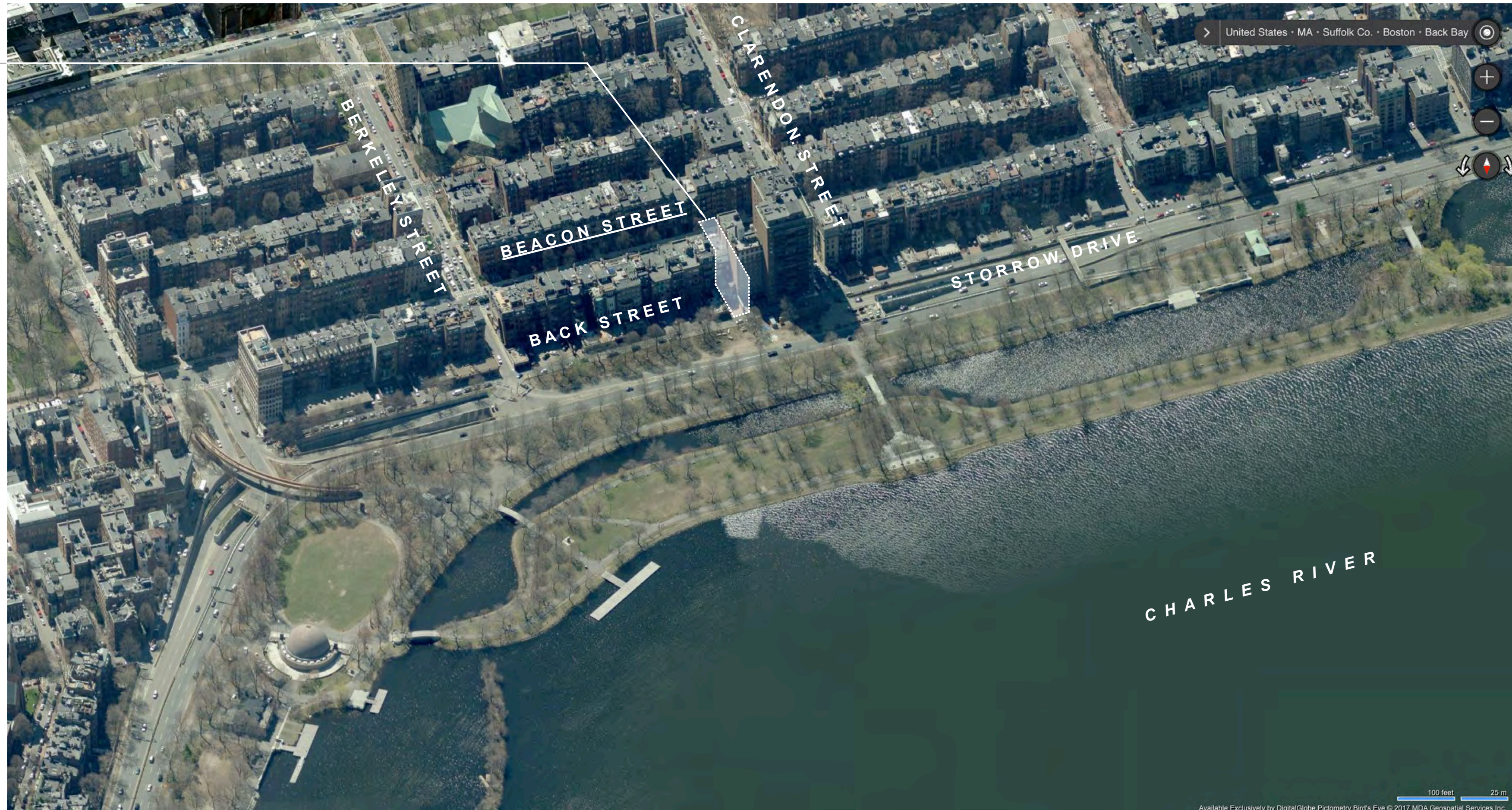


PROJECT LOCATION: 170 BEACON STREET

HISTORICAL DESIGNATION LISTING: BACK BAY HISTORIC DISTRICT (1973)
 BACK BAY ARCHITECTURAL DISTRICT (1966)

OWNER: FEDERAL REPUBLIC OF GERMANY, REPRESENTED BY THE
 GERMAN CONSULATE OF BOSTON

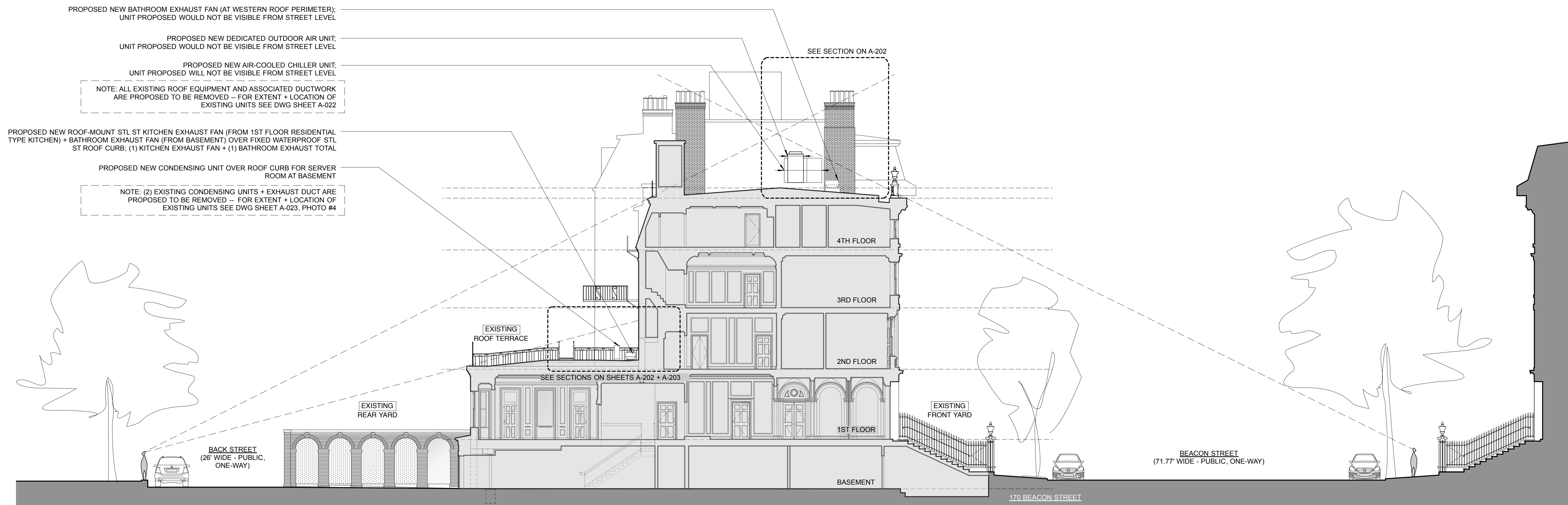
OCCUPANT (SINCE 1966): GOETHE-INSTITUT (GERMAN CULTURE AND LANGUAGE INSTITUT)



2 AERIAL PHOTOGRAPH - BACK BAY NEIGHBORHOOD (PROJECT AREA)
 SCALE: NA



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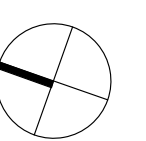


1 PROPOSED BUILDING SECTION - SIGHT LINE DIAGRAM
 SCALE: 3/32"=1'-0"

Issue / Revisions	
06-06-2017	PROGRESS PRINT
06-16-2017	BLC APPLICATION

Phase
SCHEMATIC DESIGN

Project
GOETHE-INSTITUT BOSTON
 170 BEACON STREET
 BOSTON MA 02116



Drawing Title
**PROJECT LOCATION +
 SIGHTLINE DIAGRAM**
 Drawing Number

A-021.00
 DRAWN BY: SK,AR
 DATE: 04-11-2017
 SCALE: 1/4" = 1'-0"



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EXISTING TO REMAIN PENTHOUSE FOR ELEVATOR MACHINE ROOM. LOOSE PAINT TO BE STRIPPED FOR RE-FINISH W/ EXTERIOR TYPE PAINT OVER EXISTING TO REMAIN GALVANIZED CORRUGATED STEEL SIDING PANELS; SEE GENERAL NOTE #4

EXISTING PTD STEEL STAIR TO BE REMOVED FOR REPLACEMENT W/ NEW IN-KIND PLUS NEW PLATFORM COMPLIANT W/ APPLICABLE BUILDING CODE RULES + REGULATION; SEE GENERAL NOTE #4

EXISTING TO REMAIN PTD. STRUCTURAL STEEL BEAM + POST; RE-COAT W/ EXTERIOR TYPE PAINT PROPOSED FOR RE-COATING OF STANDING SEAM ROOF AT REAR; SEE GENERAL NOTE #4

4 PHOTO - EXISTING ELEVATOR MACHINE ROOM BULKHEAD
SCALE: N/A



3 PHOTO - EXISTING MECHANICAL EQUIPMENT + SKYLIGHT
SCALE: N/A

EXISTING TO REMAIN SKYLIGHT W/ FAN; NO SCOPE OF WORK AT THIS AREA

ALL EXISTING ROOF EQUIPMENT + ASSOCIATED DUCTWORK TO BE REMOVED FOR REPLACEMENT W/ SIZE + ENERGY EFFICIENT UNITS, TYPICAL, U.O.N.
NOTE: REPLACEMENT LEADS TO REDUCTION IN EQUIPMENT QUANTITY

Issue / Revisions

06-06-2017 PROGRESS PRINT
06-16-2017 BLC APPLICATION

GENERAL NOTES:

1. FOR ALL STONE AND MASONRY CLEANING, REPAIRS AND/OR REPLACEMENTS REFER TO SCOPE OF WORK SHOWN ON FACADE RESTORATION DWG SHEET A-211.

