



Christopher J Barry  
architect leed ap

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4 WALNUT ST #PH, Boston MA 02108  
roof deck replacement

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23 April 2019 PERMIT SET

**GENERAL NOTES:**

**BIDDING:**

- EACH BIDDER SHALL BE DEEMED TO HAVE THOROUGHLY EXAMINED THE SITE AND CONTRACT DOCUMENTS AND HAVE SEEN ALL FACTS AND CIRCUMSTANCES REASONABLY OBSERVED BY AN EXPERIENCED CONTRACTOR VISITING THE SITE FOR THE PURPOSE OF PREPARING AND SUBMITTING A BID. BY SUBMITTING HIS BID, THE BIDDER AGREES THAT THE INFORMATION PROVIDED BY THE CONTRACT DOCUMENTS IS ADEQUATE FOR ESTABLISHING A BID PRICE AND THAT THE INTENDED RESULT CAN BE PRODUCED FOR THE PRICE SUBMITTED.
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS PRIOR TO THE SUBMISSION OF A BID AND REPORT TO THE ARCHITECT AND OWNERS DISCREPANCIES THAT WOULD PREVENT SUBMISSION OF AN INCLUSIVE BID FOR THE WORK AS SEEN ON THE CONTRACT DOCUMENTS (DRAWINGS).
- ALL THE WORK IS TO REFLECT MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY.

**GENERAL:**

- THE CONTRACTOR SHALL SUBMIT A PROJECT SCHEDULE PRIOR TO THE START OF THE WORK. IT SHALL INDICATE THE PROPOSED START DATE, MILESTONES AND PROPOSED COMPLETION DATE. IT SHALL ALSO INDICATE ANY ACTION ITEMS OR DECISIONS REQUIRED OF THE OWNER.
- THE WORK TO BE PERFORMED UNDER THIS CONTRACT, WITHOUT LIMITING THE GENERALITY THEREOF, CONSISTS OF THE WORK AS SHOWN ON THESE DRAWINGS.
- THE CONTRACT DOCUMENTS CONSIST OF THE DRAWINGS, ADDENDA AND CONSTRUCTION CHANGE DIRECTIVES AND ISSUED SKETCHES. SHOP DRAWINGS ARE NOT CONTRACT DOCUMENTS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PAYING AND OBTAINING ALL PERMITS, INSPECTIONS, REQUIRED TEST AND UTILITY CONNECTIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR AND EACH SUB CONTRACTOR SHALL OBTAIN AND PAY FOR THE REQUIRED INSPECTIONS AS REQUIRED BY CODE.
- THE GENERAL CONTRACTOR SHALL WARRANT THE WORK PERFORMED FOR A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- THE TERM "CONTRACTOR" SHALL MEAN THE GENERAL CONTRACTOR AND ANY SUB-CONTRACTOR WORKING ON THE PROJECT SITE.
- THE CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT ANY STREET, ALLEY, DRIVE OR WALK. NO MATERIAL SHALL BE PLACED OR STORED IN STREETS, ALLEYS, DRIVES OR WALKS UNLESS DIRECTED BY OWNER.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A CERTIFICATE OF INSURANCE
- THE CONTRACTOR SHALL VERIFY DIMENSIONS AND JOB CONDITIONS PRIOR TO THE START OF THE WORK AND REPORT TO THE ARCHITECT AND OWNERS DISCREPANCIES THAT WOULD INTERFERE WITH SATISFACTORY COMPLETION OF THE WORK.
- ALL THE WORK IS TO REFLECT MATERIALS AND WORKMANSHIP OF THE HIGHEST QUALITY.
- SHOULD THE PROJECT BE IN A CONDOMINIUM, THE CONTRACTOR SHALL BE SUBJECT TO THE RULES AND REGULATIONS OF THE CONDOMINIUM.

**DEMOLITION & CONSTRUCTION NOTES:**

- IT IS THE INTENT OF THIS PROJECT THAT THE DEMOLITION AND CONSTRUCTION STAGES PRODUCE MINIMAL DISRUPTION TO THE FUNCTIONS OF THE BUILDING AND ITS OCCUPANTS. THE CONTRACTOR SHALL COORDINATE THE TIMING OF DEMOLITION AND CONSTRUCTION OPERATIONS WITH THE OWNER(S).
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DEMOLITION AND CONSTRUCTION SEQUENCING, METHODS AND TECHNIQUES.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO IDENTIFY AND PROTECT ANY AREA WHERE DEMOLITION IS TO TAKE PLACE WHERE DEMOLITION CREATES A PHYSICAL SAFETY HAZARD.
- THE CONTRACTOR SHALL CONFINE HIS APPARATUS, STORAGE OF MATERIALS AND OPERATIONS OF HIS WORK AS REQUIRED AND DESIGNATED BY THE OWNERS. HE SHALL KEEP THE EXITS CLEAR OF DEBRIS, STORED MATERIALS, ETC., AT ALL TIMES TO PROVIDE EGRESS FROM THE BUILDING.
- THE PREMISES SHALL BE MAINTAINED IN SAFE, ORDERLY CONDITION AT ALL TIMES. THE CONTRACTOR SHALL REMOVE DEBRIS DAILY AND COVER DUMPSTER WITH FIRE PROOF TARPS SECURELY FASTENED TO PREVENT VANDALISM. THE CONTRACTOR SHALL PROVIDE DUMPSTERS AND OR DAILY TRASH REMOVAL AS PART OF HIS BID AND SHALL COORDINATE THE LOCATION WITH THE OWNERS. ALL TRASH SHALL BE DISPOSED OF IN A LEGAL MANNER.
- IN THE EVENT THAT ANY PORTION OF THE WORK SUPPLIED BY THE CONTRACTOR AND HIS SUB CONTRACTORS WILL DISTURB AND OR DISRUPT ANY OTHER OPERATIONS IN THE BUILDING, THE CONTRACTOR WILL MAKE ARRANGEMENTS WITH THE OWNERS TO CONDUCT THE WORK AT A TIME AGREED UPON BY THE AFFECTED OPERATIONS AND OR PARTIES. ANY AND ALL SUCH WORK AND RELATED CIRCUMSTANCES SUCH AS POWER SHUT DOWNS, PIPING, CABLING, FIRE ALARM, ETC., WILL BE COORDINATED WITH ALL AFFECTED OPERATIONS, OWNERS AND GOVERNING AGENCIES HAVING JURISDICTION OVER THE AFFECTED WORK CATEGORIES.
- UNLESS OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS AS BEING NOT IN CONTRACT (NIC) OR EXISTING; ITEMS, MATERIALS AND INSTALLATION OF THE SAME ARE A PART OF THE CONTRACT DEFINED BY THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE AND INSTALL ACCESSORIES, COMPONENTS AND ASSEMBLIES REQUIRED FOR THE WORK SHOWN.
- ANY DAMAGE TO EXISTING WORK WHICH IS NOT SCHEDULED FOR REMOVAL OR REPLACEMENT, IF CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTORS EXPENSE. IN THIS EVENT THE OWNER SHALL DETERMINE WHETHER AN ITEM OR ASSEMBLY IS TO BE REPAIRED OR REPLACED.
- IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWINGS OR SPECIFICATIONS THE ARCHITECT AND OWNERS SHALL BE NOTIFIED AND THE COSTLIER OR MORE RESTRICTIVE CONDITIONS SHALL BE DEEMED THE CONTRACT REQUIREMENTS, UNLESS OTHERWISE STATED IN WRITING FROM THE OWNER.
- DO NOT SCALE THE DRAWINGS. DIMENSIONS ARE NOT ADJUSTABLE UNLESS INDICATED BY PLUS OR MINUS. IF A FIXED DIMENSION IS GIVEN AND THE CONSTRUCTION CANNOT MEET THE INTENDED PURPOSE, CONSULT WITH ARCHITECT FOR REVISED DIMENSIONING. RENOVATION WORK OFTEN REQUIRES ADJUSTMENT TO DIMENSIONS ONCE FILED CONDITIONS HAVE BEEN DETERMINED.
- IN SOME CASES DIMENSIONS ARE STRUCTURAL FRAMING TO STRUCTURAL FRAMING, IN OTHERS THEY ARE FROM FINISH TO FINISH. REFER TO ARCHITECT IS THERE IS A QUESTION.

- NOT EVERY CONDITION, ELEVATION OR DETAIL IS GIVEN OR DRAWN. OF THE DRAWINGS THAT ARE GIVEN, THERE IS A DESIGN INTENT, THAT INTENT SHALL BE APPLIED TO THOSE ELEMENTS OF THE PROJECT THAT MAY NOT BE DRAWN. THE INTENT SHALL BE EXECUTED CONSISTENTLY. REFER TO ARCHITECT IF THERE IS A QUESTION.
- THICKNESS OF WALL CONSTRUCTION SHALL BE OF SUFFICIENT DEPTH TO FLUSH MOUNT ALL EQUIPMENT.
- ALL WORK SHALL BE COMPLETED AS SHOWN ON THE DRAWINGS AND EXECUTED IN GOOD PROFESSIONAL MANNER.

**QUALITY CONTROL & STANDARDS:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CODES AND STANDARDS AND SHALL VERIFY THAT ITEMS UNDER THE CONTRACT CONFORM THERETO. WHERE MATERIALS AND WORKMANSHIP ARE REQUIRED TO MEET OR EXCEED THE REQUIREMENTS OF A CODE OR STANDARD, THE CONTRACTOR SHALL PROVIDE SUCH MATERIALS AND WORKMANSHIP. WHERE REQUIRED BY CODE OR INSPECTORS, THE CONTRACTOR SHALL PROVIDE WRITTEN AFFIDAVITS FROM SUB-CONTRACTORS CERTIFYING COMPLIANCE WITH SUCH CODES.
- THE OWNER RESERVE THE RIGHT TO REJECT NON-COMPLYING ITEMS INCLUDED IN THE WORK.
- APPLICABLE CODES AND STANDARDS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: MASSACHUSETTS STATE BUILDING CODE (OR THE STATE IN WHICH THE PROJECT EXISTS) OR IRC, OSHA, ANSI, NFPA AND ASTM. WORK SHALL COMPLY WITH THESE AND OTHER APPLICABLE CODES AND STANDARDS.
- WORK SHALL CONFORM TO FEDERAL, STATE AND MUNICIPAL CODES AND ORDINANCES. THESE REGULATIONS SHALL SUPERSEDE DRAWINGS, NOTES AND DIMENSIONS. THE ARCHITECT AND OWNER SHALL BE NOTIFIED OF CHANGES REQUIRED TO MEET THE CODE BEFORE THE WORK IS STARTED.
- THE CONTRACTOR SHALL PROVIDE AND IS SOLELY RESPONSIBLE FOR PUBLIC AND EMPLOYEE PROTECTION AS NECESSARY AND AS REQUIRED BY THE CODES, ORDINANCES AND REGULATIONS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION AT THE PROJECT SITE.

**DELIVERY, STORAGE AND INSTALLATION:**

- PRODUCTS SHALL BE PROPERLY ENCLOSED IN CONTAINERS, BOXES, PACKAGES, ETC. TO PREVENT DAMAGE DURING TRANSPORTATION AND HANDLING. PRODUCTS SHOULD BE DELIVERED IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINERS WITH LABELS INDICATING BRAND NAMES, MODEL NUMBERS, QUALITY DESIGNATIONS, FIRE RESISTANCE RATINGS, ETC.
- STORE MATERIALS DELIVERED TO SITE OFF THE GROUND, UNDER COVER, IN DRY WELL VENTILATED LOCATIONS SECURE FROM VANDALISM AND THEFT, IN FULL CONFORMANCE WITH MANUFACTURER'S RECOMMENDATIONS. CAREFULLY PROTECT STORED MATERIALS FROM MECHANICAL DAMAGE, DAMPNES AND EXTREMES OF TEMPERATURE. PROVIDE SEPARATORS BETWEEN FINISHED MATERIALS THAT ARE STORED IN STACKED OR LEANING POSITIONS.
- SKILLED WORKMEN UNDER ADEQUATE SUPERVISION SHALL INSTALL, FINISH AND CLEAN PRODUCTS IN STRICT ACCORDANCE WITH APPLICABLE SPECIFICATIONS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. COPIES OF MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL PRODUCTS SHALL BE AVAILABLE AT THE JOB SITE.

