

CONCEPTS

18 NEWBURY ST.
BACK BAY ARCHITECTURAL COMMISSION APPLICATION

JUNE 4TH 2019

Front facade

Existing Conditions

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Golden moldings

White cast metal

Golden cupolas

Black fabric canopy

3 piece bay windows

Black door

Beige painted steel canopy support

Black painted door frame and wood moldings

* Door, hardware, bay windows and canopy are not original to the building.

Historical references



Ludwig Furs built the building around 1927

18 Newbury St. - Picture was taken in the 1950's estimation

Source : https://dome.mit.edu/bitstream/handle/1721.3/34794/KL_001178_cp.jpg?sequence=2

Historical references



18 Newbury St, - Picture was taken between 1954 and 1959.

source : <https://www.flickr.com/photos/mit-libraries/3365057205/in/photostream/>

Existing situation



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Step 1 : Alignment with commercial street basilaria



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Step 2 : Division according to the architectural grid of the building



Proposal

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Proposal - Close-up

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Backlit white acrylic

Laser cut glass logo

Black steel frame

New large glass panel

New glass door with black steel frame

Black steel door handle

Black powder coated panels

Material References

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Black powder coated panels

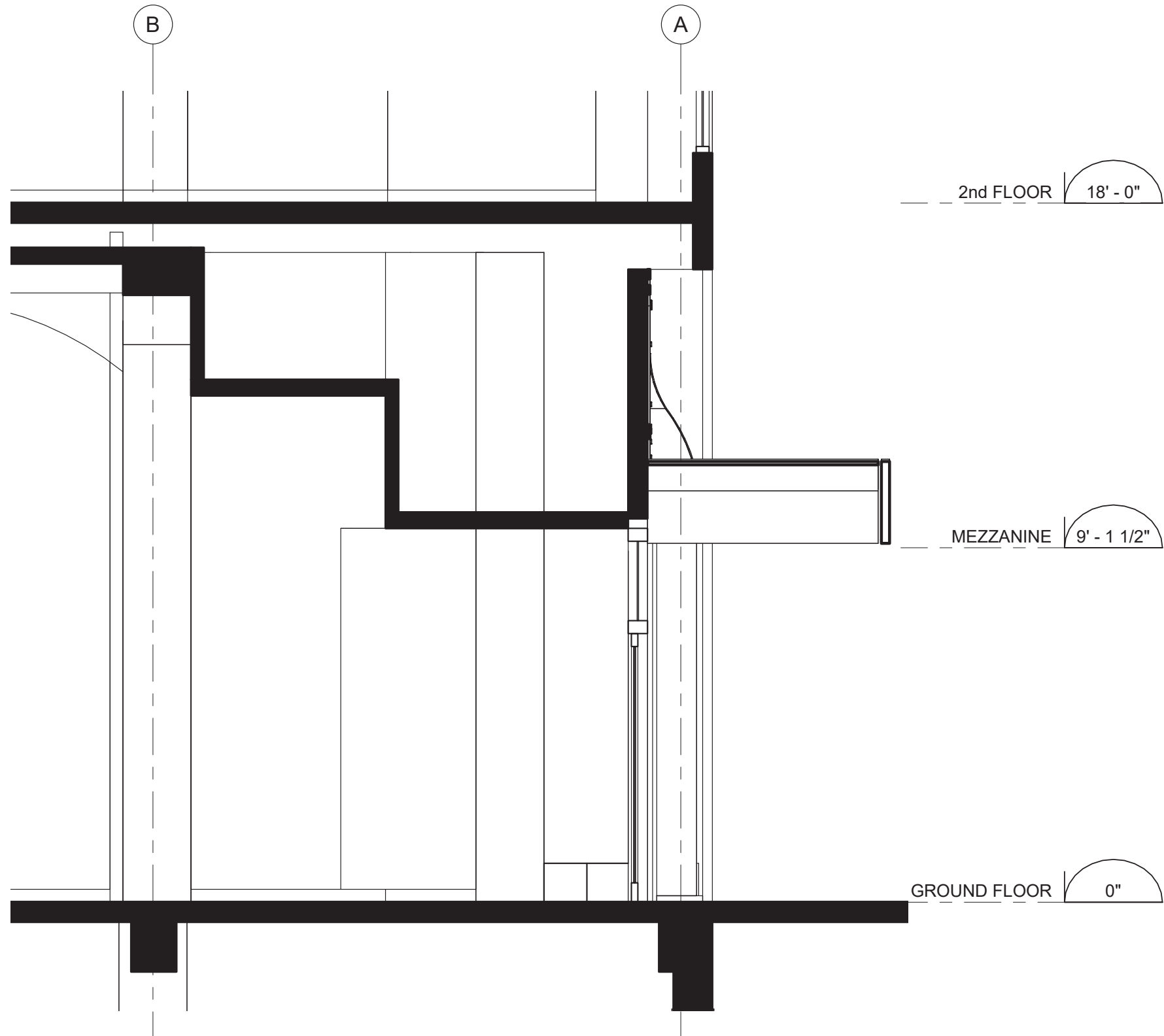


White backlit acrylic



Black powder coated panels

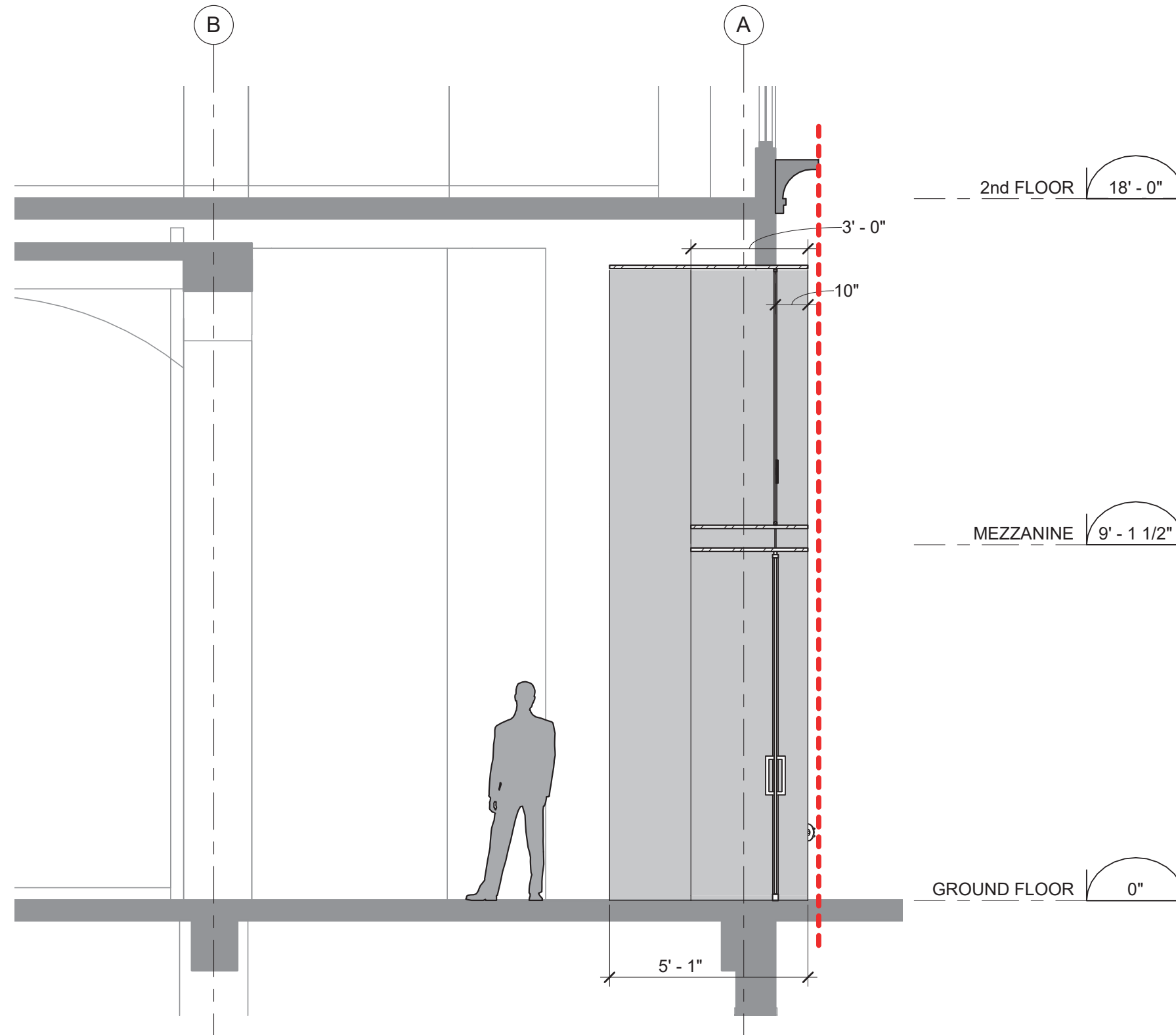
Facade Section - Existing situation



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Facade Section

Facade Section - Proposition



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Reasons behind the modification