2. FOR SIZE AND INFORMATION ON PROPOSED NEW MECHANICAL UNITS SEE BUILDING SECTIONS ON SHEETS A-202 + A-203.

3. FOR SIGHT LINE DIAGRAM SEE A-021.

4. FOR PROPOSED PAINT FINISH COLORS + SHEEN SEE ELEVATION DRAWING 2/A-201.

LOOSE PAINT TO BE STRIPPED FOR RE-FINISH W/ EXTERIOR TYPE PAINT OVER EXISTING TO REMAIN GALVANIZED CORRUGATED STEEL SIDING PANELS; SEE GENERAL NOTE #4



2 PHOTO - DETAIL AT BULKHEAD SIDING + PARTY WALL FLASHING
SCALE: N/A



1 PHOTO - EXISTING HIGH ROOF, ELEVATOR MACHINE ROOM BULKHEAD + MECHANICAL EQUIPMENT
SCALE: N/A

SEE PHOTO 4 THIS SHEET FOR INFO ON EXISTING TO REMAIN BULKHEAD

EXISTING COPPER FLASHING TO BE REPAIRED. REPLACEMENT AND INFILL OF MISSING SECTIONS WHERE REQUIRED FOR PROPER WAERPROOFING FUNCTION.

Phase

SCHEMATIC DESIGN

Project

GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116

Drawing Title

PHOTOS - EXISTING CONDITIONS
MAIN ROOF

Drawing Number

A-022.00

DRAWN BY: SK,AR

DATE: 04-11-2017

SCALE: 1/4" = 1'-0"



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Issue / Revisions

06-06-2017 PROGRESS PRINT
06-16-2017 BLC APPLICATION

Phase

SCHEMATIC DESIGN

Project

GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116

Drawing Title

PHOTOS - EXISTING CONDITIONS
FRONT FACADE + YARD

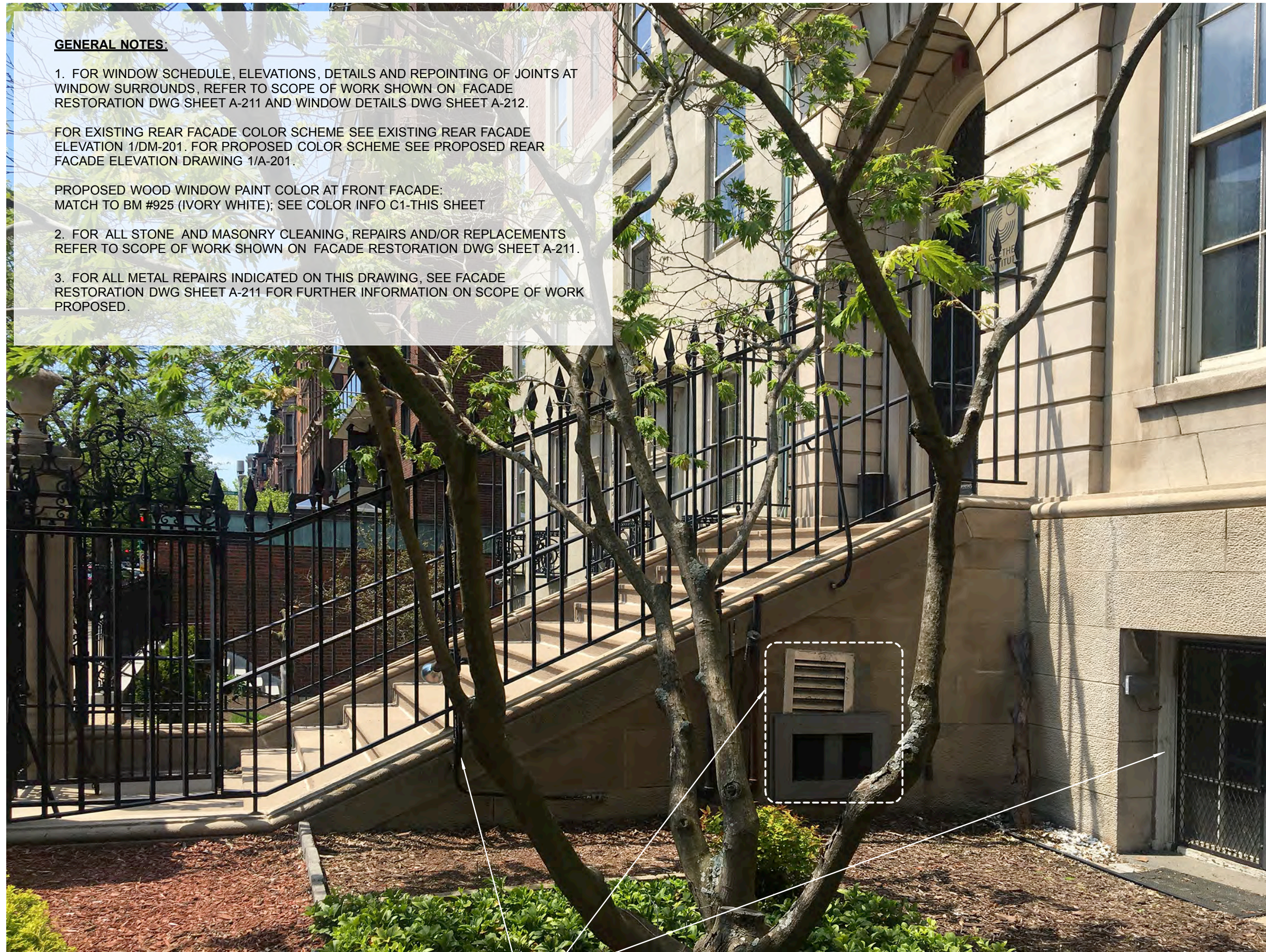
Drawing Number

A-023.00

DRAWN BY: SK,AR

DATE: 04-11-2017

SCALE: 1/4" = 1'-0"