**CLOSE OUT PROCEDURE:**

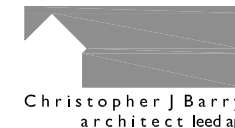
- THE CONTRACTOR SHALL CAREFULLY CHECK ALL SUB-CONTRACTORS WORK AND CORRECT UNSATISFACTORY OR NON-COMPLIANT WORK.
- WHEN THE CONTRACTOR AND ARCHITECT HAVE DETERMINED THAT LESS THAN FIVE PERCENT OF THE WORK TO BE COMPLETED REMAINS, THEY SHALL EACH PREPARE A PUNCH LIST OF ITEMS TO BE COMPLETED OR CORRECTED. FAILURE TO INCLUDE ITEMS ON SUCH LIST DOES NOT ALTER RESPONSIBILITY OF THE CONTRACTOR TO COMPLETE ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL CORRECT BOTH PUNCH LISTS AND MAKE ARRANGEMENTS FOR THE CORRECTION OF PUNCH LISTED ITEMS WITHIN A TIME FRAME TO BE ESTABLISHED WHEN THE PUNCH LISTS ARE MADE. THE TIME FRAME FOR COMPLETION OF PUNCH LISTED ITEMS SHALL NOT EXCEED THE COMPLETION DATE ESTABLISHED IN THE CONTRACTORS SCHEDULE.
- FINAL CLOSE-OUT SUBMITTALS REQUIRED AT COMPLETION INCLUDE THE FOLLOWING: OPERATING AND MAINTENANCE MANUALS, INSTRUCTION OF OWNERS IN MAINTENANCE AND OPERATION OF SYSTEMS, SUBMISSION OF CERTIFICATES, TEST REPORTS, PROVISIONS FOR SPARE PARTS, MAINTENANCE MATERIALS, WARRANTIES, GUARANTEES AND A TYPED LIST OF SUB-CONTRACTORS AND SUPPLIERS WITH ADDRESSES AND TELEPHONE NUMBERS.

**FINAL CLEANING:**

- AT SUBSTANTIAL COMPLETION THE CONTRACTOR SHALL CLEAN WITHIN THE AREAS OF WORK, THE FOLLOWING: REMOVE GREASE, DIRT, STAINS, FINGERPRINTS AND ETC., FROM EXPOSED TO VIEW FINISHED SURFACES. REMOVE PROTECTIVE COVERS, VACUUM, DUST SURFACES, WASH WINDOWS AND OTHER CLEANING PROCESSES AS REQUIRED BY THE SPECIFIC CONDITIONS AT THE JOB SITE. BROOM CLEAN IS NOT ACCEPTABLE.
- USE CLEANING MATERIALS AS RECOMMENDED BY PRODUCT MANUFACTURERS AND APPLICABLE SPECIFICATIONS.

**DRAWING LIST**

- T01 GENERAL NOTES & DRAWING LIST
- T02 SYMBOLS
- X01 EXIST CONDITIONS ROOF PLAN
- X02 EXIST CONDITIONS ELEVATIONS
- X03 EXIST CONDITIONS BUILDING SECTION
- X04 EXISTING CONDITIONS PHOTOGRAPHS
- X05 MOCK UP PHOTOGRAPHS
- A01 SITE PLAN | SURVEY
- A02 PROPOSED ROOF DECK PLAN
- A03 PROPOSED SECTION LOOKING NORTH
- A04 PROPOSED SECTION LOOKING EAST
- A05 PROPOSED SECTION LOOKING SOUTH
- A06 PROPOSED SECTION LOOKING WEST
- A07 RAIL DETAILS
- A08 MISCELLANEOUS DETAILS
- S0.0 NOTES AND SPECS
- S1.0 DECK PLAN
- S2.0 SECTIONS



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SCALE: NONE

23 APRIL 2019  
PERMIT SET

GENERAL NOTES  
DRAWING LIST

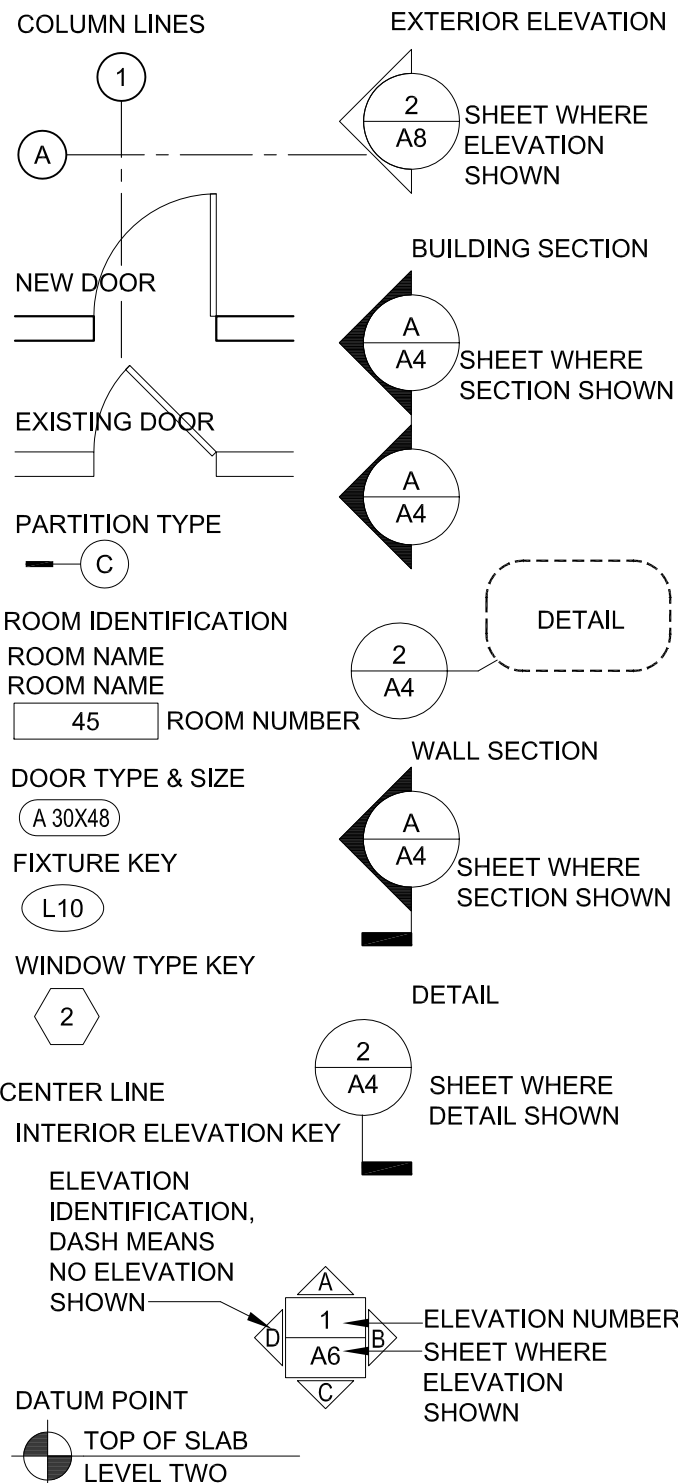
ELLIS ROOF DECK  
4 WALNUT ST #PH (7&8)  
BOSTON, MA 02108

T01

DO NOT SCALE THE DRAWINGS, THESE DRAWINGS MAY NOT BE TO SCALE DUE TO REPRODUCTIONS TO FACILITATE PRINTING

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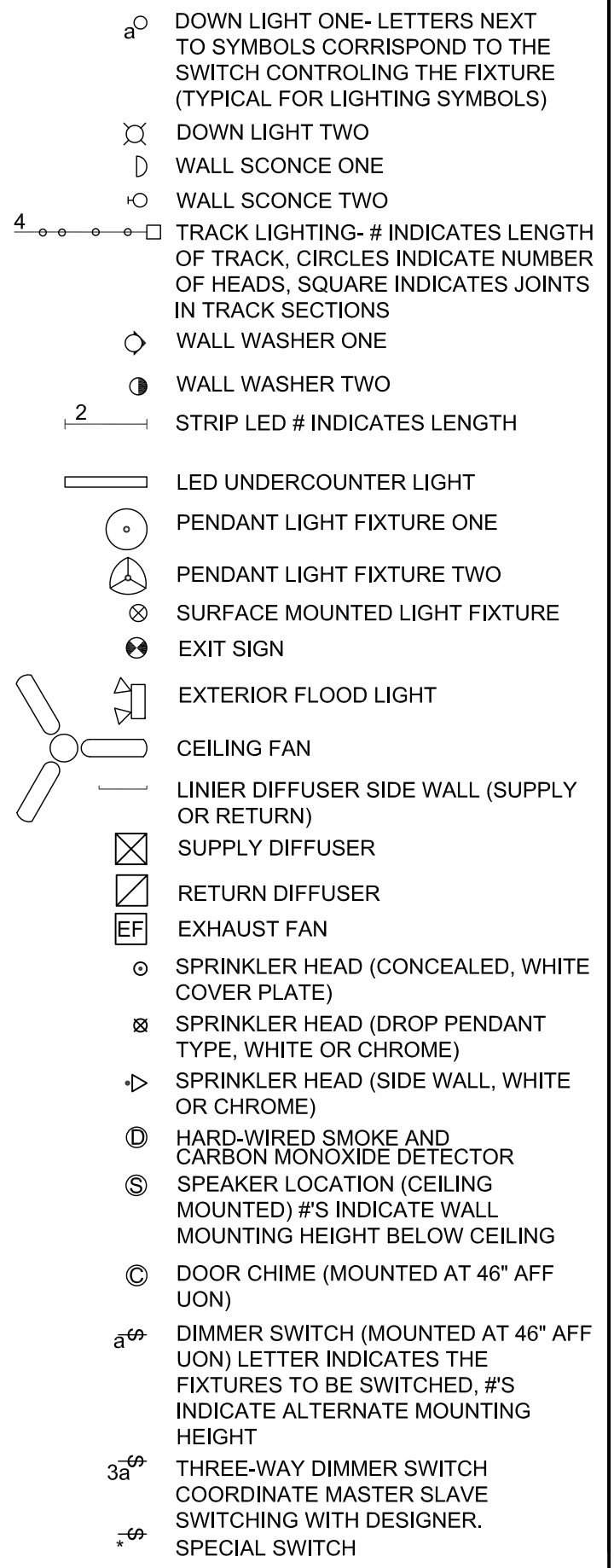
GRAPHIC SYMBOLS & CONVENTIONS