1. Architectural design intents of the building :

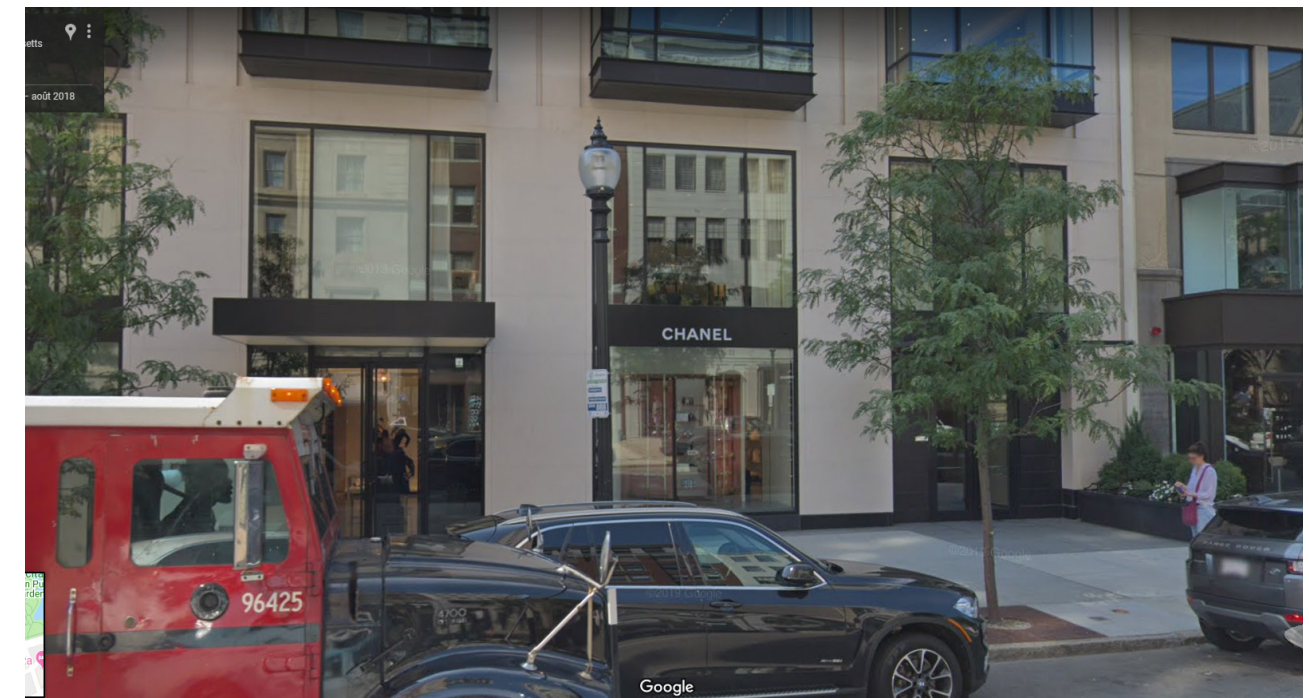
The building is composed of a series of stone pilasters organized on a regular and strict rhythm. Oppositely, the openings are delicate and with wide glass panels. The entire front facade of the building is designed following those intentions. This said, the current composition of the storefront does not respect the core design intents of the building. The cupolas, the black fabric canopy and the golden moldings are in contrast with the existing symmetrical quality of the facade and to a certain extent debalances the facade. With our renovation, we aim to be coherent with the strong symmetry of the building, to preserve the strength of the stone pilasters and to add transparency to the entrance. The integration of the steel plates as dividers for the front entrance are a subtle contemporary addition to the patrimonial building, but also elements that reinforce the symmetry and existing lines of the building.