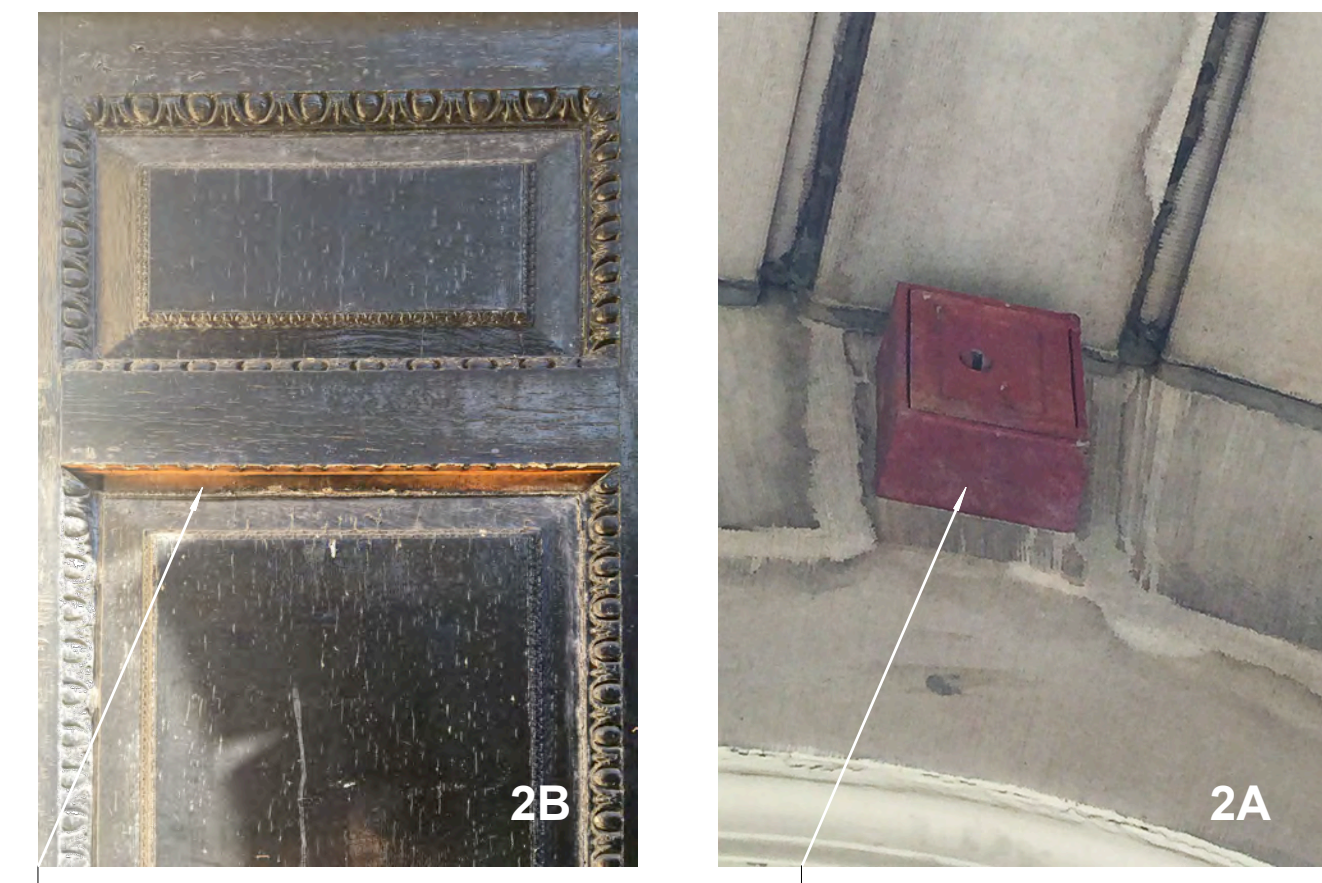


4 PHOTO - EXISTING STOOP TO FRONT ENTRANCE
SCALE: N/A

EXISTING FIRE EXIT DOUBLE WINDOW / DOOR UNIT TO REMAIN
EXISTING MECH LOUVERS TO BE REPLACED W/ NEW IN EXISTING OPENING; REPLACEMENT LOUVERS TO BE POWDER-COATED STEEL; COLOR TO MATCH LIMESTONE IN SHADE
EXISTING FENCE MOUNTED SAFETY LIGHT TO BE REPLACED W/ NEW IN-KIND ON NEW CONSEALED CONDUIT

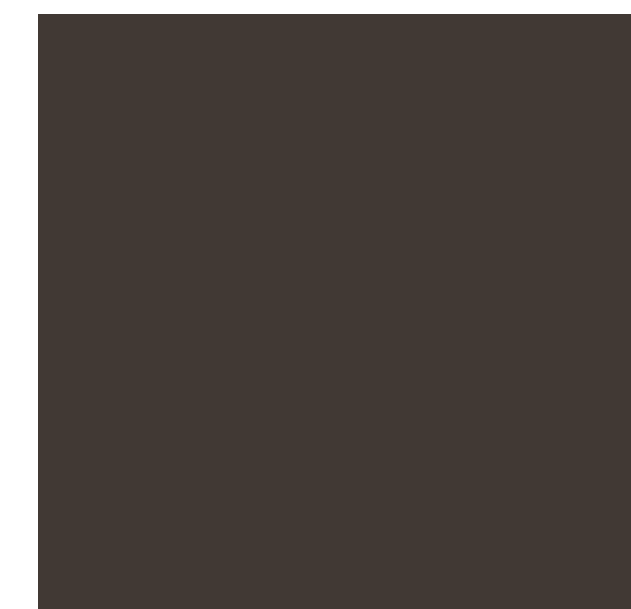


3 PHOTO - EXISTING PUBLIC FRONT ENTRANCE
SCALE: N/A



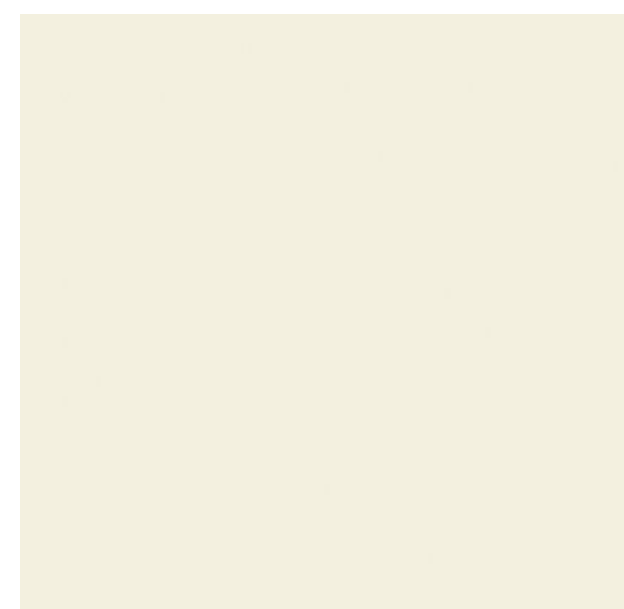
2 PHOTO - EXISTING DETAILS AT ENTRANCE DOOR + KNOX BOX
SCALE: N/A

EXISTING TO REMAIN PUBLIC ENTRANCE. FOR ALL ASSOCIATED ELEMENTS, FIRE ALARM DEVICES + SIGNAGE, SEE DRAWINGS DM-201 + A-201 FOR PROPOSED SCOPE OF WORK. FOR PROPOSED MATCH TO EXISTING PAINT COLOR SEE COLOR INFO C2-THIS SHEET.



AT FRONT FACADE ENTRANCE DOOR:
BM NIGHT SHADE #2116-10

C2 PROPOSED ENTRANCE DOOR COLOR
SCALE: N/A



AT FRONT FACADE WINDOWS + ENTRANCE DOOR FRAME + TRIMS: BM IVORY WHITE #925

C1 PROPOSED WINDOW COLOR
SCALE: N/A



1 PHOTO - EXISTING FRONT FACADE AND FRONT YARD @ 170 BEACON STREET
SCALE: N/A

PROPOSED LOCATION FOR NEW SIGNAGE TO EXISTING ACCESSIBLE REFERENCE AT ENTRANCE FROM BACK STREET SIDE; SEE DRAWING A-201 FOR LOCATION + INFO

EXISTING TO BE REPLACED MECH. LOUVER AT BASEMENT REPLACEMENT WINDOW BEHIND EXISTING TO REMAIN PTD ORIGINAL IRON GRILLE



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5 PHOTO - EXISTING 2ND FLOOR TERRACE
SCALE: N/A