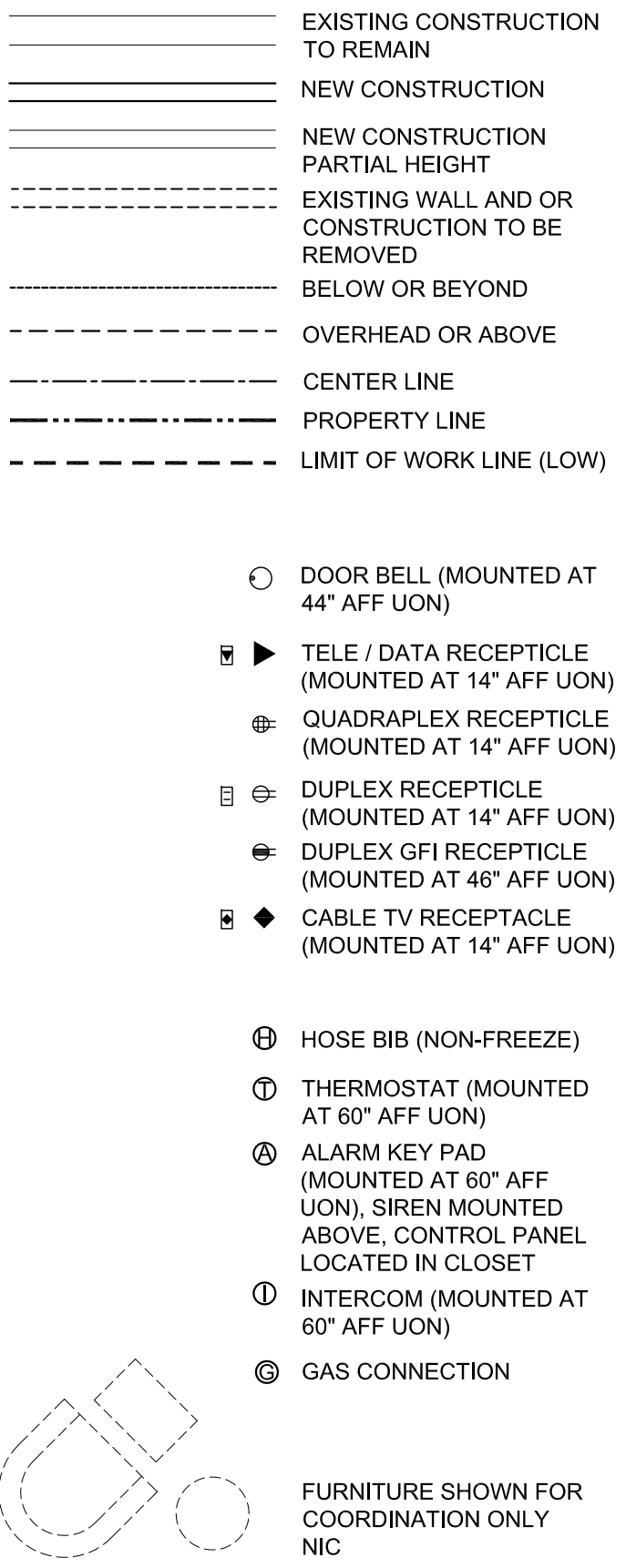
**3 DRAWING TITLE**  
 1/4"=1'-0"

**1 INTERIOR ELEVATION**  
 B 1/4"=1'-0" B

REFLECTED CEILING LEGEND



DEMOLITION / CONSTRUCTION LEGEND



PLAN NOTES:

1. MOUNTING HEIGHTS- RECEPTACLES ARE TO BE MOUNTED AT THE HEIGHT NOTED IN THE LEGENDS, ##'S NEXT TO THE SYMBOLS INDICATE ALTERNATE MOUNTING HEIGHTS FROM THOSE INDICATED IN THE LEGENDS. THESE HEIGHTS ARE GENERAL AND IN SOME CASES ALTERNATE HEIGHTS MAY BE OBVIOUS.
2. JOB SPECIFIC FIELD CONDITIONS MAY REQUIRE ALTERNATE HEIGHTS, CONSULT WITH ARCHITECT PRIOR TO INSTALLATION.
3. THESE DRAWINGS TYPICALLY SHOW CONVENIENCE RECEPTACLES, NOT ALL REQUIRED RECEPTACLES ARE SHOWN IN THE DRAWING BUT ARE TO BE PROVIDED PER CODE AND FOR PROPER FUNCTIONING OF THE PROJECT.
4. DIMENSIONS ARE FROM FINISH FLOOR TO CENTER LINE OF DEVICE.
5. DEVICES SHOWN TOGETHER SHALL BE GANGED INTO ONE COVER PLATE.
6. DEVICES ARE TO BE WHITE UON.
7. ALL DEVICES TO BE DECORA STYLE
8. REPLACE EXISTING FIXTURE WITH NEW INSIDE AREA OF WORK

CEILING NOTES:

1. FIXTURE LEGEND IS GENERIC, REFER TO FIXTURE SCHEDULE OR SPECIFICATION FOR ACTUAL FIXTURES
2. LETTERS NEXT TO SYMBOLS INDICATE THE DEVICES TO BE SWITCHED AND CORRESPONDING SWITCHES.
3. SWITCHES ARE TO BE DIMMER TYPE UNLESS TECHNICALLY IMPOSSIBLE (DISPOSAL & EXHAUST FANS).
4. COORDINATE DIMMERS WITH LIGHTING TYPES FOR PROPER OPERATION.
5. DEVICES ARE TO BE WHILE UON
6. ALL DEVICES TO BE DECORA STYLE
7. DIMENSIONS ARE FROM FINISH FLOOR TO CENTER LINE OF DEVICE UON.
8. DEVICES SHOWN TOGETHER SHALL BE GANGED INTO ONE COVER PLATE.
9. DEVICES ARE NEW UON, VERIFY OPERATION OF EXISTING DEVICES IN FIELD. REPLACE EXISTING TO MATCH NEW INSIDE THE WORK AREA



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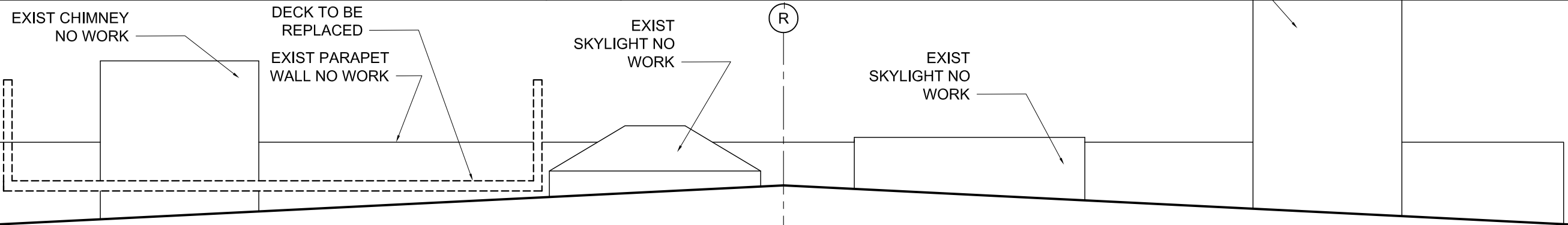
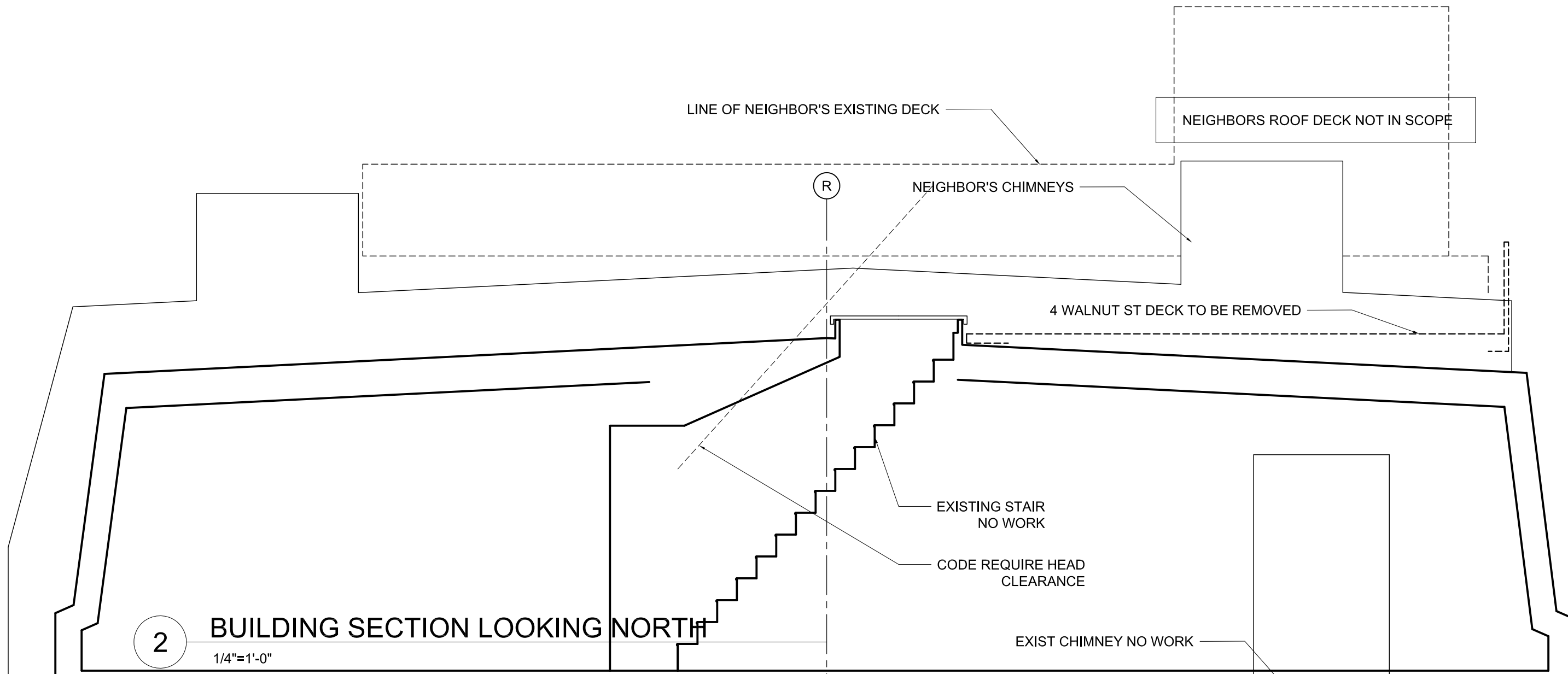
SCALE: NONE  
 23 APRIL 2019  
 PERMIT SET


GENERAL NOTES

ELLIS ROOF DECK  
 4 WALNUT ST #PH (7&8)  
 BOSTON, MA 02108

T02





  
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EXISTING CONDITIONS  
 ELEVATIONS

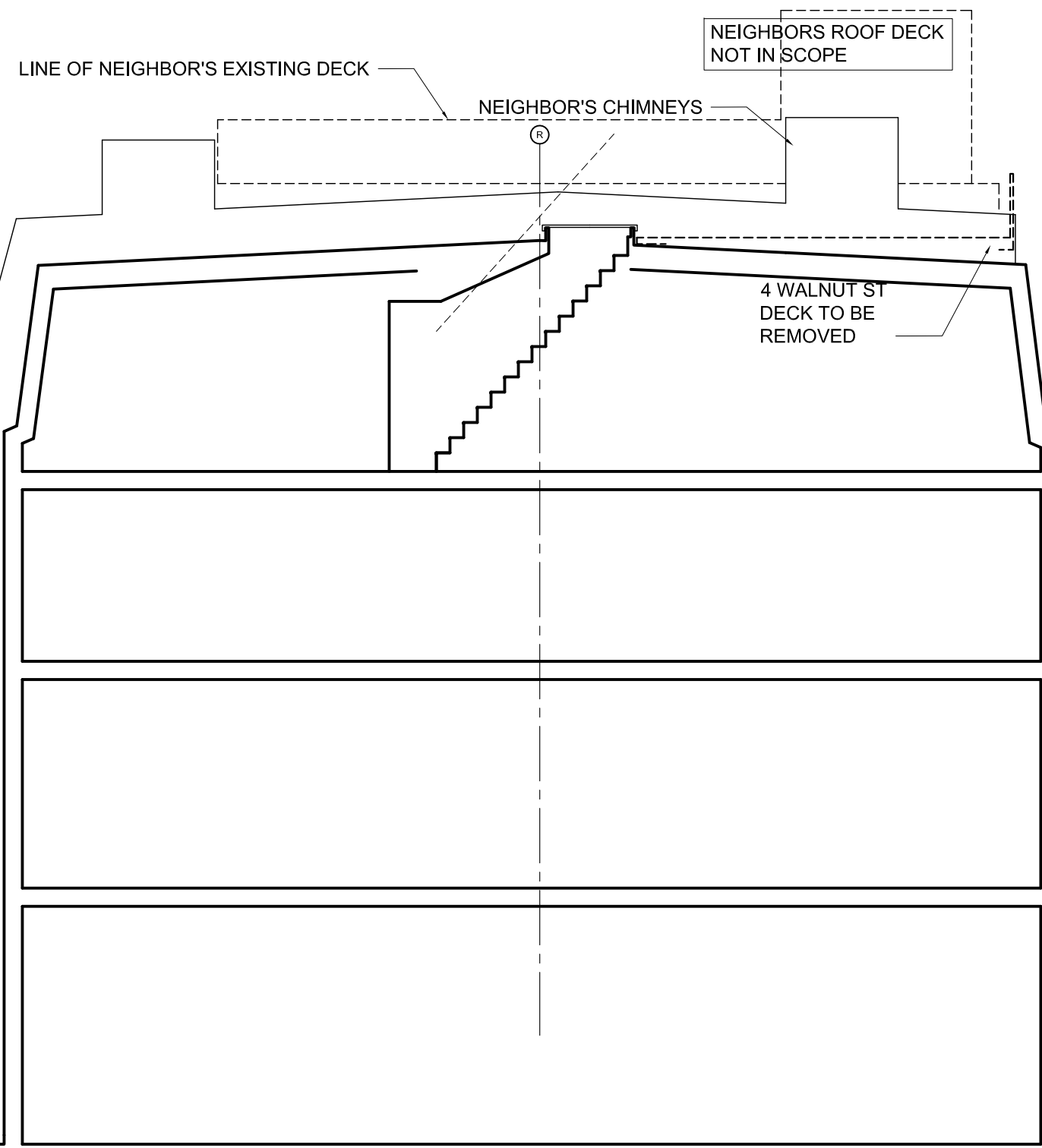
SCALE: 1/4"=1'-0"