Reasons behind the modification

2. Coherence with the urban context :

The adjacent commercial facades and store fronts next to 18 Newbury street have, in a lot of cases, tall windows with a more contemporary treatment for exterior finishes and general design. With our renovations, we are striving to integrate the facade into the existing urban fabric and speak to the commercial context that is at the base of the surrounding buildings. By enlarging the glass openings, we are also bringing more visibility to the activities inside the store, adding more life to an already vibrant street.



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Reasons behind the modification

3. Authenticity of the cupolas :

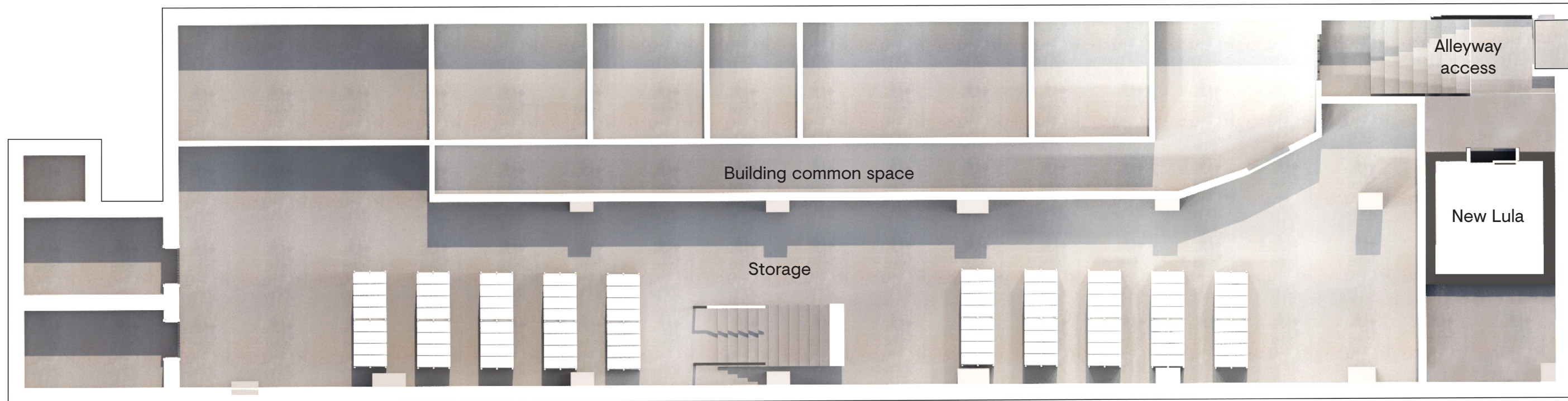
The architectural language and style of the islamic cupolas are not part of the core identity of Boston architecture and neither of the Newbury Street urban fabric. Even though we could not find a picture of the building the year it opens, we believe those arches are not an essential part of the original design and that they could easily be remove without impacting the integrity of the original design intents of the building.

City building permit records to show the building was built in 1927 by Benjamin H. Ludwig, whos family operated a furrier store until about 1984 when the Ann Taylor store was built on 1st and mezzanine. They expanded to the second floor in 1987.

We found photos back from 1943, but our impression is this facade, although totally out of context is original. We did not find any permits that document a facade alternation, except for awning and doors added, and stone window bases removed. The 1927 building permit lists the architect as F.A Norcross.