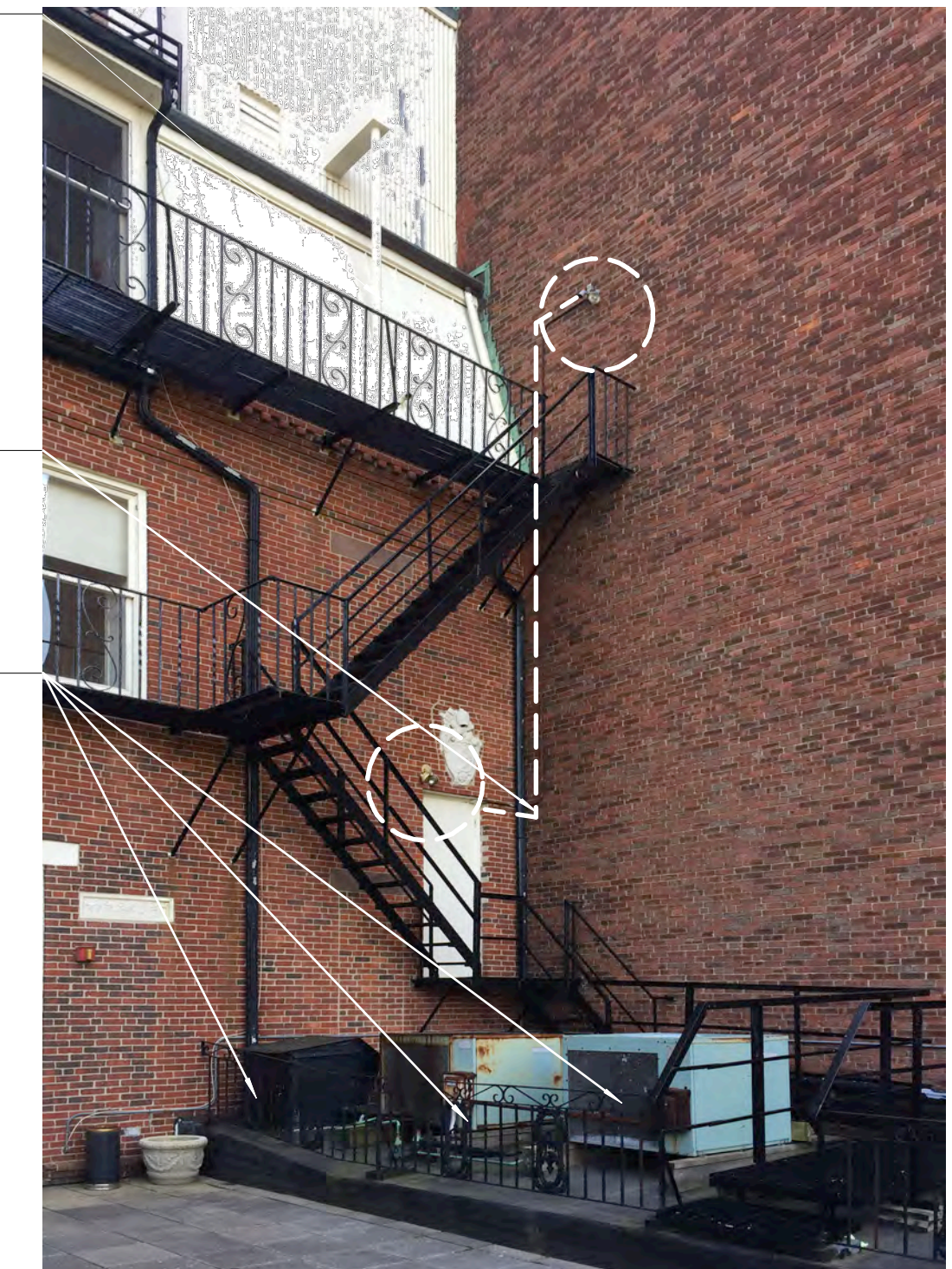


EXISTING EMERGENCY LIGHTS TO BE REPLACED W/ NEW AT EXISTING TO REMAIN JUNCTION BOX + EXPOSED CONDUIT; MTD. TO PARTY WALL FOR PROPER FUNCTION-RELATED LOCATION

PROPOSED PAINT TO MATCH STEEL LINTELS DENOTED UNDER PHOTO #5

EXISTING EMERGENCY LIGHT TO BE REPLACED W/ NEW AT EXISTING TO RECESSED JUNCTION BOX

EXISTING CONDENSER UNIT, ALL ASSOCIATED COMPONENTS + PIPING TO BE REMOVED FOR DISPOSAL



4 PHOTO - EXISTING MECH EQUIPMENT AT 2ND FLOOR TERRACE
SCALE: N/A

GENERAL NOTES:

1. FOR WINDOW SCHEDULE, ELEVATIONS, DETAILS AND POINTING OF JOINTS AT WINDOW SURROUNDS, REFER TO SCOPE OF WORK SHOWN ON FACADE RESTORATION DWG SHEET A-211 AND WINDOW DETAILS DWG SHEET A-212.

FOR EXISTING REAR FACADE COLOR SCHEME SEE EXISTING REAR FACADE ELEVATION 2/DM-201. FOR PROPOSED COLOR SCHEME SEE PROPOSED REAR FACADE ELEVATION DRAWING 2/A-201.

PROPOSED WOOD WINDOW PAINT COLOR AT REAR FACADE: MATCH TO BM #1603 (GRAPHITE); SEE COLOR INFO C4-THIS SHEET

2. FOR ALL STONE AND MASONRY CLEANING, REPAIRS AND/OR REPLACEMENTS REFER TO SCOPE OF WORK SHOWN ON FACADE RESTORATION DWG A-211.

3. FOR ALL METAL REPAIRS INDICATED ON THIS DRAWING, SEE FACADE RESTORATION DWG A-211 FOR FURTHER INFORMATION ON SCOPE OF WORK PROPOSED.

EXISTING TO REMAIN EXPOSED STEEL LINTEL TO BE SCRAPPED + RECOATED W/ EXTERIOR TYPE PAINT; PROPOSED COLOR TO MATCH EXISTING STEEL LINTEL AT FIRST FLOOR LOCATION; BM SPANISH RED #1301

EXISTING TO REMAIN PTD WOOD WINDOW / DOOR UNIT; REPAIR IN-SWING FRENCH DOORS + OUT-SWING SCREEN WOOD DOORS FOR PROPER WORKING ORDER. REMOVE LOOSE PAINT; RE-FINISH TO MATCH TYPICAL COLOR + FINISH PROPOSED FOR REPLACEMENT WINDOWS.

EXISTING ACCESSIBLE PUBLIC ENTRANCE W/ ELECTRICAL / SECURITY DEVICES. SEE DRAWINGS 2/DM-201, 2/A-201, AND GENERAL NOTES FOR PROPOSED WORK

EXISTING CONDENSER UNIT, ALL ASSOCIATED COMPONENTS + PIPING TO BE REMOVED FOR DISPOSAL

EXISTING TO REMAIN MARBLE ELEMENT; CLEAN PER GENERAL NOTES / DWG A-211



3 PHOTO - EXISTING CONDENSER UNIT AT YARD
SCALE: N/A



2 PHOTO - EXISTING ACCESSIBLE PUBLIC ENTRANCE
SCALE: N/A



1 PHOTO - EXISTING REAR FACADE AND REAR YARD
SCALE: N/A



C4 PROPOSED WINDOW COLOR
SCALE: N/A



C3 PROPOSED STEEL LINTEL COLOR
SCALE: N/A

Issue / Revisions

06-06-2017 PROGRESS PRINT
06-16-2017 BLC APPLICATION

Phase
SCHEMATIC DESIGN

Project
GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116

Drawing Title
PHOTOS - EXISTING CONDITIONS
REAR FACADE + YARD

Drawing Number

A-024.00

DRAWN BY: SK,AR
DATE: 04-11-2017
SCALE: 1/4" = 1'-0"



NEIGHBORING BUILDINGS WITH
DARK BRICK MASONRY FACADES
+ DARK COLORED WINDOWS

FROM LEFT TO RIGHT:
- 162 BEACON STREET
- 164 BEACON STREET
- 166 BEACON STREET
- 168 BEACON STREET



PROJECT LOCATION:
170 BEACON STREET



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3 PHOTOS / BACK BAY NEIGHBORHOOD - REAR FACADES SEEN AS REPRESENTATIVE SAMPLES FOR DARK BRICK FACADES WITH DARK COLORED ELEMENTS
SCALE: N/A

2 PHOTO - REAR NEIGHBORING FACADES WITH VIEW FROM BACK STREET
SCALE: N/A



168 BEACON STREET 170 BEACON STREET PROJECT LOCATION 172 BEACON STREET

Issue / Revisions
06-06-2017 PROGRESS PRINT
06-16-2017 BLC APPLICATION

Phase
SCHEMATIC DESIGN

Project
GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116

Drawing Title
**PHOTOS - EXISTING CONDITIONS
NEIGHBORHOOD CONTEXT**

Drawing Number
A-025.00
DRAWN BY: SK,AR
DATE: 04-11-2017
SCALE: 1/4" = 1'-0"