23 APRIL 2019  
 PERMIT SET

X02



**2** BLOCK PLAN  
NTS



4 WALNUT STREET

BACK YARD





EXIST SKYLIGHT TO BE REMOVED, LOOKING NORTH



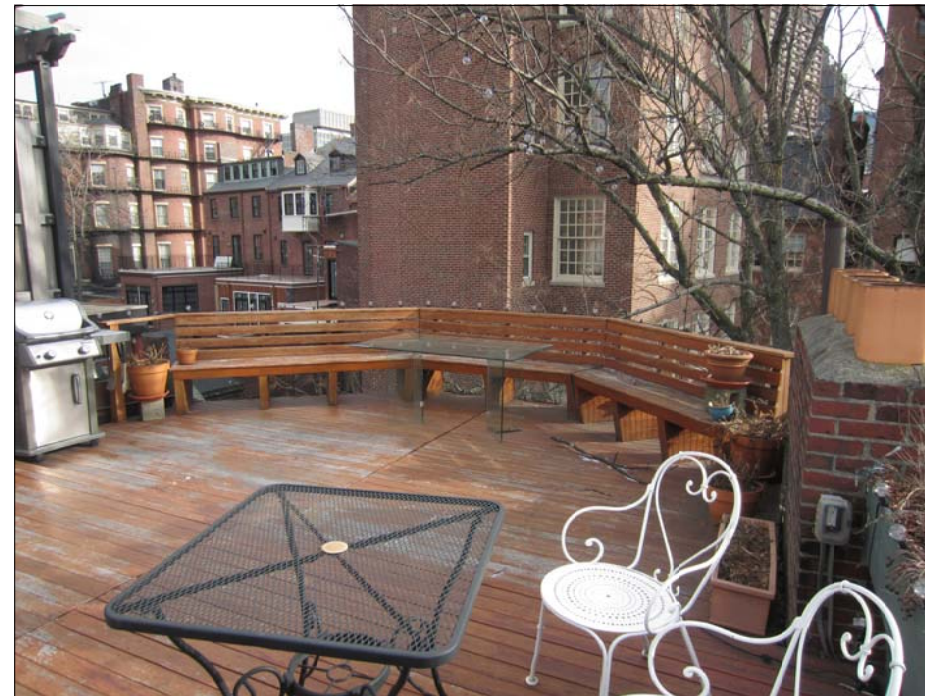
EXIST DECK WITH NEIGHBORS DECK BEHIND CHIMNEY, LOOKING NORTH



EXIST DECK TO BE REMOVED



EXIST HATCH TO BE REPLACED

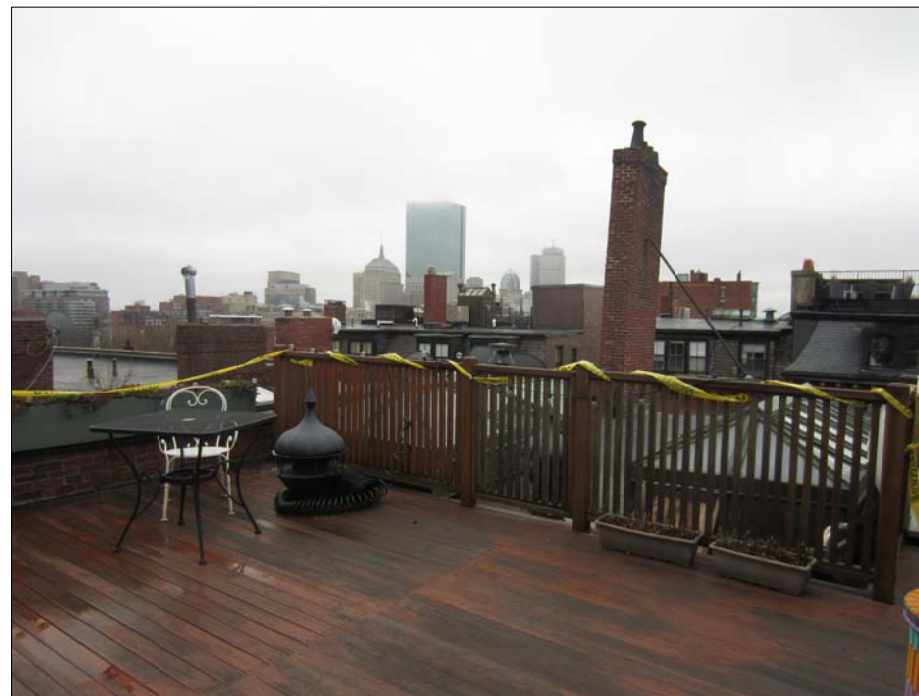
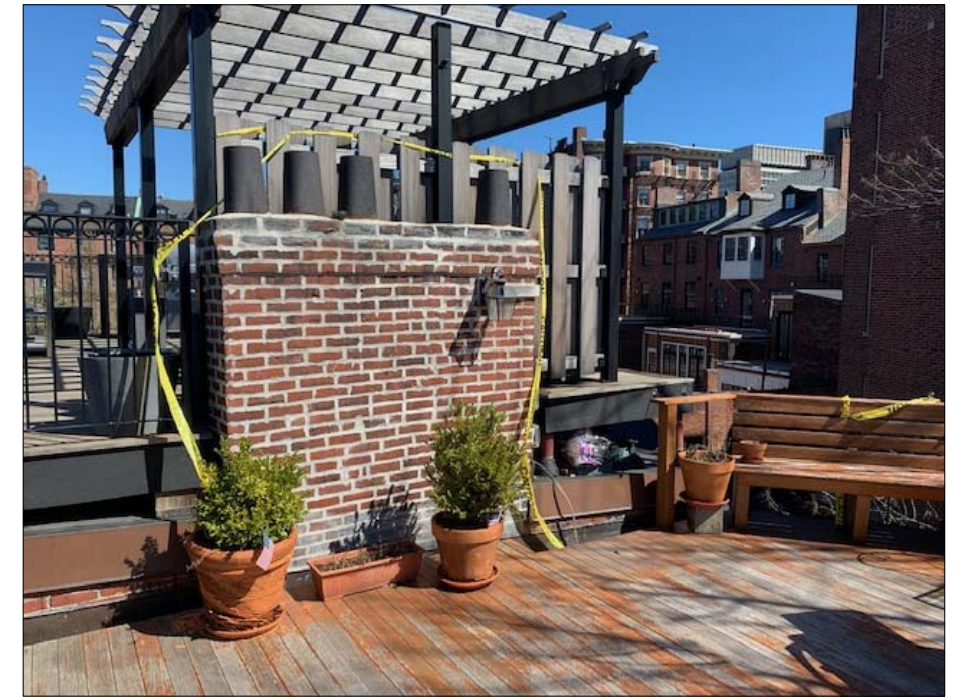


EXIST DECK AND BENCH TO BE REMOVED



VIEW TO COMMON, LOOKING SOUTH







42088~ WALNUT INVESTMENT CORP.

(X)

I CERTIFY THAT THIS PLAN SHOWS THE PROPERTY LINES THAT ARE THE LINES OF EXISTING OWNERSHIP AND THE LINES OF STREETS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.  
 June 7, 1979

I CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DEMENSIONS OF THE BUILDINGS AS BUILT AND FULLY LISTS THE UNITS CONTAINED THEREIN.  
 June 7, 1979

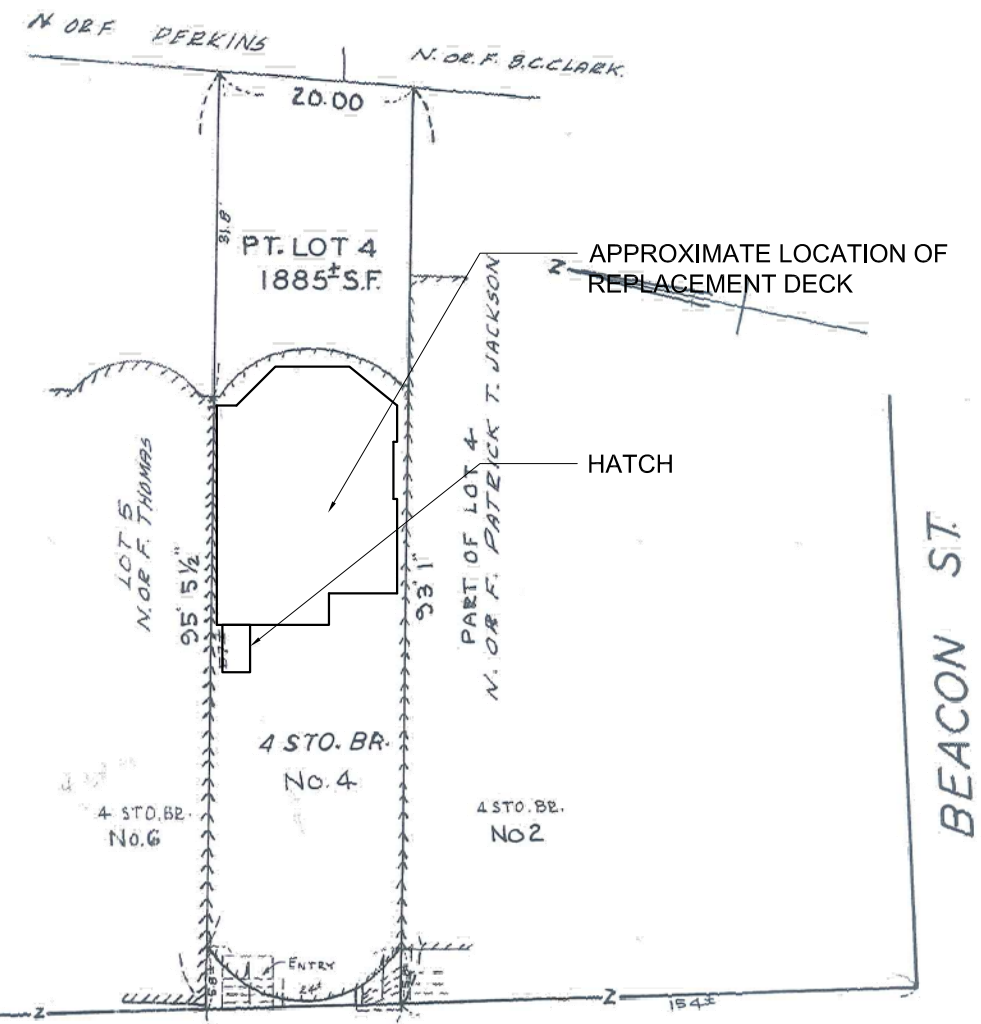
I CERTIFY THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMM. OF MASS.  
 June 7, 1979

NOTE: DEED DESCRIPTION  
 BK. 8395 PG. 371  
 SUFFOLK REG.