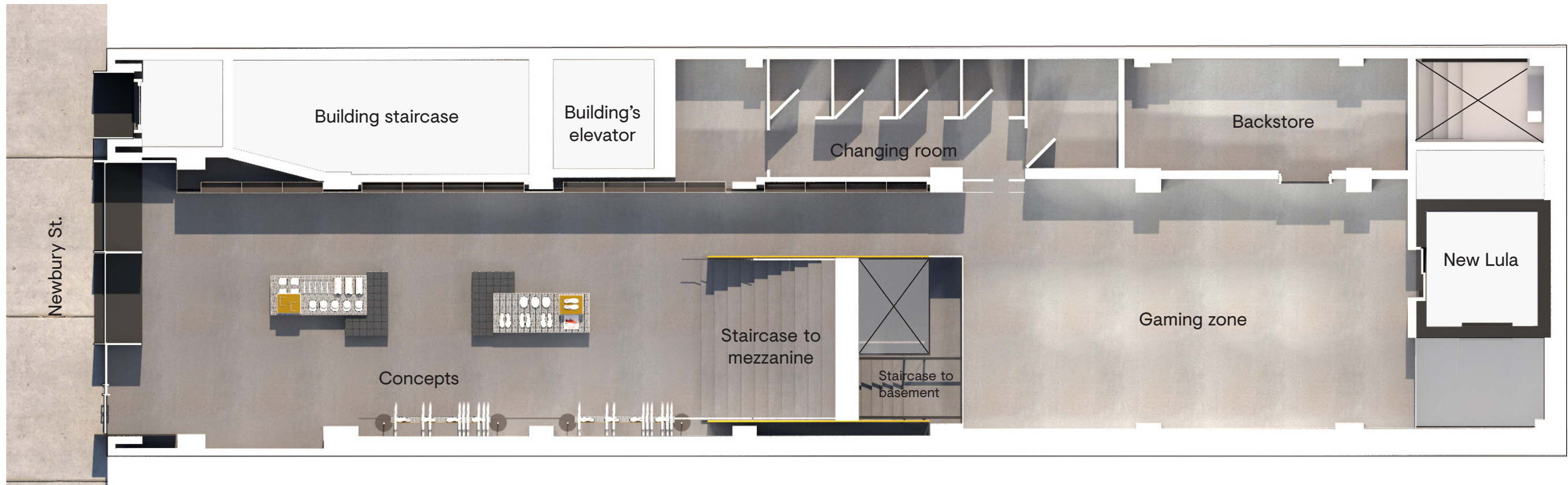
Basement lay-out



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Ground Level lay-out

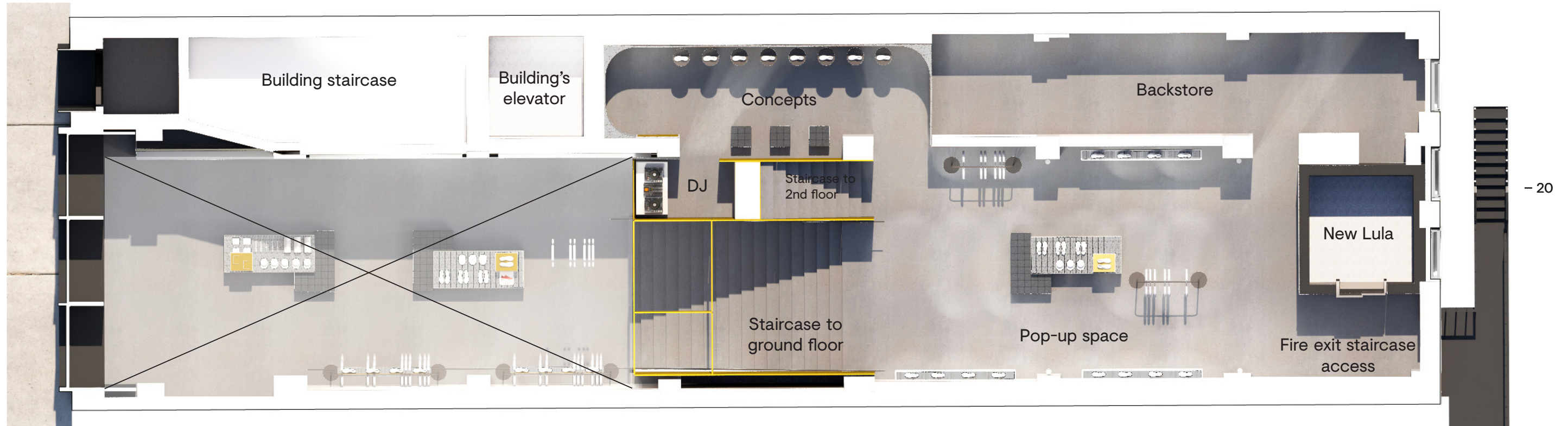
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Public Alley 438

Mezzanine lay-out

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- 20

Second floor lay-out



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Rear facade

PUBLIC ALLEY #438

Existing Street Level Situation

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Remove exposed emergency light and conduit and provide new with concealed conduit.

Black painted fire staircase

Remove wood D.H windows

Red brick

HVAC piping will be removed

Black steel door

Concrete wall

Refasten and make safe utility cables.