1 PANORAMA PHOTO - BLOCK REAR FACADES WITH VIEW FROM STORROW DRIVE
SCALE: N/A



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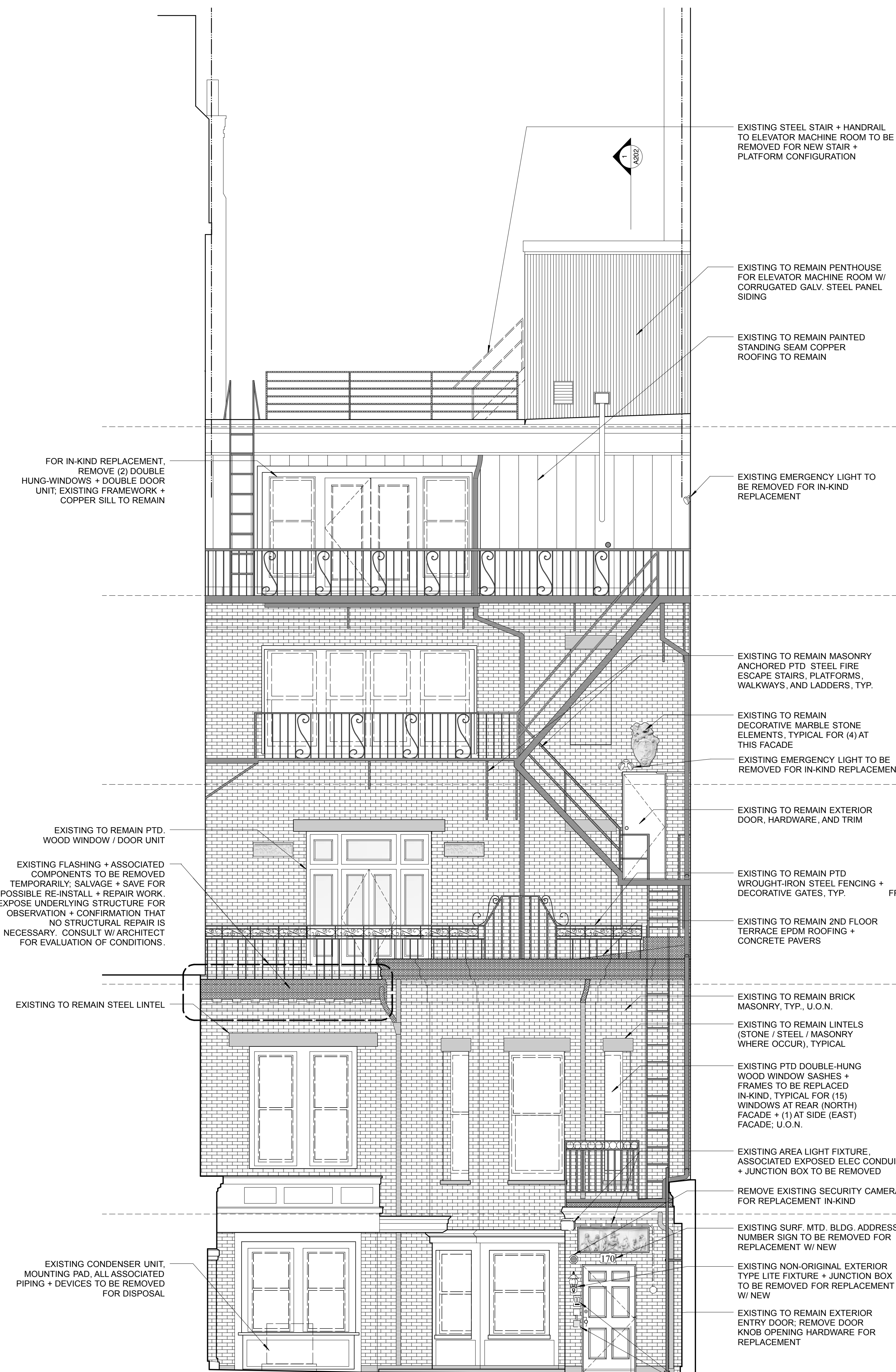
info@karoarchitects.com

LEGEND:

□ AREA OF PROPOSED WORK

GENERAL NOTES (DEMOLITION):

1. FOR WINDOW / DOOR REPLACEMENTS PROPOSED REFER TO SCOPE OF WORK SHOWN ON FACADE RESTORATION DWG A-211 AND WINDOW DETAILS DWG A-212.
2. FOR ALL STONE AND MASONRY CLEANING, REPAIRS AND/OR REPLACEMENTS REFER TO SCOPE OF WORK SHOWN ON FACADE RESTORATION DWG A-211.
3. FOR ALL METAL REPAIRS INDICATED ON THIS DRAWING, SEE FACADE RESTORATION DWG A-211 FOR FURTHER INFORMATION ON SCOPE OF WORK PROPOSED.
4. FOR PROJECT LOCATION SEE SHEET A-021.
5. FOR EXISTING CONDITIONS PHOTOS + NOTES SEE SHEETS A-022 THRU A-25, AS WELL AS A-213 + A-214.



FOR IN-KIND REPLACEMENT, REMOVE (2) DOUBLE HUNG-WINDOWS + DOUBLE DOOR UNIT, EXISTING FRAMEWORK + COPPER SILL TO REMAIN

EXISTING TO REMAIN PTD. WOOD WINDOW / DOOR UNIT
EXISTING FLASHING + ASSOCIATED COMPONENTS TO BE REMOVED TEMPORARILY; SALVAGE + SAVE FOR POSSIBLE RE-INSTALL + REPAIR WORK. EXPOSE UNDERLYING STRUCTURE FOR OBSERVATION + CONFIRMATION THAT NO STRUCTURAL REPAIR IS NECESSARY. CONSULT W/ ARCHITECT FOR EVALUATION OF CONDITIONS.

EXISTING TO REMAIN STEEL LINTEL

EXISTING CONDENSER UNIT, MOUNTING PAD, ALL ASSOCIATED PIPING + DEVICES TO BE REMOVED FOR DISPOSAL

EXISTING STEEL STAIR + HANDRAIL TO ELEVATOR MACHINE ROOM TO BE REMOVED FOR NEW STAIR + PLATFORM CONFIGURATION

EXISTING TO REMAIN PENTHOUSE FOR ELEVATOR MACHINE ROOM W/ CORRUGATED GALV. STEEL PANEL SIDING

EXISTING TO REMAIN PAINTED STANDING SEAM COPPER ROOFING TO REMAIN

EXISTING EMERGENCY LIGHT TO BE REMOVED FOR IN-KIND REPLACEMENT

EXISTING TO REMAIN MASONRY ANCHORED PTD STEEL FIRE ESCAPE STAIRS, PLATFORMS, WALKWAYS, AND LADDERS, TYP.

EXISTING TO REMAIN DECORATIVE MARBLE STONE ELEMENTS, TYPICAL FOR (4) AT THIS FACADE

EXISTING EMERGENCY LIGHT TO BE REMOVED FOR IN-KIND REPLACEMENT

EXISTING TO REMAIN EXTERIOR DOOR, HARDWARE, AND TRIM

EXISTING TO REMAIN PTD WROUGHT-IRON STEEL FENCING + DECORATIVE GATES, TYP.

EXISTING TO REMAIN 2ND FLOOR TERRACE EPDM ROOFING + CONCRETE PAVERS

EXISTING TO REMAIN BRICK MASONRY, TYP., U.O.N.

EXISTING TO REMAIN LINTELS (STONE / STEEL / MASONRY WHERE OCCUR), TYPICAL

EXISTING PTD DOUBLE-HUNG WOOD WINDOW SASHES + FRAMES TO BE REPLACED IN-KIND, TYPICAL FOR (15) WINDOWS AT REAR (NORTH) FACADE + (1) AT SIDE (EAST) FACADE; U.O.N.

EXISTING AREA LIGHT FIXTURE, ASSOCIATED EXPOSED ELEC CONDUIT + JUNCTION BOX TO BE REMOVED

REMOVE EXISTING SECURITY CAMERA FOR REPLACEMENT IN-KIND

EXISTING SURF. MTD. BLDG. ADDRESS NUMBER SIGN TO BE REMOVED FOR REPLACEMENT W/ NEW

EXISTING NON-ORIGINAL EXTERIOR TYPE LITE FIXTURE + JUNCTION BOX TO BE REMOVED FOR REPLACEMENT W/ NEW

EXISTING TO REMAIN EXTERIOR ENTRY DOOR; REMOVE DOOR KNOB OPENING HARDWARE FOR REPLACEMENT

EXISTING TO BE REMOVED SURF. MTD. DOOR OPENER + INTERCOM SPEAKER

ALL EXISTING ROOF EQUIPMENT + ASSOCIATED DUCTWORK TO BE REMOVED. FOR EXTENT + LOCATION OF EXISTING UNITS SEE DWG SHEET A-022, PHOTO #3

EXISTING TO REMAIN LIMESTONE PARAPET; AT PIERS REMOVE ALL FAILED CRACK SEALS FOR RE-SEAL

EXISTING GUTTER TO BE REMOVED TO EXPOSE BELOW STONE CONDITIONS FOR INSPECTION BY ARCHITECT; PREPARE FOR FLASHING REPAIRS + REPLACEMENT AS REQUIRED

EXISTING TO REMAIN COPPER DOWNSPOUT

EXISTING NON-ORIGINAL PTD TRUE DIVIDED LITE WOOD WINDOW SASHES, FRAMES + BRICK MOLD TO BE REMOVED FOR REPLACEMENT IN-KIND.