189



MT. VERNON ST.



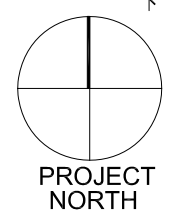
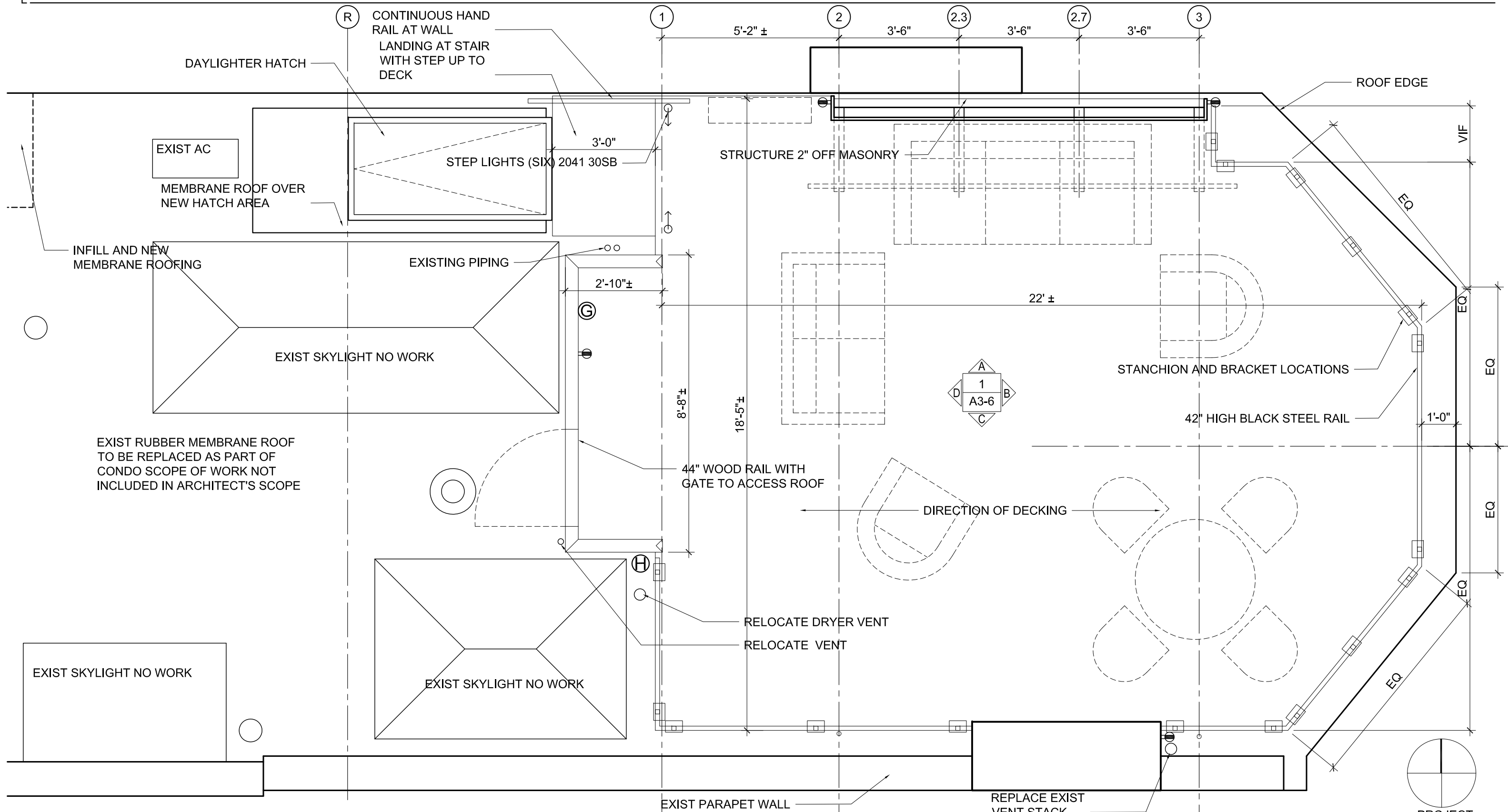
WALNUT ST.

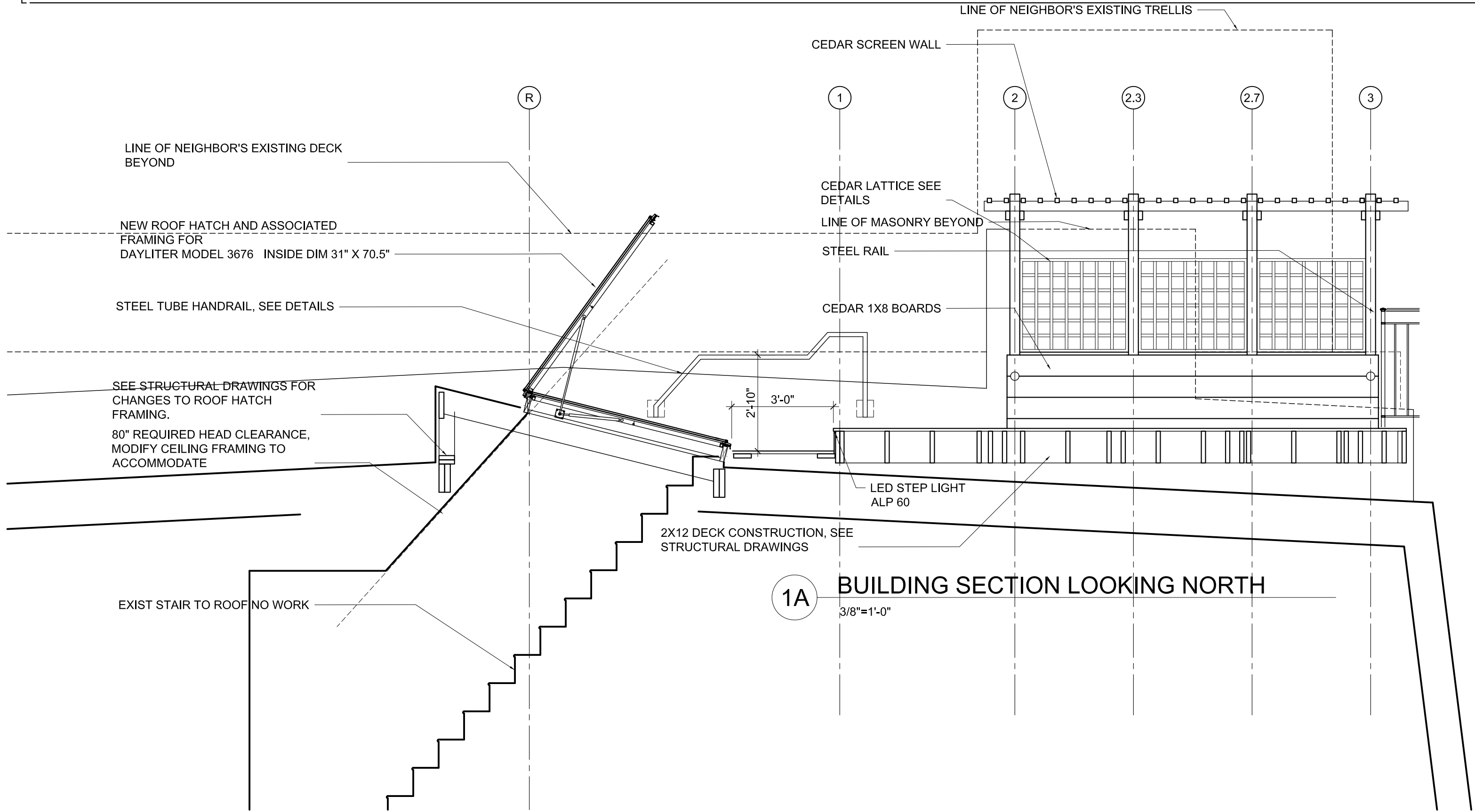
PLAN OF LAND  
 FOUR WALNUT ST. CONDOMINIUM  
 4 WALNUT STREET  
 BOSTON MASS.



JUNE 7, 1979  
 HERBERT H. JOHNSON SUR.  
 77 BRADWOOD ST. ROS. MASS

9216-26





**1A BUILDING SECTION LOOKING NORTH**  
3/8"=1'-0"

ELLIS ROOF DECK  
4 WALNUT ST #PH (7&8)  
BOSTON, MA 02108

PROPOSED ROOF DECK  
ELEVATION / SECTION

SCALE: 3/8"=1'-0"

23 APRIL 2019  
PERMIT SET

A03



LINE OF NEIGHBOR'S  
EXISTING TRELLIS

EXISTING MASONRY OF  
ADJACENT BUILDING

CEDAR SCREEN

BLACK STEEL RAIL, SEE DETAILS

CHANGE IN PLANE  
OF RAIL 45 DEG

CHANGE IN PLANE  
OF RAIL 45 DEG

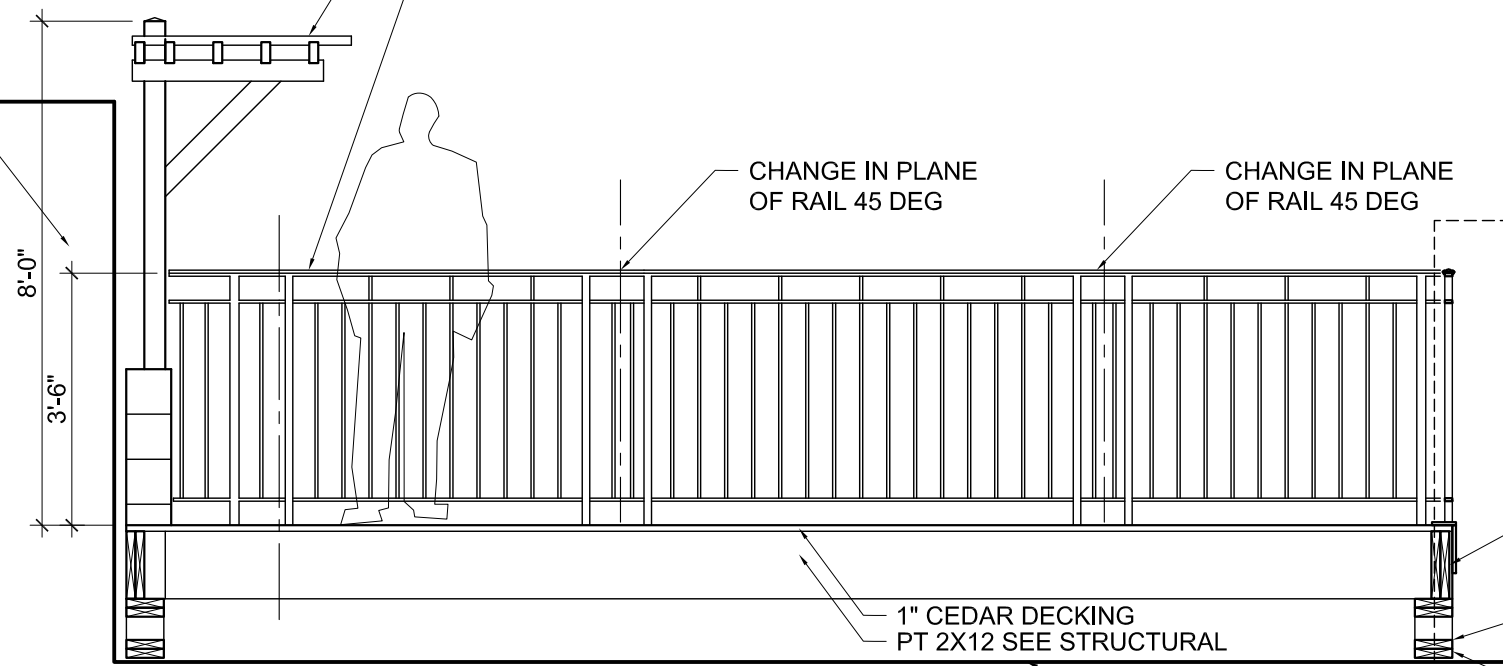
LINE OF EXISTING  
MASONRY IN  
FOREGROUND

