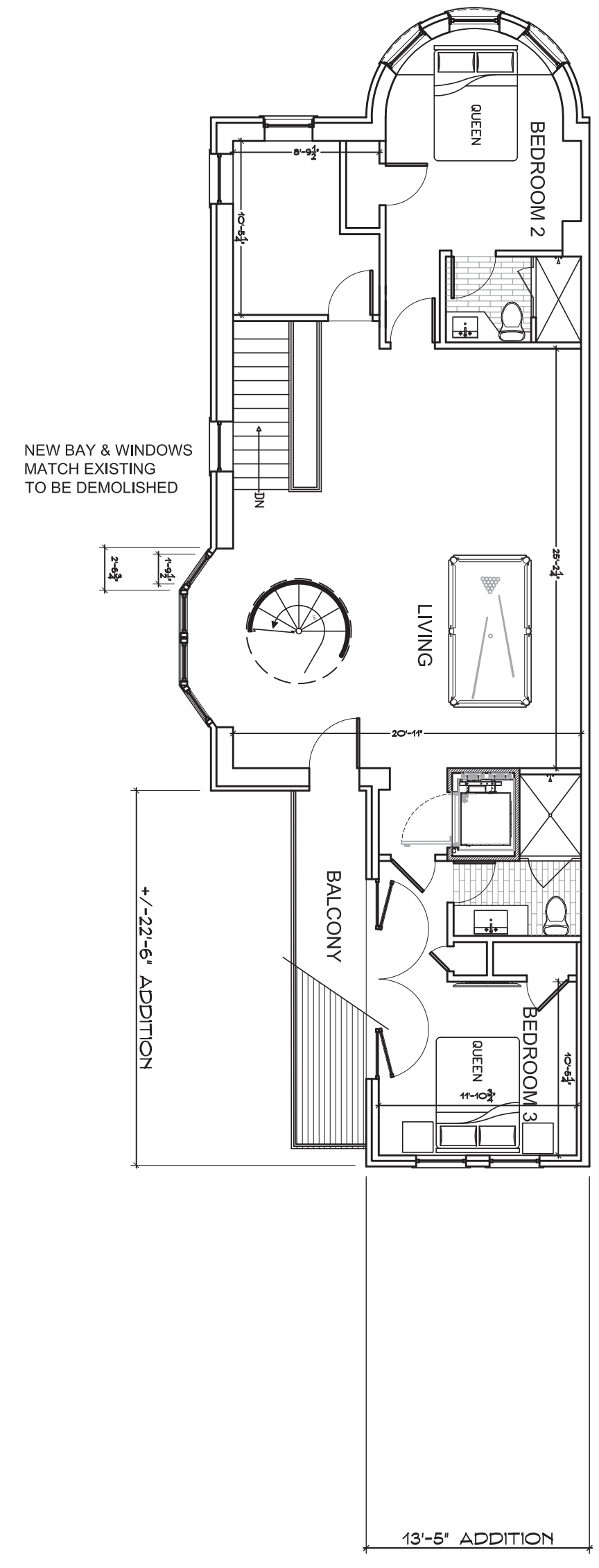
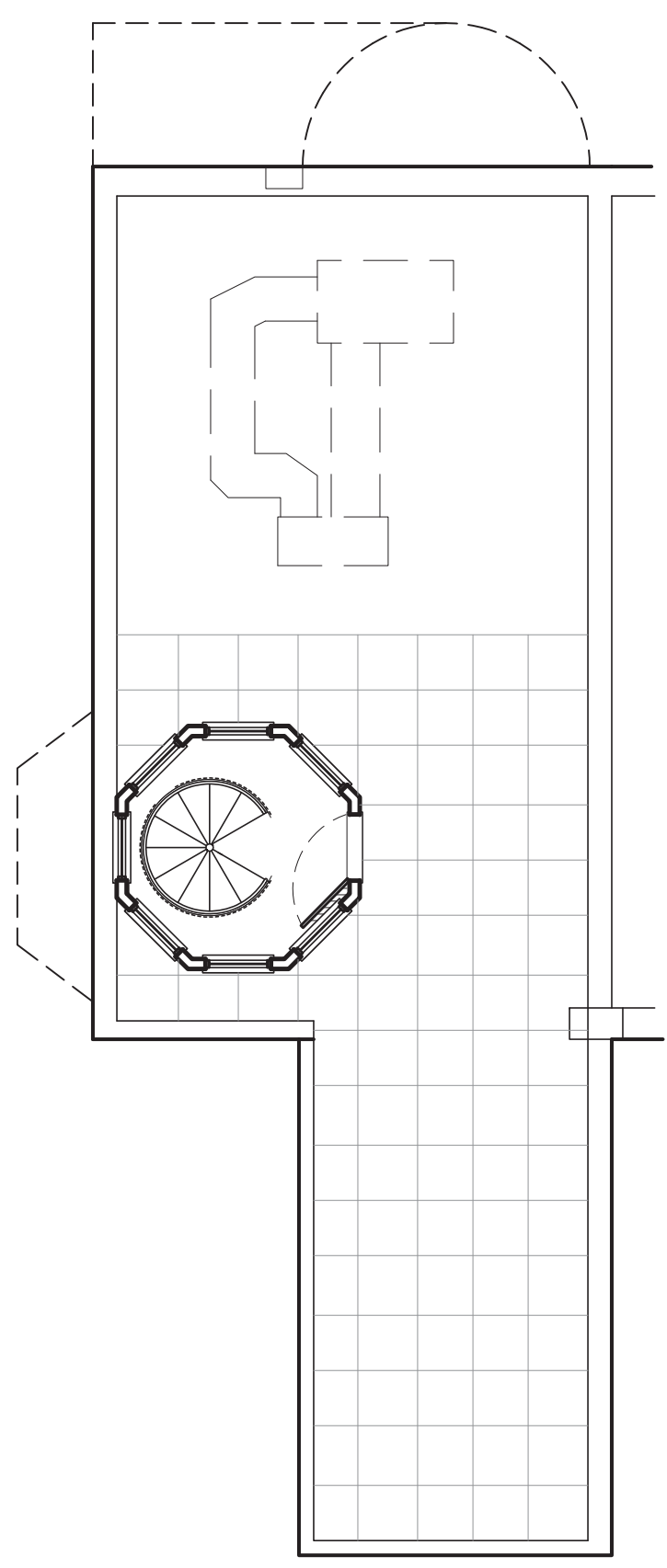
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PROPOSED FLOOR PLANS & ELEVATIONS