EXISTING TO REMAIN SIGN BY OWNER: 'GOETHE-INSTITUT'

EXISTING TO REMAIN ALERT BEACON; REMOVE EXPOSED CONDUIT

EXISTING TO REMAIN RED COLORED 'KNOX BOX' KEY BOX

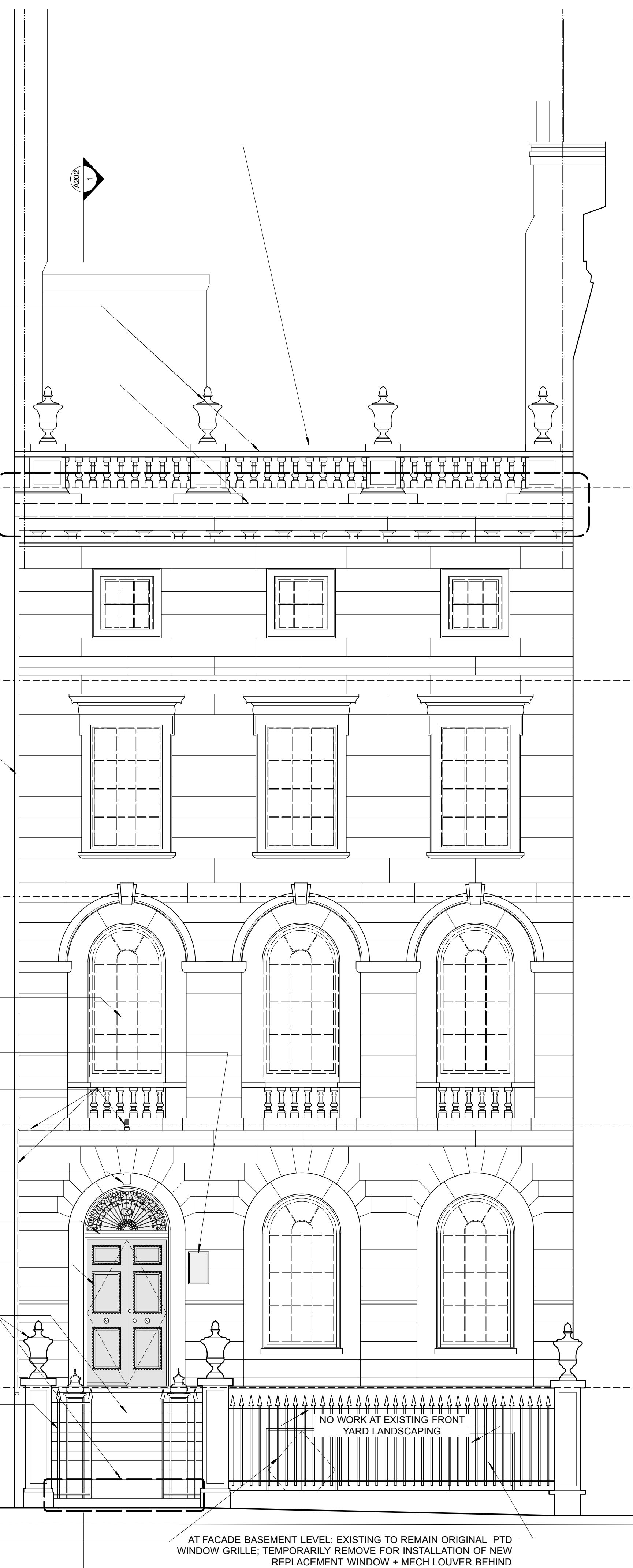
EXISTING TO REMAIN ORIGINAL PTD WROUGHT-IRON WINDOW GRILLE + WOOD WINDOW BEHIND

EXISTING TO REMAIN ORIGINAL EXTERIOR SOLID WOOD DOUBLE ENTRY DOOR

EXISTING TO REMAIN LIMESTONE STOOP, POSTS + DECORATIVE ELEMENTS; REMOVE CRACKED PORTION OF 1ST LIMESTONE STEP FOR REPLACEMENT

EXISTING TO REMAIN PAINTED WROUGHT-IRON STEEL GATE, FENCING + HANDRAILS, TYP.

EXISTING TO REMAIN FIRE EXIT WINDOW UNIT

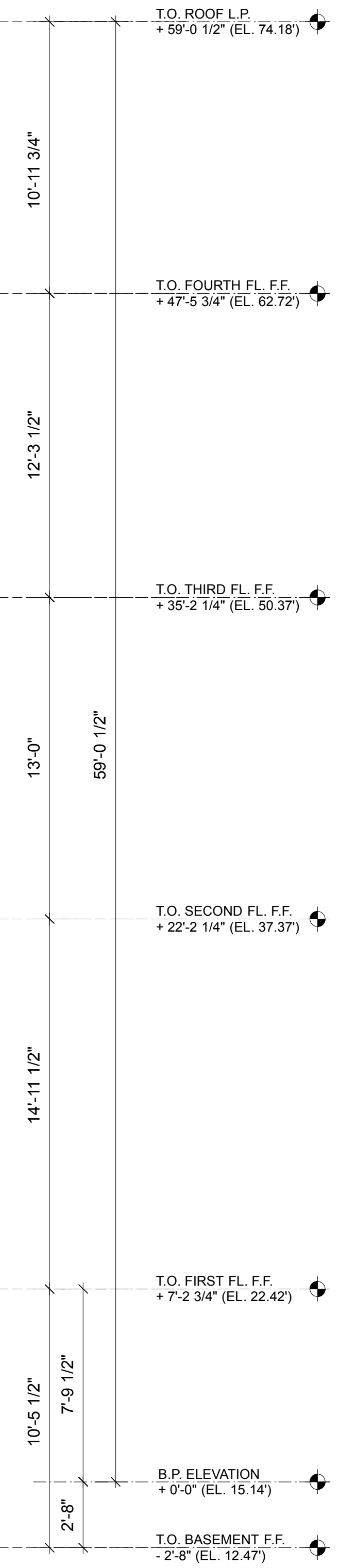


AT FACADE BASEMENT LEVEL: EXISTING TO REMAIN ORIGINAL PTD WINDOW GRILLE; TEMPORARILY REMOVE FOR INSTALLATION OF NEW REPLACEMENT WINDOW + MECH LOUVER BEHIND

NO WORK AT EXISTING FRONT YARD LANDSCAPING

1 EXISTING FRONT FACADE
SCALE: 1/4"=1'-0"

2 EXISTING REAR FACADE
SCALE: 1/4"=1'-0"



Issue / Revisions

05-01-2017	BACKGROUNDS
05-17-2017	521 CWR REVIEW
06-06-2017	PROGRESS PRINT
06-16-2017	BLC APPLICATION

Phase
SCHEMATIC DESIGN

Project
GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116

Drawing Title
FACADE ELEVATIONS - EXISTING

Drawing Number
DM-201.00

DRAWN BY: SK,AR
DATE: 04-11-2017
SCALE: 1/4" = 1'-0"



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LEGEND:

◊XXXX WINDOW IDENTIFICATION TAG

◊XXXX DOOR IDENTIFICATION TAG

□ AREA OF PROPOSED WORK

GENERAL NOTES (CONSTRUCTION):

1. FOR WINDOW SCHEDULE, ELEVATIONS, DETAILS AND REPOINTING OF JOINTS AT WINDOW SURROUNDS, REFER TO SCOPE OF WORK SHOWN ON FACADE RESTORATION DWG A-211 AND WINDOW DETAILS DWG A-212.

2. FOR ALL STONE AND MASONRY CLEANING, REPAIRS AND/OR REPLACEMENTS REFER TO SCOPE OF WORK SHOWN ON FACADE RESTORATION DWG A-211.

3. FOR ALL METAL REPAIRS INDICATED ON THIS DRAWING, SEE FACADE RESTORATION DWG A-211 FOR FURTHER INFORMATION ON SCOPE OF WORK PROPOSED.

4. FOR PROJECT LOCATION + SIGHT LINE DIAGRAM SEE SHEET A-021.

5. FOR EXISTING CONDITIONS PHOTOS + NOTES SEE SHEETS A-022 THRU A-025, AS WELL AS A-213 + A-214.

T.O. ROOF L.P.
+ 59'-0 1/2" (EL. 74.18)

10'-11 3/4"

T.O. FOURTH FL. F.F.
+ 47'-5 3/4" (EL. 62.72)

12'-3 1/2"

T.O. THIRD FL. F.F.
+ 35'-2 1/4" (EL. 50.37)

13'-0"

T.O. SECOND FL. F.F.
+ 22'-2 3/4" (EL. 37.37)

14'-11 1/2"

T.O. FIRST FL. F.F.
+ 7'-2 3/4" (EL. 22.42)

10'-5 1/2"

B.P. ELEVATION
+ 0'-0" (EL. 15.14)

T.O. BASEMENT F.F.
- 2'-8" (EL. 12.47)