Steel bars

Existing Rear Facade

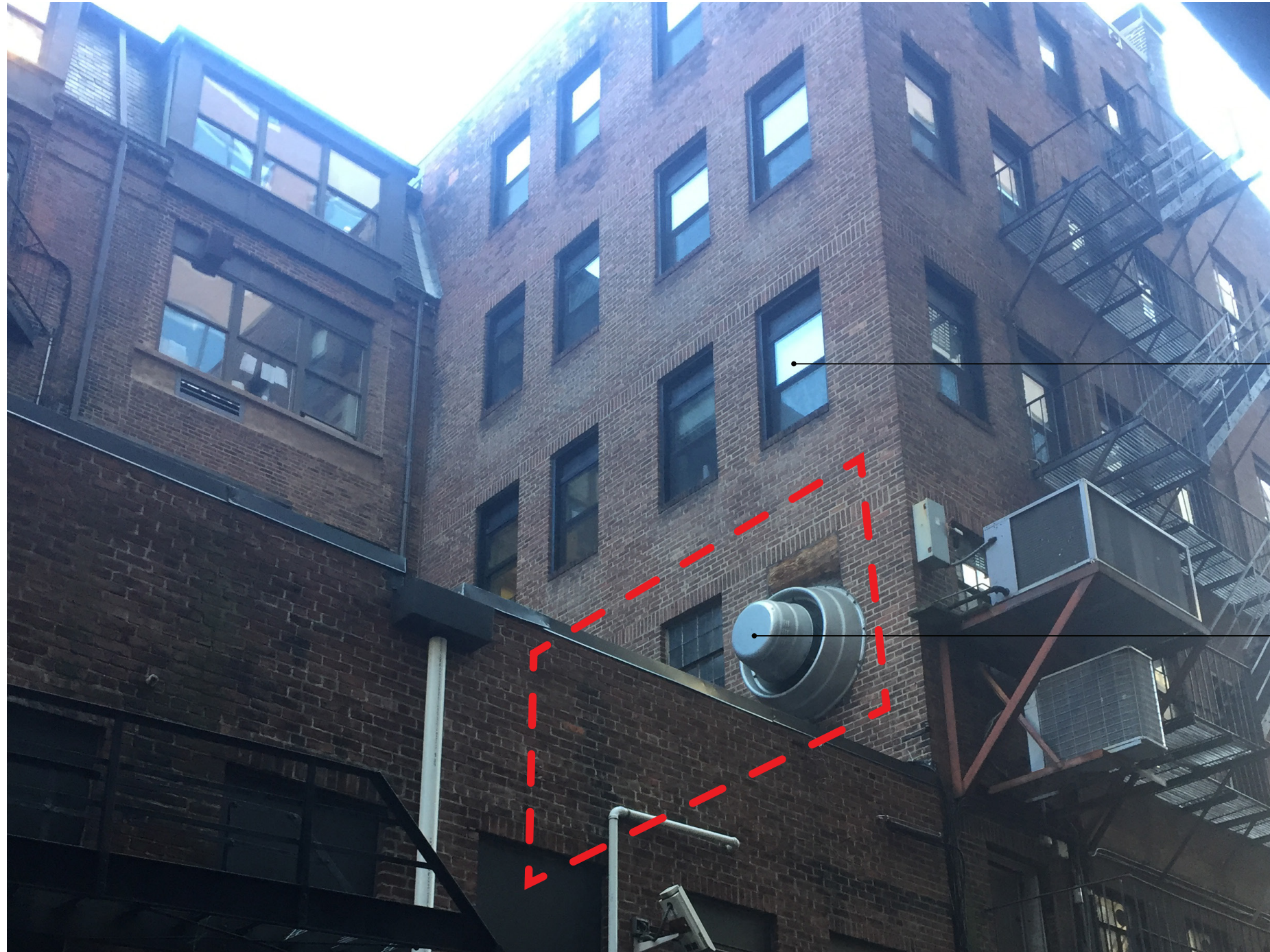


Existing D.H Aluminium windows N.I.C

Steel casement windows

Upper facade

Existing Rear Facade



Existing D.H Aluminium windows N.I.C

Remove fan and remove (4) windows.
Replace with fire rated windows.