Drawing Title:
 Drawn By: CT Checked By: GG

A1-0

Drawing Number:
 File Name: Scale: AS NOTED
 Date: 10/11/19



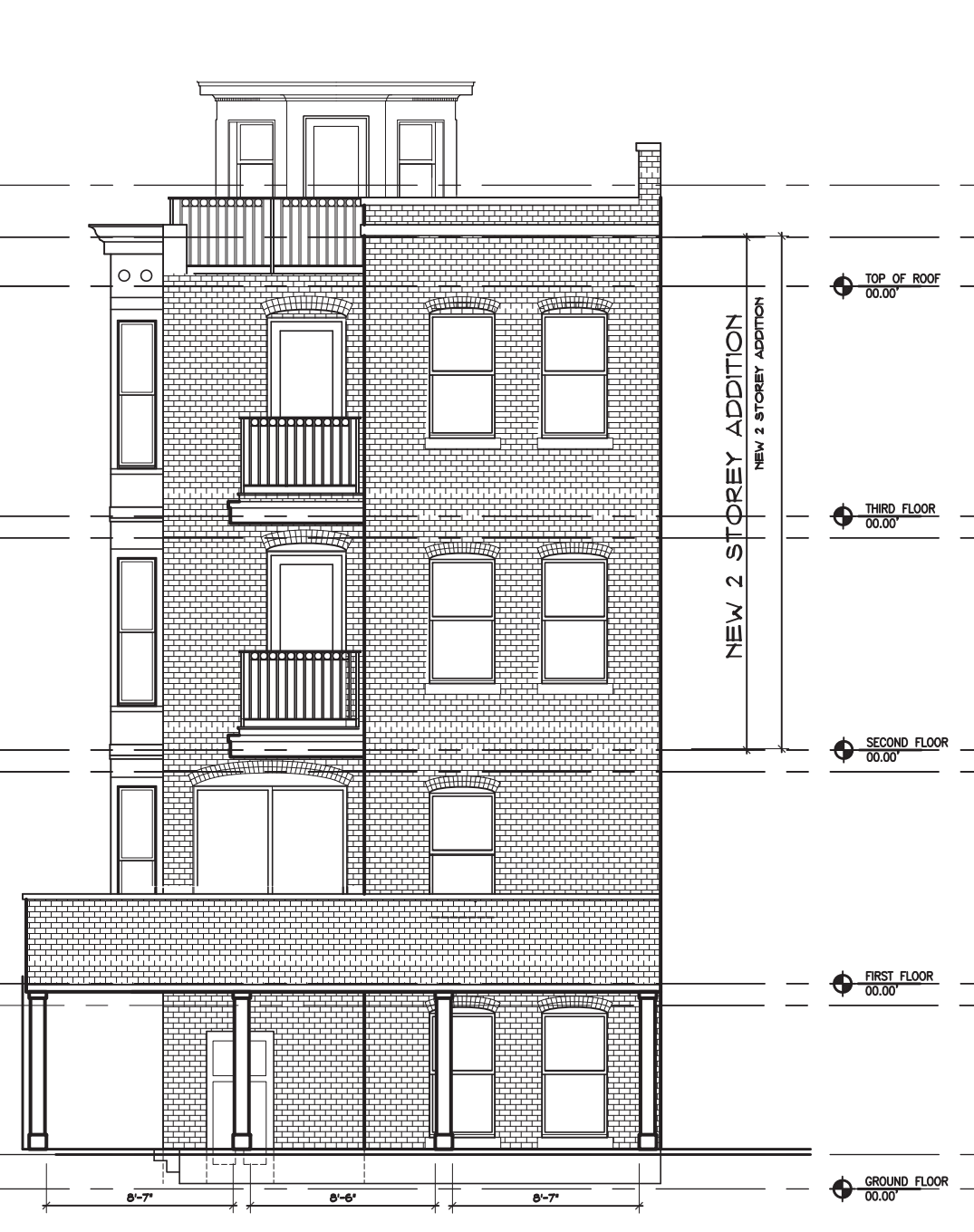
5 Roof Plan Scale: 1/8" = 1'- 0" **5**

4 Third Floor Plan Scale: 1/8" = 1'- 0" **4**

3 Second Floor Plan Scale: 1/8" = 1'- 0" **3**

2 First Floor Plan Scale: 1/8" = 1'- 0" **2**

1 Walkout Floor Plan Scale: 1/8" = 1'- 0" **1**



Rear Elevation Scale: 1/8" = 1'- 0" **8**



Side Elevation Scale: 1/8" = 1'- 0" **7**



Front Elevation Scale: 1/8" = 1'- 0" **6**

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Front Elevation

Scale: 3/16" = 1'- 0"