Issue / Revisions

05-01-2017	BACKGROUND
05-17-2017	S21 CWR REVIEW
06-06-2017	PROGRESS PRINT
06-16-2017	BLC APPLICATION

Phase

SCHEMATIC DESIGN

Project

GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116

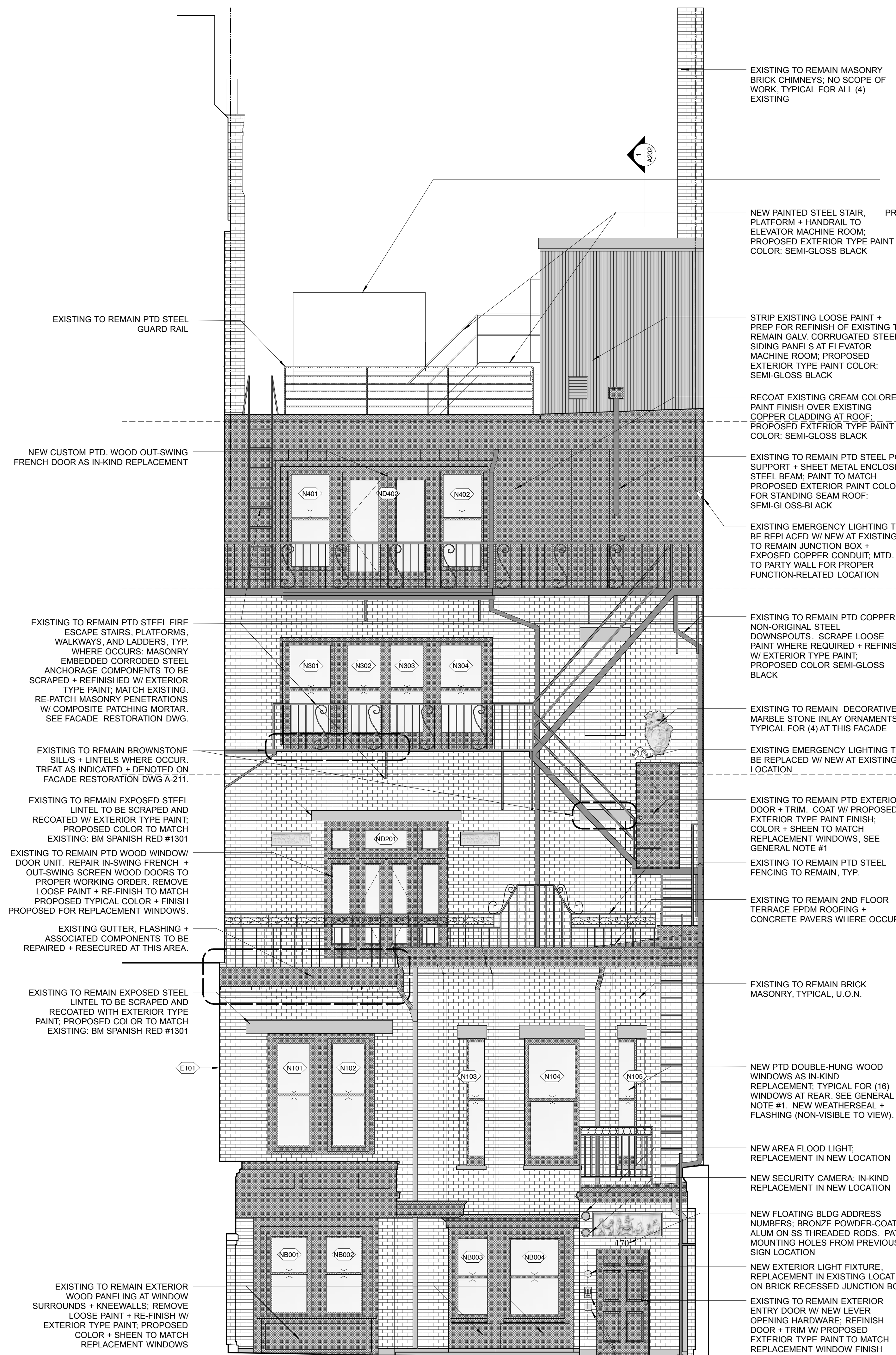
Drawing Title

FACADE ELEVATIONS - PROPOSED

Drawing Number

A-201.00

DRAWN BY: SK,AR
DATE: 04-11-2017
SCALE: 1/4" = 1'-0"



EXISTING TO REMAIN MASONRY BRICK CHIMNEYS; NO SCOPE OF WORK, TYPICAL FOR ALL (4) EXISTING

PROPOSED NEW OUTDOOR AIR UNIT. SEE DWG A-202 FOR MORE INFO

NEW PAINTED STEEL STAIR, PLATFORM + HANDRAIL TO ELEVATOR MACHINE ROOM; PROPOSED EXTERIOR TYPE PAINT COLOR: SEMI-GLOSS BLACK

PROPOSED NEW AIR-COOLED CHILLER UNIT; SEE DWG A-202 FOR MORE INFO

EXISTING TO REMAIN LIMESTONE PARAPET; SEAL ALL CRACKS + OPEN SKYWARD FACING JOINTS.

REPAIR/ REPLACE EXISTING GUTTER + FLASHING AS REQUIRED

STRIP EXISTING LOOSE PAINT + PREP FOR REFINISH OF EXISTING TO REMAIN GALV. CORRUGATED STEEL SIDING PANELS AT ELEVATOR MACHINE ROOM; PROPOSED EXTERIOR TYPE PAINT COLOR: SEMI-GLOSS BLACK

RECOAT EXISTING CREAM COLORED PAINT FINISH OVER EXISTING COPPER CLADDING AT ROOF; PROPOSED EXTERIOR TYPE PAINT COLOR: SEMI-GLOSS BLACK

EXISTING TO REMAIN PTD STEEL POST SUPPORT + SHEET METAL ENCLOSED STEEL BEAM; PAINT TO MATCH PROPOSED EXTERIOR PAINT COLOR FOR STANDING SEAM ROOF; SEMI-GLOSS BLACK

EXISTING EMERGENCY LIGHTING TO BE REPLACED W/ NEW AT EXISTING TO REMAIN JUNCTION BOX + EXPOSED COPPER CONDUIT; MTD. TO PARTY WALL FOR PROPER FUNCTION-RELATED LOCATION

EXISTING TO REMAIN PTD COPPER + NON-ORIGINAL STEEL DOWNSPOUTS. SCRAPE LOOSE PAINT WHERE REQUIRED + REFINISH W/ EXTERIOR TYPE PAINT; PROPOSED COLOR SEMI-GLOSS BLACK

EXISTING TO REMAIN DECORATIVE MARBLE STONE INLAY ORNAMENTS, TYPICAL FOR (4) AT THIS FACADE

EXISTING EMERGENCY LIGHTING TO BE REPLACED W/ NEW AT EXISTING LOCATION

EXISTING TO REMAIN PTD EXTERIOR DOOR + TRIM. COAT W/ PROPOSED EXTERIOR TYPE PAINT FINISH; COLOR + SHEEN TO MATCH REPLACEMENT WINDOWS, SEE GENERAL NOTE #1

EXISTING TO REMAIN PTD STEEL FENCING TO REMAIN, TYP.

EXISTING TO REMAIN 2ND FLOOR TERRACE EPDM ROOFING + CONCRETE PAVERS WHERE OCCUR

EXISTING TO REMAIN BRICK MASONRY, TYPICAL, U.O.N.

NEW PTD DOUBLE-HUNG WOOD WINDOWS AS IN-KIND REPLACEMENT. TYPICAL FOR (16) WINDOWS AT REAR. SEE GENERAL NOTE #1. NEW WEATHERSEAL + FLASHING (NON-VISIBLE TO VIEW).

NEW AREA FLOOD LIGHT; REPLACEMENT IN NEW LOCATION

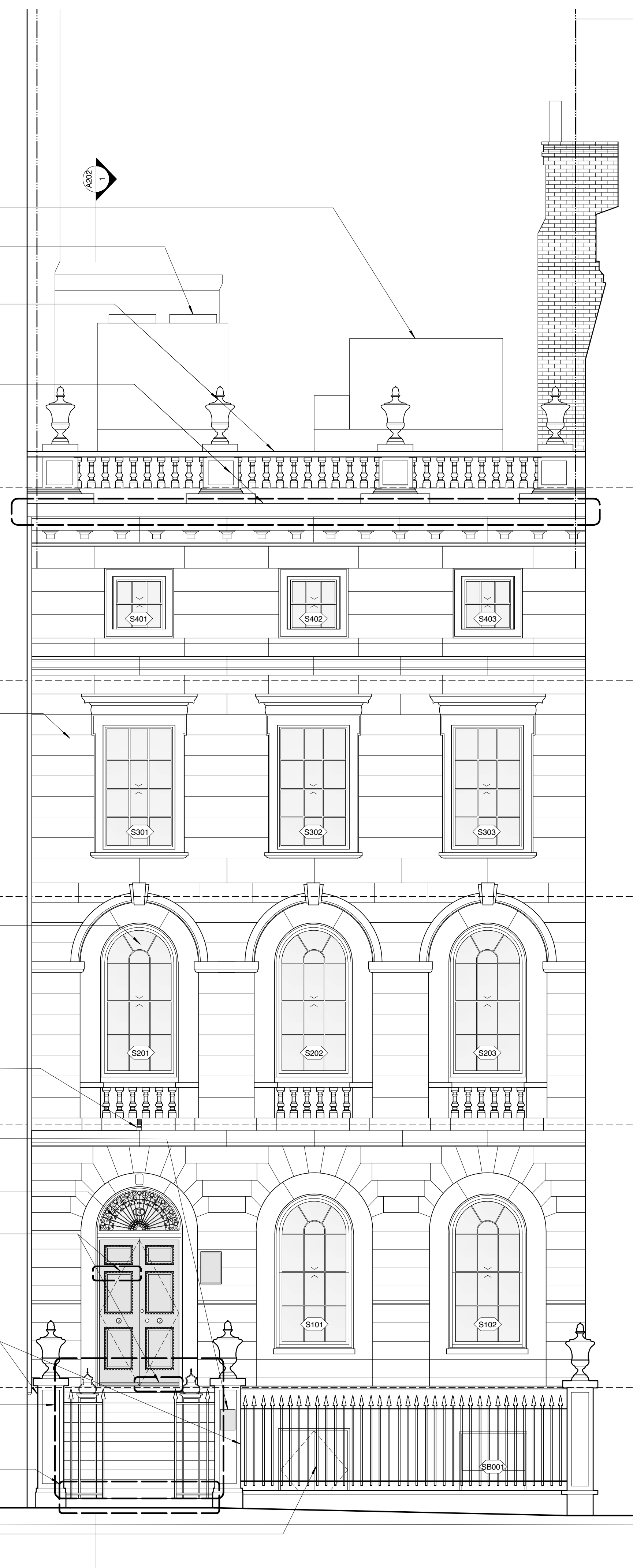
NEW SECURITY CAMERA; IN-KIND REPLACEMENT IN NEW LOCATION

NEW FLOATING BLDG ADDRESS NUMBERS; BRONZE POWDER-COATED ALUM ON SS THREADED RODS. PATCH MOUNTING HOLES FROM PREVIOUS SIGN LOCATION