Zero Lot Line Windows

Existing Rear Facade



Street Level Windows

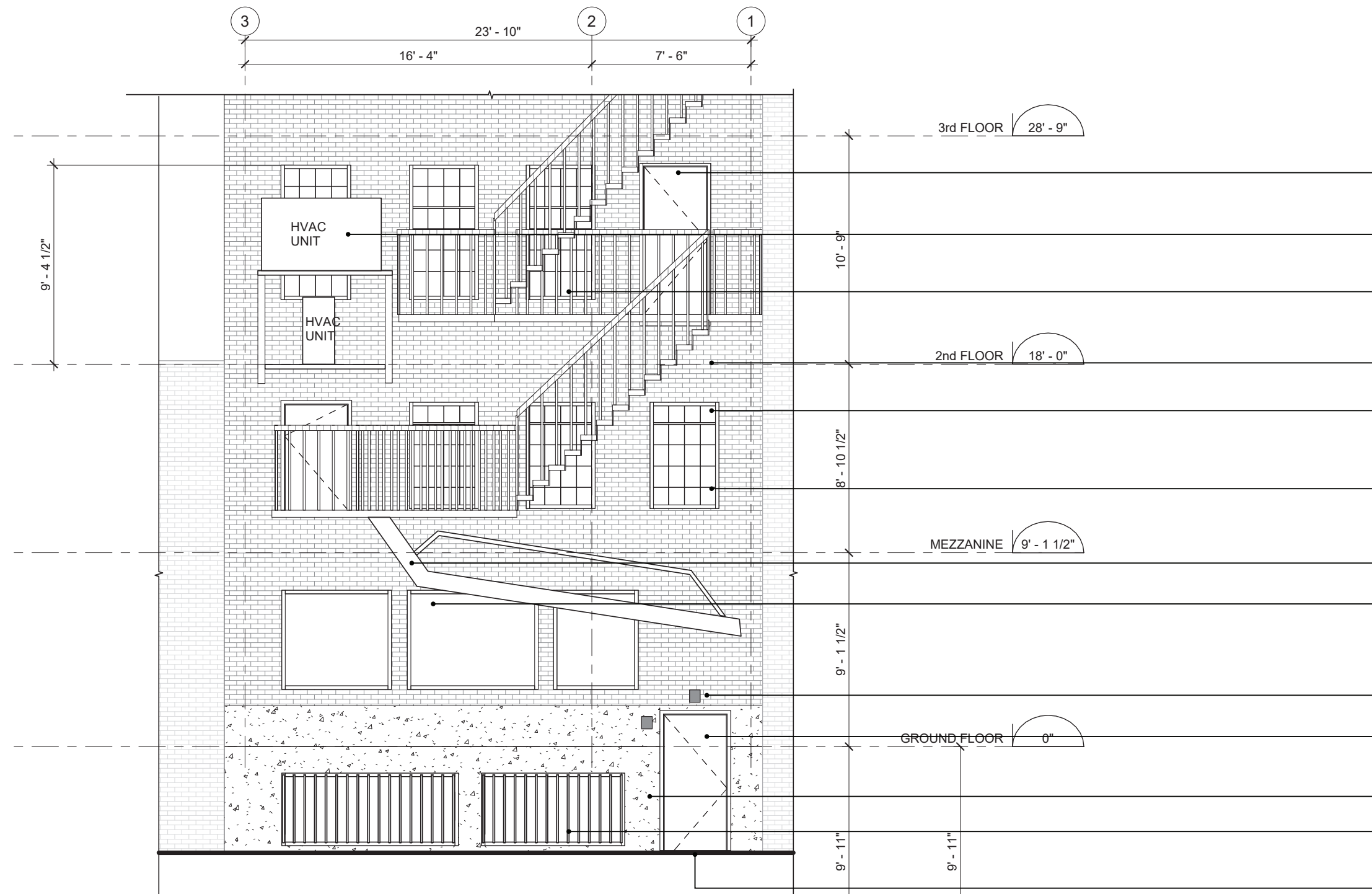


Steel Casements - 1st, Mezz, & 2nd TYP.

Remove louvers, broken windows and wood infills

Proposal - Rear Elevation

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Replace existing door with black steel door

Existing HVAC units may likely get removed

Refurbish existing casement steel and wireglass windows

Conserve red brick

Refurbish existing casement steel and wireglass windows at mezzanine and 2nd level

New fresh air intake louvers with black paint

Conserve black steel staircase

New glass windows with black steel frame to replace existing steel bars. Repair brick as required.