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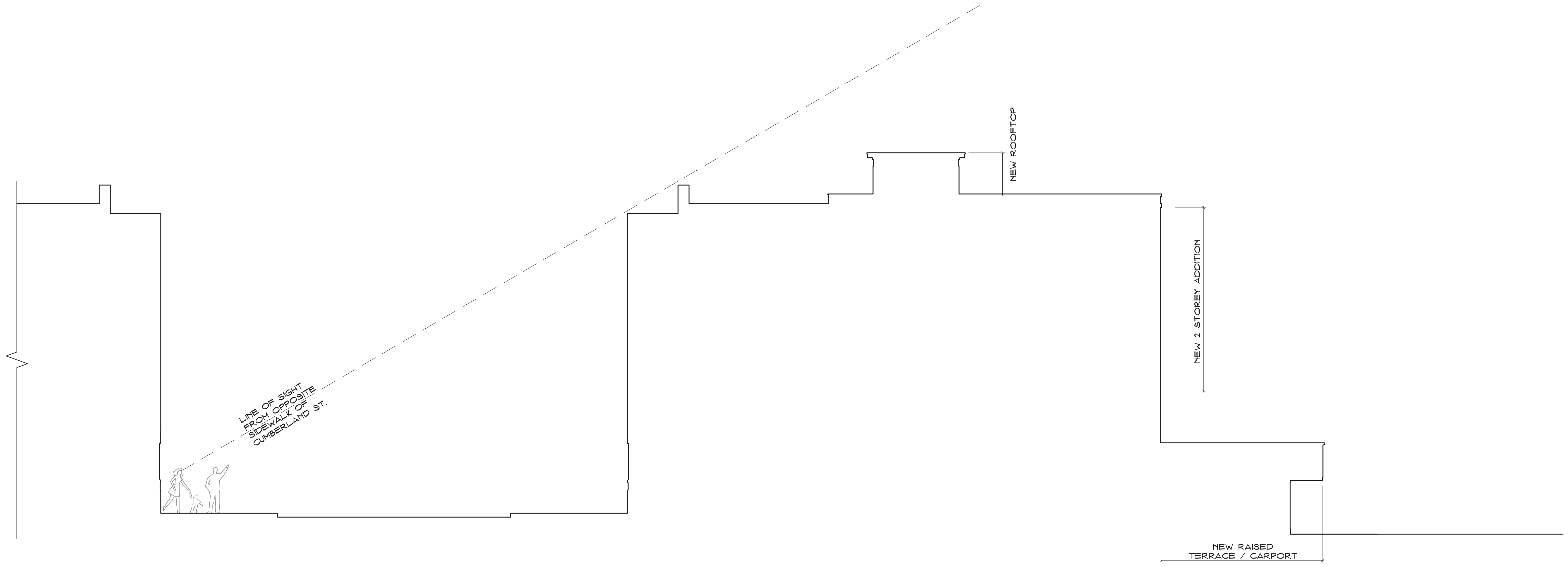
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**FRONT
 ELEVATION &
 LINE OF SIGHT**

Drawing Title:
 Drawn By: CT Checked By: GG

A2-0

Drawing Number:
 File Name: Scale: AS NOTED
 Date: 10/11/19



Line of Sight

Scale: 1/8" = 1'- 0"