LINE OF EXISTING  
MASONRY PARAPET

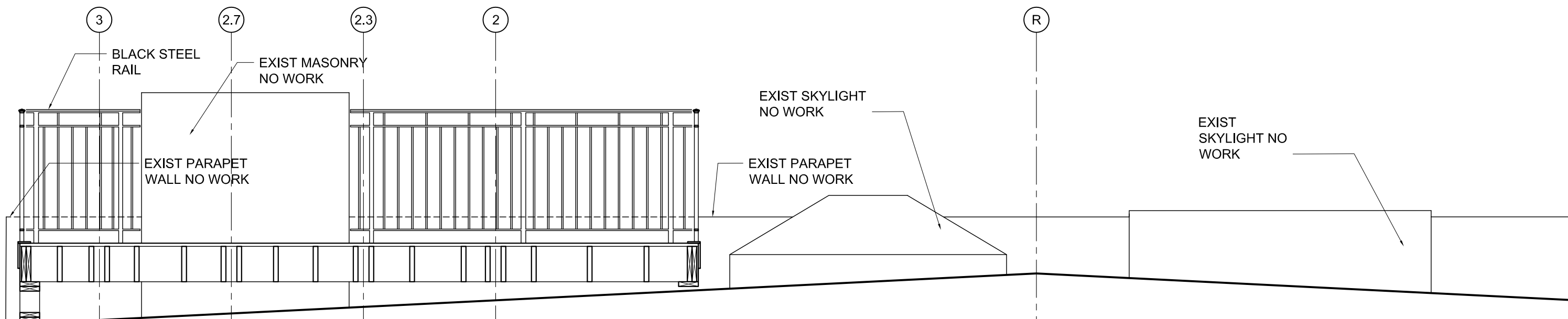
MATCHING FASCIA BOARD  
TYP

PT SLEEPER TO SUPPORT  
2X12, PROVIDE RUBBER WALK  
PAD UNDER FOR ADDITIONAL  
ROOF PROTECTION

REFER TO STRUCTURAL FOR  
DECK TIE DOWNS



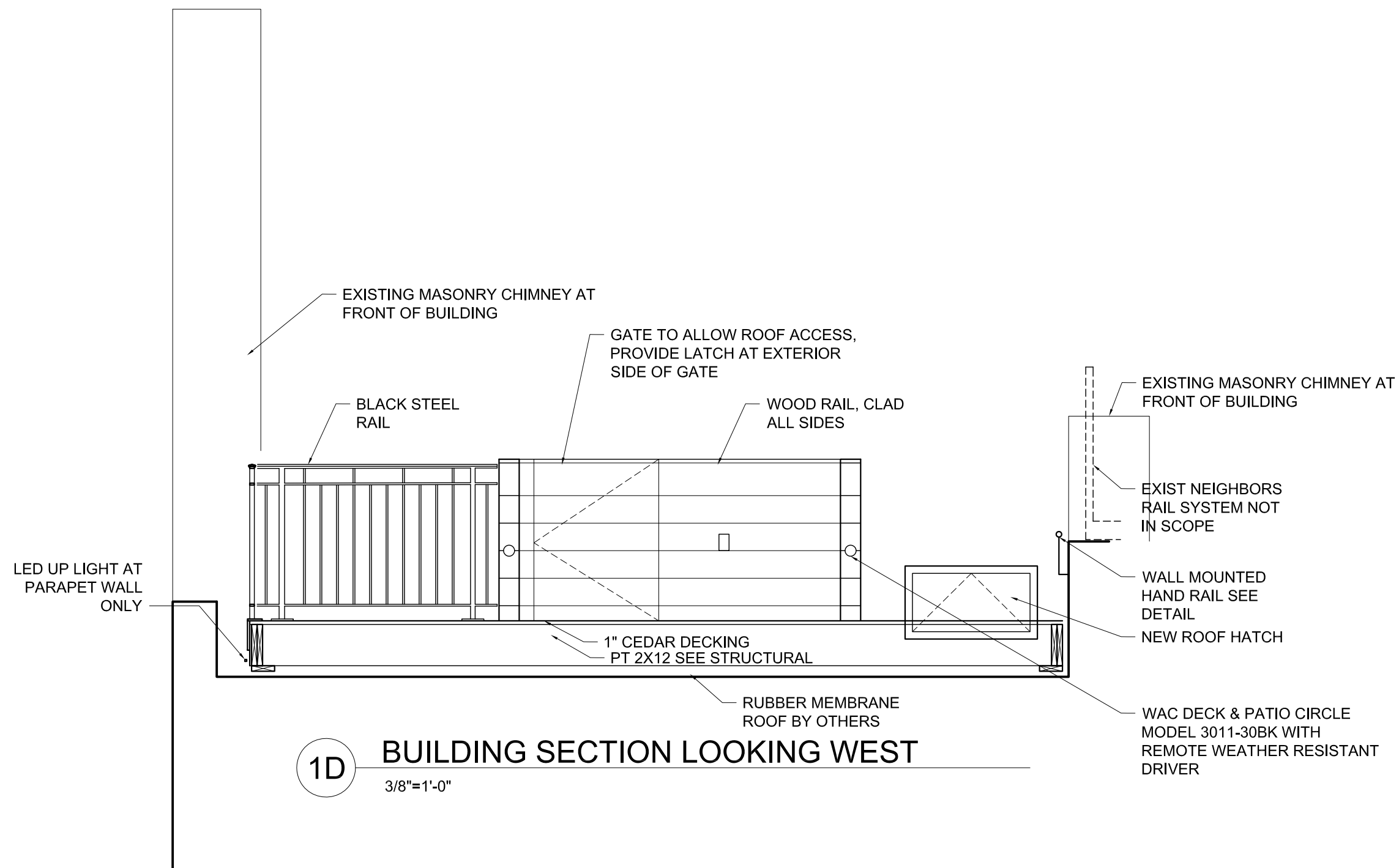
**1B** BUILDING SECTION LOOKING EAST  
3/8"=1'-0"



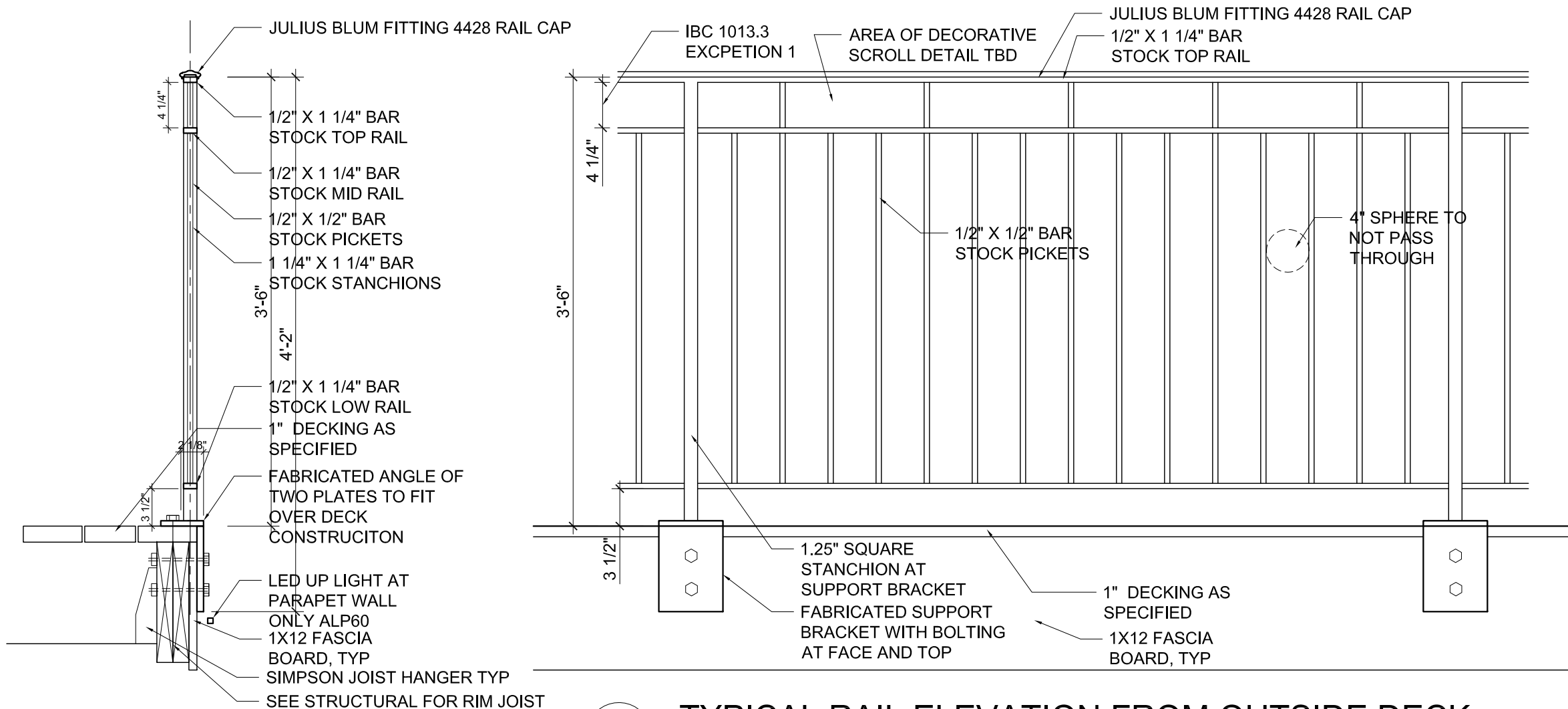
**1C** BUILDING SECTION LOOKING SOUTH  
3/8"=1'-0"

**CONSTRUCTION NOTES:**

1. REFER TO GENERAL NOTES
2. PRICE THE DECK IN BOTH AZAK / TREX MATERIAL OR CLEAR RED CEDAR
3. PROVIDE SHOP DRAWING FOR STEEL RAIL INCLUDING SCROLL DETAIL FOR REVIEW
4. ELECTRICAL SWITCHING TO BE INSIDE AT TOP OF STAIR, TRANSFORMERS TO BE LOCATED INSIDE IN PLACE TBD
5. PROVIDE GAS LINE AND COLD WATER CONNECTIONS PER DRAWINGS
6. REFER TO OTHERS FOR ROOF AND SKYLIGHT SCOPE
7. RELOCATE EXISTING VENTS WITH PVC OR AS REQUIRED, PAINT BLACK
8. REFER TO STRUCTURAL DRAWINGS FOR SCOPE
9. PROVIDE RUBBER WALKWAY PADS UNDER STRUCTURE TO PROTECT ROOF
10. PROVIDE DECK ANCHORAGE PER STRUCTURAL DRAWINGS
11. LAYOUT PRIMARY FRAMING WITH ARCHITECT FOR MINOR ADJUSTMENT AS MAY BE REQUIRED