New security lighting

Replace existing door with black steel door

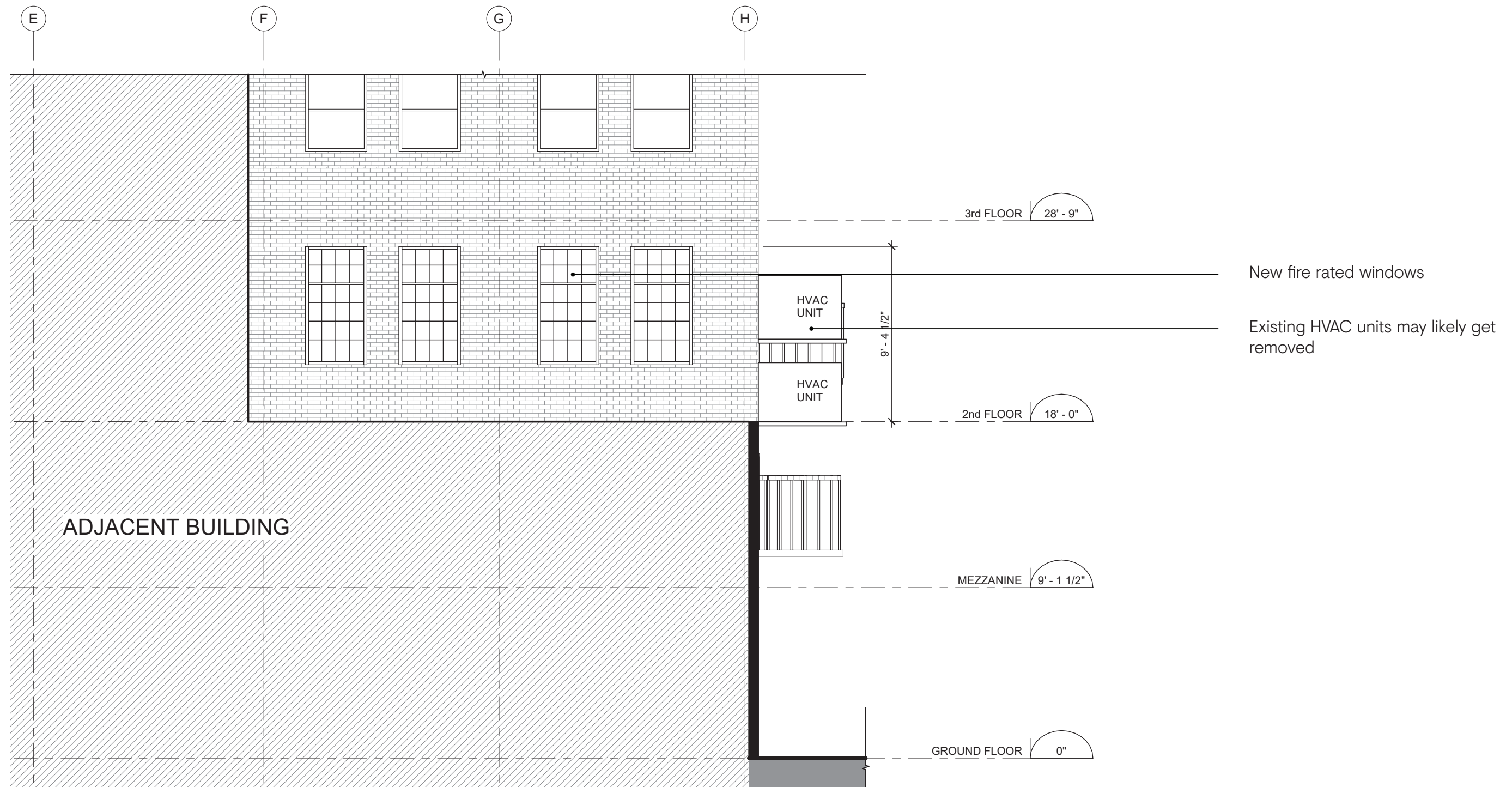
Conserve concrete walls

Replace steel bars, broken windows, and HVAC louvers with new black insulated panel

Make the door accessible from the sidewalk.

Proposal - Side Elevation

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Thank you