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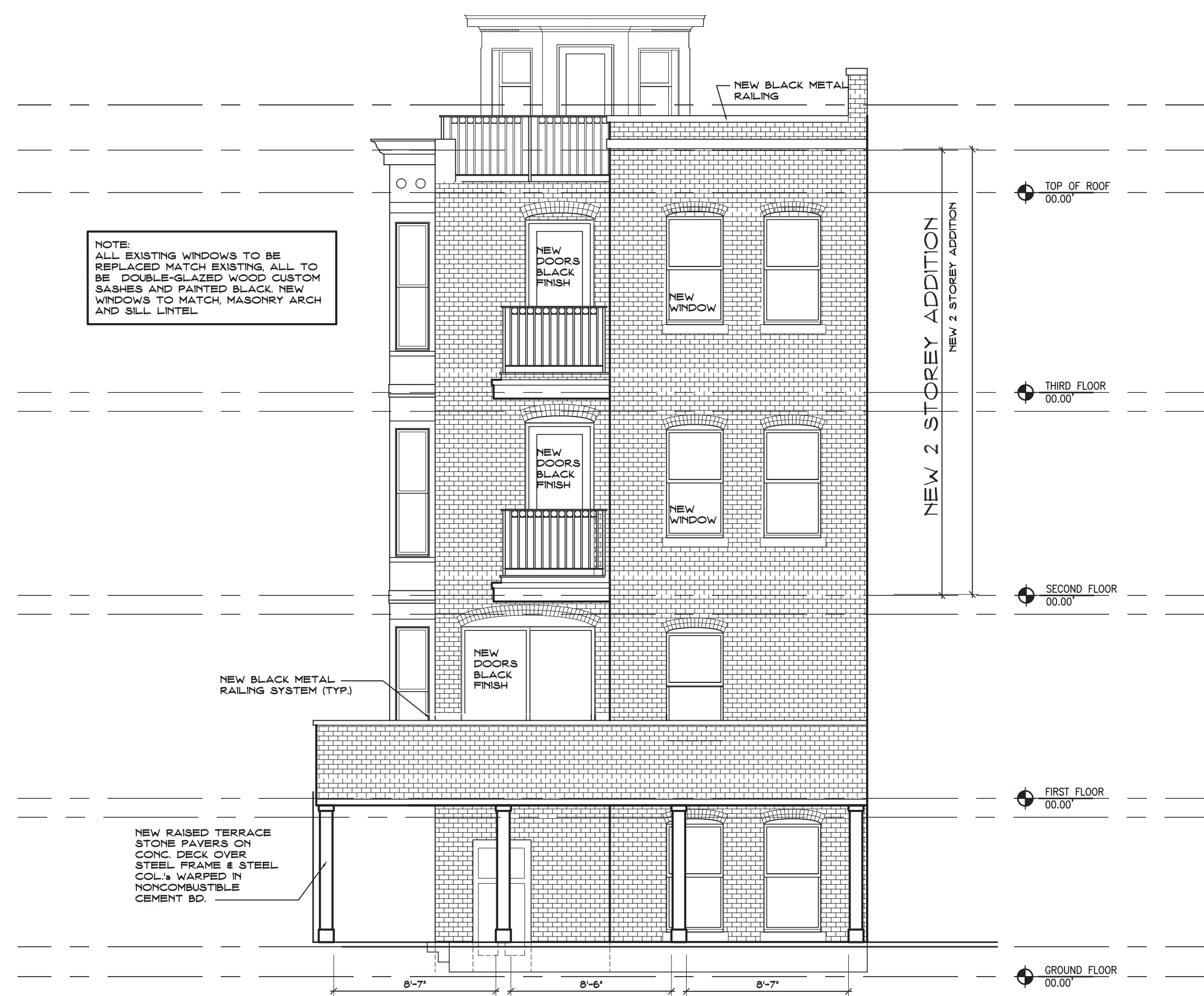
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**SIDE
ELEVATION**

Drawing Title:
Drawn By: CT Checked By: GG

A2-1
Drawing Number:

File Name: Scale: AS NOTED
Date: 10/11/19



NOTE:
ALL EXISTING WINDOWS TO BE REPLACED MATCH EXISTING. ALL TO BE DOUBLE-GLAZED WOOD CUSTOM SASHES AND PAINTED BLACK. NEW WINDOWS TO MATCH MASONRY ARCH AND SILL LINTEL.

NEW RAISED TERRACE
STONE PAVERS ON
CONC. DECK OVER
STEEL FRAME & STEEL
COLA WARPED IN
NONCOMBUSTIBLE
CEMENT BC.

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**REAR
ELEVATION**

Drawing Title:
Drawn By: CT Checked By: GG

A2-2

Drawing Number:
File Name: Scale: AS NOTED

Date: 10/11/19