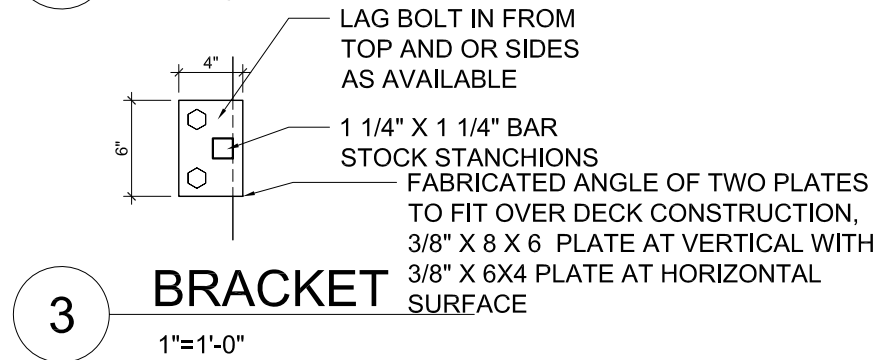




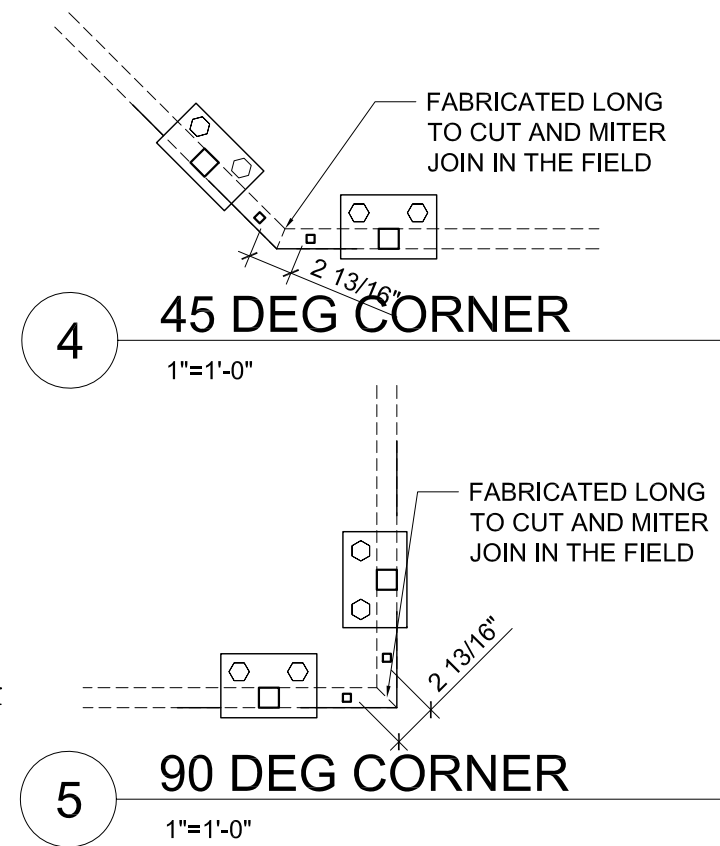


**1 TYP RAIL SECTION**  
1"=1'-0"

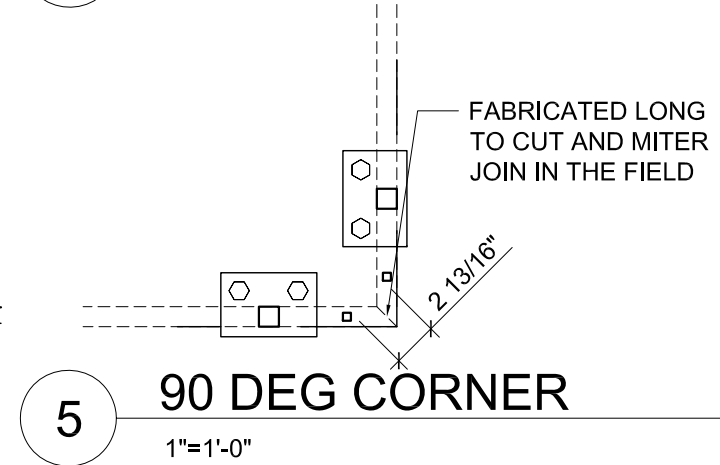
**2 TYPICAL RAIL ELEVATION FROM OUTSIDE DECK**  
1"=1'-0"



**3 BRACKET**  
1"=1'-0"



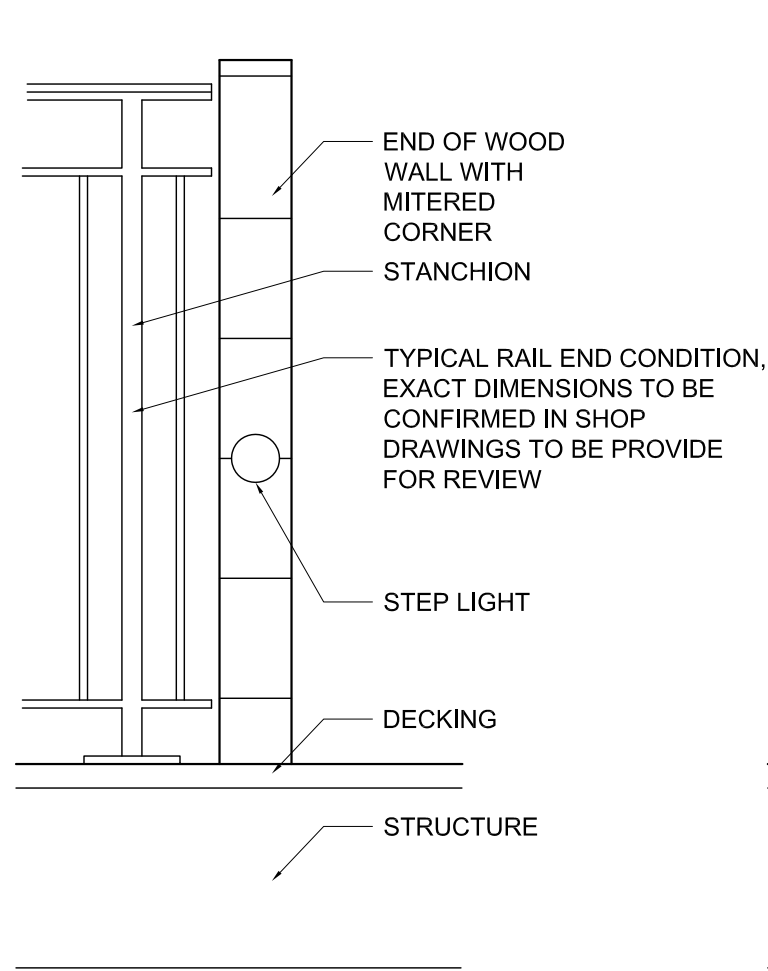
**4 45 DEG CORNER**  
1"=1'-0"



**5 90 DEG CORNER**  
1"=1'-0"



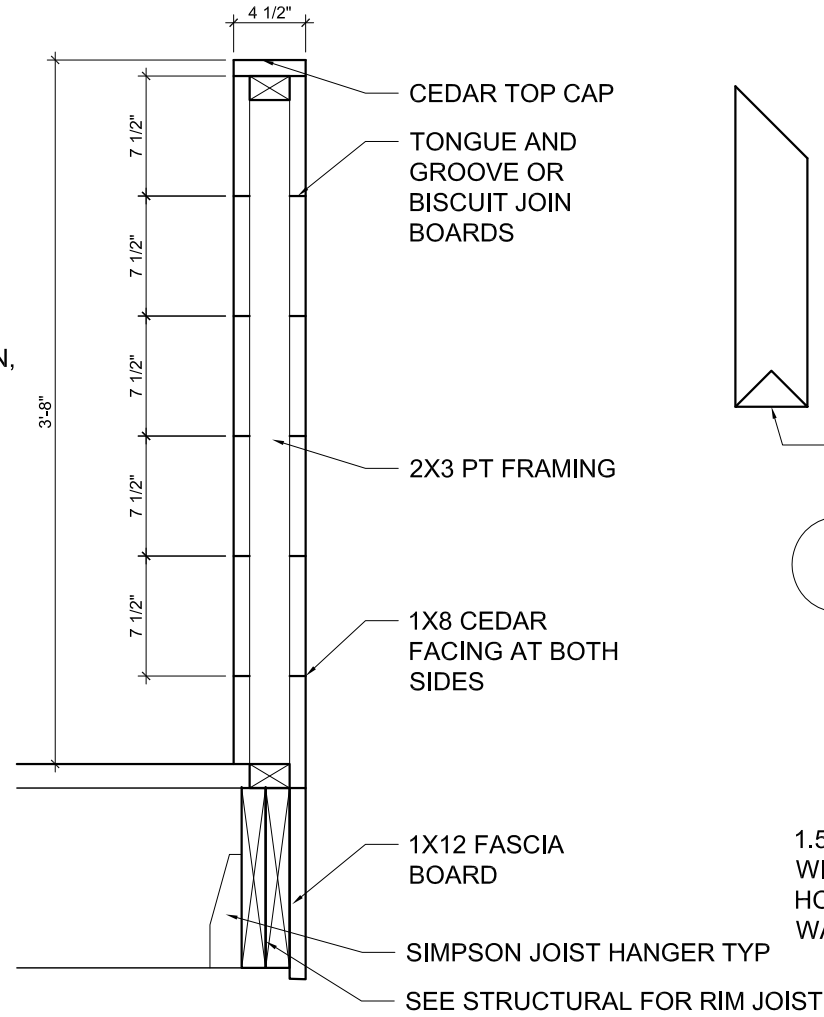
**6 DECORATIVE SCROLL**  
NONE



3

**WOOD RAIL AND STEEL RAIL**

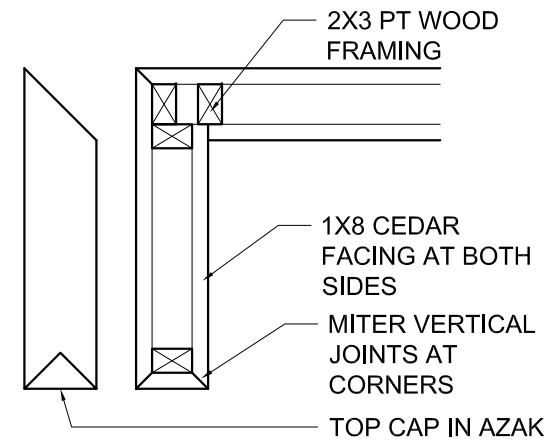
1"=1'-0"



1

**TYP WOOD RAIL SECTION**

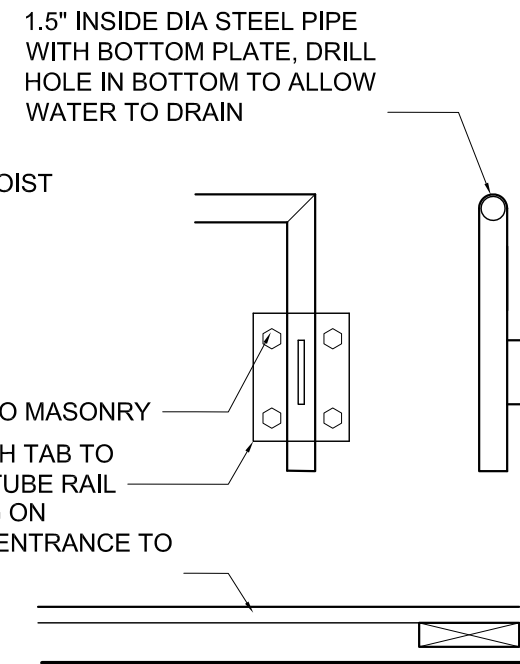
1"=1'-0"



2

**CORNER DETAIL**

1"=1'-0"



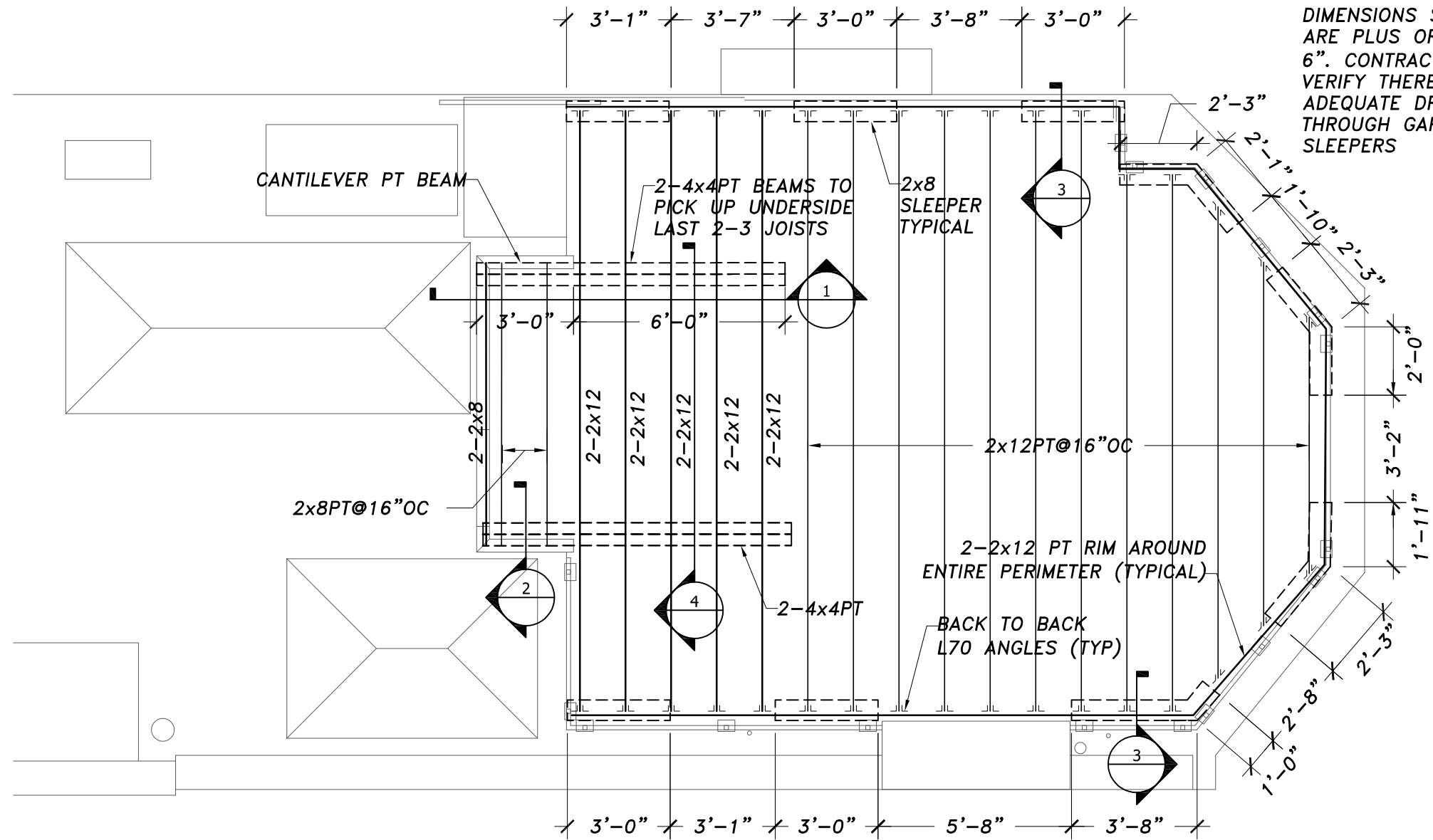
5

**HAND RAIL**

1"=1'-0"







DIMENSIONS SHOWN ARE PLUS OR MINUS 6". CONTRACTOR TO VERIFY THERE IS ADEQUATE DRAINAGE THROUGH GAPS IN SLEEPERS

**DECK FRAMING**  
Scale: 1/4"=1'-0"



**DECK DESIGN**  
4 WALNUT STREET  
BOSTON, MA

Rev:	Date:

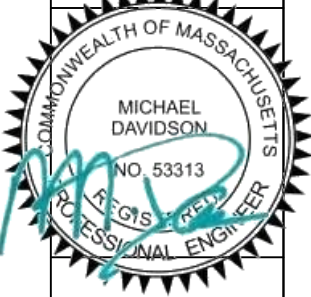
**FOR CONST.**

Date : APRIL 17, 2019

DRAWING SCALES SHOWN ARE BASED ON AN 11x17 SIZE DRAWING

**DECK PLAN**

**S1.0**



DECK DESIGN  
4 WALNUT STREET  
BOSTON, MA

Rev:      Date:

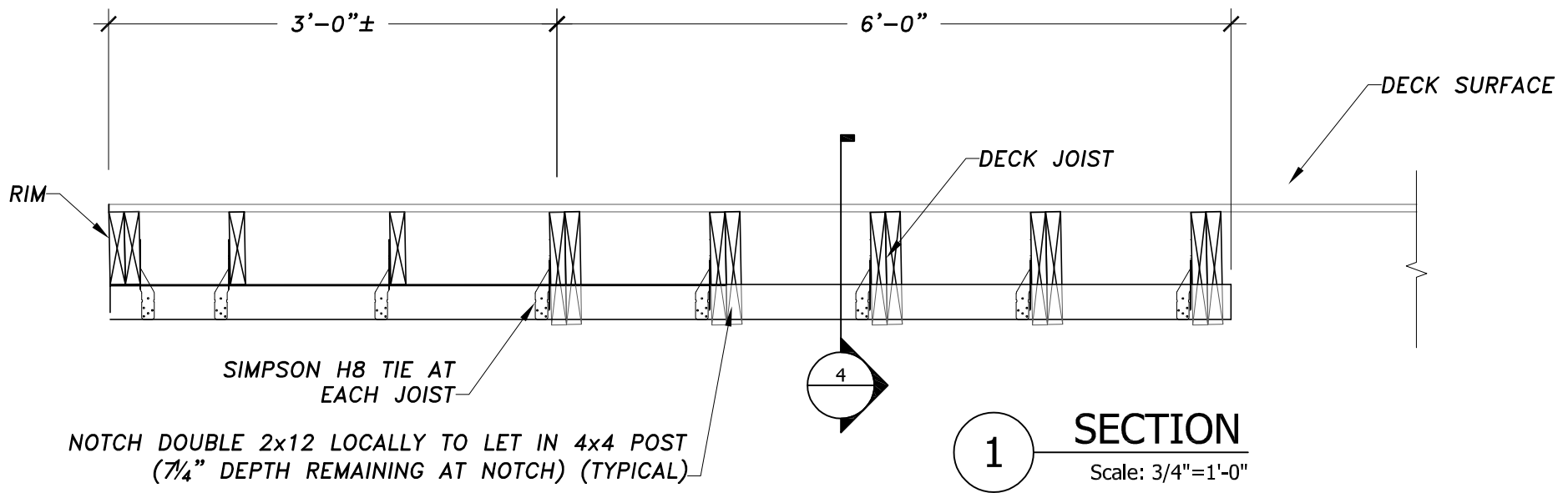
FOR CONST.

Date : APRIL 17, 2019

DRAWING SCALES  
SHOWN ARE BASED ON  
AN 11x17 SIZE DRAWING

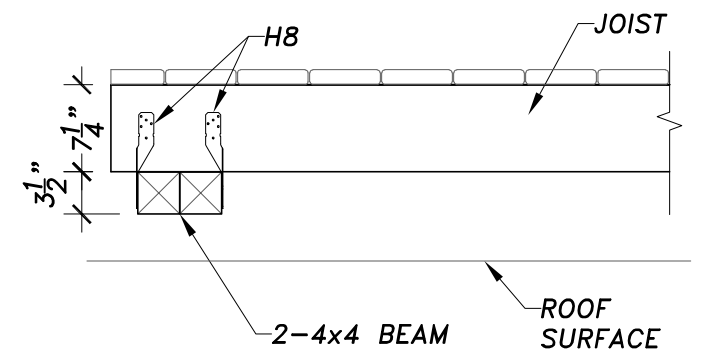
SECTIONS

S2.0

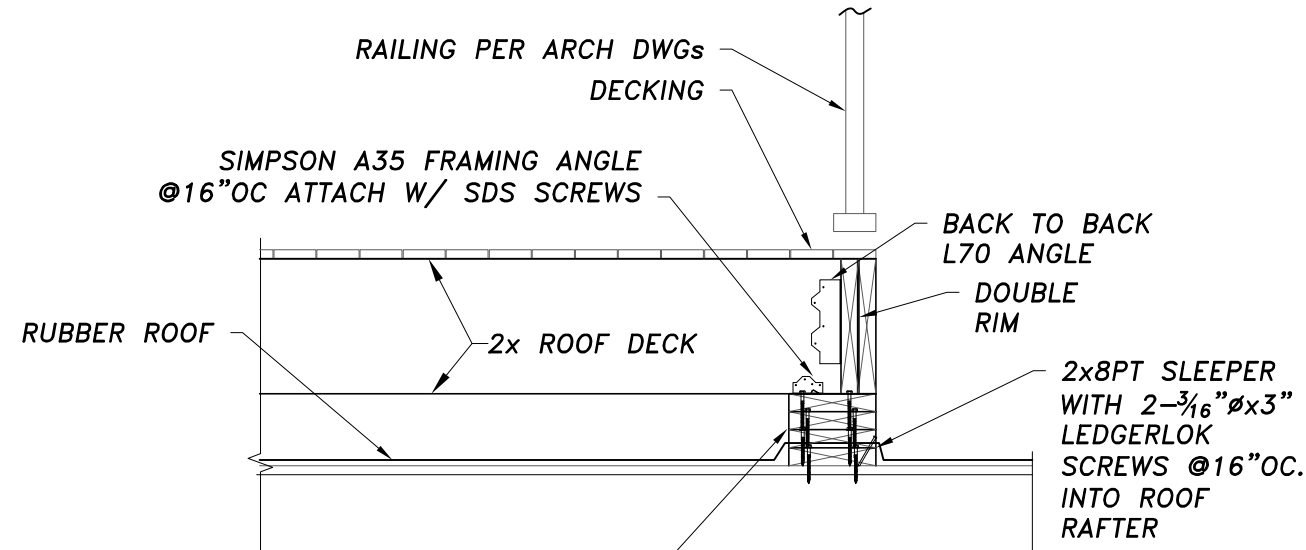


NOTCH DOUBLE 2x12 LOCALLY TO LET IN 4x4 POST  
(7/4" DEPTH REMAINING AT NOTCH) (TYPICAL)

**1 SECTION**  
Scale: 3/4"=1'-0"

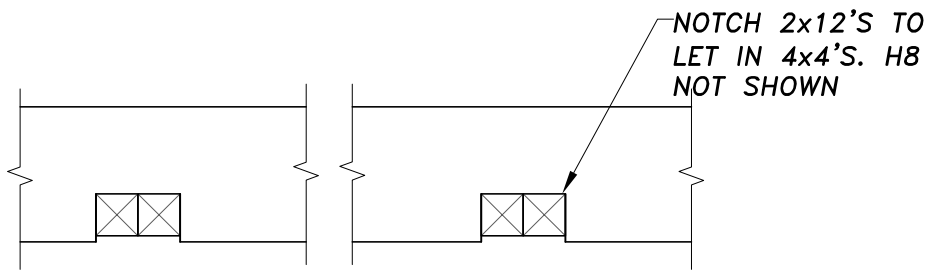


**2 SECTION**  
Scale: 3/4"=1'-0"



BUILD UP ADDITIONAL PT PLATES AND  
ATTACH W/ 2 TIMBERLOKS @16" OC  
TO PLATE BELOW.  
5 PLATES MAXIMUM. FUTURE SHIMMING  
BETWEEN PLATES MAY BE REQUIRED  
ONCE PLATES HAVE SHRUNK

**3 SECTION**  
Scale: 3/4"=1'-0"



**4 SECTION**  
Scale: 3/4"=1'-0"