NEW EXTERIOR LIGHT FIXTURE; REPLACEMENT IN EXISTING LOCATION ON BRICK RECESSED JUNCTION BOX

EXISTING TO REMAIN EXTERIOR ENTRY DOOR W/ NEW LEVER OPENING HARDWARE; REFINISH DOOR + TRIM W/ PROPOSED EXTERIOR TYPE PAINT TO MATCH REPLACEMENT WINDOW FINISH

NEW SURF. MTD. DOOR OPENER + INTERCOM SPEAKER OVER BRICK RECESSED JUNCTION BOX



REPAIR/ REPLACE EXISTING TO REMAIN LIMESTONE FACADE ELEMENTS WHERE REQUIRED; FILL CRACKS + RE-POINT JOINTS

NEW PTD TRUE DIVIDED LITE WOOD WINDOW SASHES, FRAMES, AND BRICK MOLDING, U.O.N. REPLACEMENT OF EXISTING IN-KIND; SEE GENERAL NOTE #1. INSTALL NEW WEATHERSEAL + FLASHING (NON-VISIBLE TO VIEW)

NEW DIRECT CONDUIT TO ALARM BEACON FROM INTERIOR 2ND FLOOR LOCATION

EXISTING TO REMAIN ORIGINAL ORNAMENTAL PAINTED WROUGHT-IRON WINDOW SCREEN + WOOD WINDOW

REPAIR + INSTALL MISSING WOOD COMPONENTS AT EXTERIOR ENTRY DOOR KICK + RECESSED PANEL TRIMS AS INDICATED; MATCH EXISTING DESIGN. SCRAPE LOOSE PAINT + REFINISH EXISTING DBL DOOR + FRAME W/ PAINT; MATCH EXISTING PAINT COLORS + SHEEN

PROPOSED RESTORATION AT SIDES OF EXISTING TO REMAIN LIMESTONE POSTS

RESTORATION OF EXISTING TO REMAIN PTD WROUGHT-IRON STEEL GATE + FENCE COMPONENTS NOTE: GATE NOT SHOWN ON ELEV DWG FOR CLARITY

PROPOSED REPAIR OF CRACKED EXISTING LIMESTONE STEP

REFINISH EXISTING TO REMAIN FIRE EXIT DOOR UNIT. MATCH TO PAINT PROPOSED FOR REPLACEMENT WINDOWS

2 PROPOSED REAR FACADE
SCALE: 1/4"=1'-0"

1 PROPOSED FRONT FACADE
SCALE: 1/4"=1'-0"


EXISTING TO REMAIN MASONRY BRICK CHIMNEYS: NO SCOPE OF WORK, TYPICAL FOR ALL (4) CHIMNEYS

PROPOSED NEW BATHROOM EXHAUST FAN (AT WESTERN ROOF PERIMETER), SIZE: 34 11/16"W x 20 15/16"H; UNIT PROPOSED WOULD NOT BE VISIBLE FROM STREET LEVEL

PROPOSED NEW AIR-COOLED CHILLER UNIT (89"L x 41"W x 78"H); UNIT PROPOSED WOULD NOT BE VISIBLE FROM STREET LEVEL. SEE SIGHT LINE DIAGRAM ON SHEET A-021

PROPOSED NEW OUTDOOR AIR UNIT (128.75"L x 96"W x 62"H); UNIT PROPOSED WOULD NOT BE VISIBLE FROM STREET LEVEL. SEE SIGHT LINE DIAGRAM ON SHEET A-021

NOTE: ALL EXISTING ROOF EQUIPMENT AND ASSOCIATED DUCTWORK TO BE REMOVED. FOR EXTENT + LOCATION OF EXISTING UNITS SEE DWG SHEET A-022, PHOTO #3

LEGEND:
 AREA OF PROPOSED WORK

GENERAL NOTES:
 SEE SHEET A-201



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EXISTING TO REMAIN EPDM ROOFING

REPAIR / REPLACE DAMAGED, MISSING + FAILED FLASHING ALONG THE EASTERN ROOF PERIMETER

OUTLINE OF EXISTING NEIGHBOR BUILDING BEYOND

EXISTING TO REMAIN MASONRY ANCHORED PTD STEEL FIRE ESCAPE STAIRS, PLATFORMS, WALKWAYS, AND LADDERS, TYP.

PROPOSED NEW ROOF-MOUNT STL ST KITCHEN EXHAUST FAN (FROM 1ST FLOOR RESIDENTIAL TYPE KITCHEN) + BATHROOM EXHAUST FAN (FROM BASEMENT) OVER FIXED WATERPROOF STL ST ROOF CURB; (1) KITCHEN EXHAUST FAN + (1) BATHROOM EXHAUST TOTAL; KITCHEN EXHAUST UNIT SIZE: 25 1/4"W x 20 3/16"H; BATHROOM EXHAUST UNIT SIZE: 21 1/8"W x 13 1/4"H

PROPOSED NEW CONDENSING UNIT (33 1/6"L x 13"W x 34 5/8"H) OVER ROOF CURB FOR SERVER ROOM AT BASEMENT

NOTE: (2) EXISTING CONDENSING UNITS + (1) EXHAUST DUCT TO BE REMOVED. FOR EXTENT + LOCATION OF EXISTING UNITS SEE DWG SHEET A-023, PHOTO #4

EXISTING TO REMAIN PTD. STEEL WALKWAY + GUARDRAIL

EXISTING TO REMAIN EPDM ROOFING

EXISTING TO REMAIN PTD. STEEL FENCING + DECORATIVE GATES

EXISTING TO REMAIN COPING STONE OVER PARTY WALL BRICK MASONRY ARCHES W/ STUCCO FINISH AT RECESSED NICHE; NO SCOPE OF WORK

T.O. ROOF H.P.
 + 61'-2 1/4" (EL. 76.33)

T.O. ROOF L.P.
 + 59'-0 1/2" (EL. 74.18)

EXISTING TO REMAIN LIMESTONE PARAPET; SEAL ALL CRACKS + OPEN SKYWARD FACING JOINTS

UPON REMOVAL FOR EXAMINATION OF BELOW CONDITIONS, REINSTALL EXISTING GUTTER + FLASHING; REPAIR AS REQUIRED

T.O. FOURTH FL. F.F.
 + 47'-5 3/4" (EL. 62.72)

T.O. THIRD FL. F.F.
 + 35'-2 1/4" (EL. 50.37)

T.O. SECOND FL. F.F.
 + 22'-2 1/4" (EL. 37.37)

T.O. FIRST FL. F.F.
 + 7'-2 3/4" (EL. 22.42)

B.P. ELEVATION
 + 0'-0" (EL. 15.14)

T.O. BASEMENT F.F.
 - 2'-8" (EL. 12.47)

Issue / Revisions

05-01-2017	BACKGROUNDS
05-08-2017	BACKGROUNDS
05-09-2017	GIBO REVIEW
05-11-2017	PROGRESS PRINT
05-17-2017	521 CMR REVIEW
06-06-2017	PROGRESS PRINT
06-16-2017	BLC APPLICATION

REPAIR EXISTING TO REMAIN LIMESTONE POSTS, WROUGHT IRON FENCE PER FACADE RESTORATION DWG; SEE GENERAL NOTES #2,3

AT EXISTING TO REMAIN LIMESTONE STOOP STEPS REMOVE CAULK FOR REPLACEMENT W/ MORTAR SEAL

EXISTING PUBLIC ENTRANCE

Phase
SCHEMATIC DESIGN

Project
GOETHE-INSTITUT BOSTON
 170 BEACON STREET
 BOSTON MA 02116

Drawing Title
BUILDING SECTION

Drawing Number
A-202.00

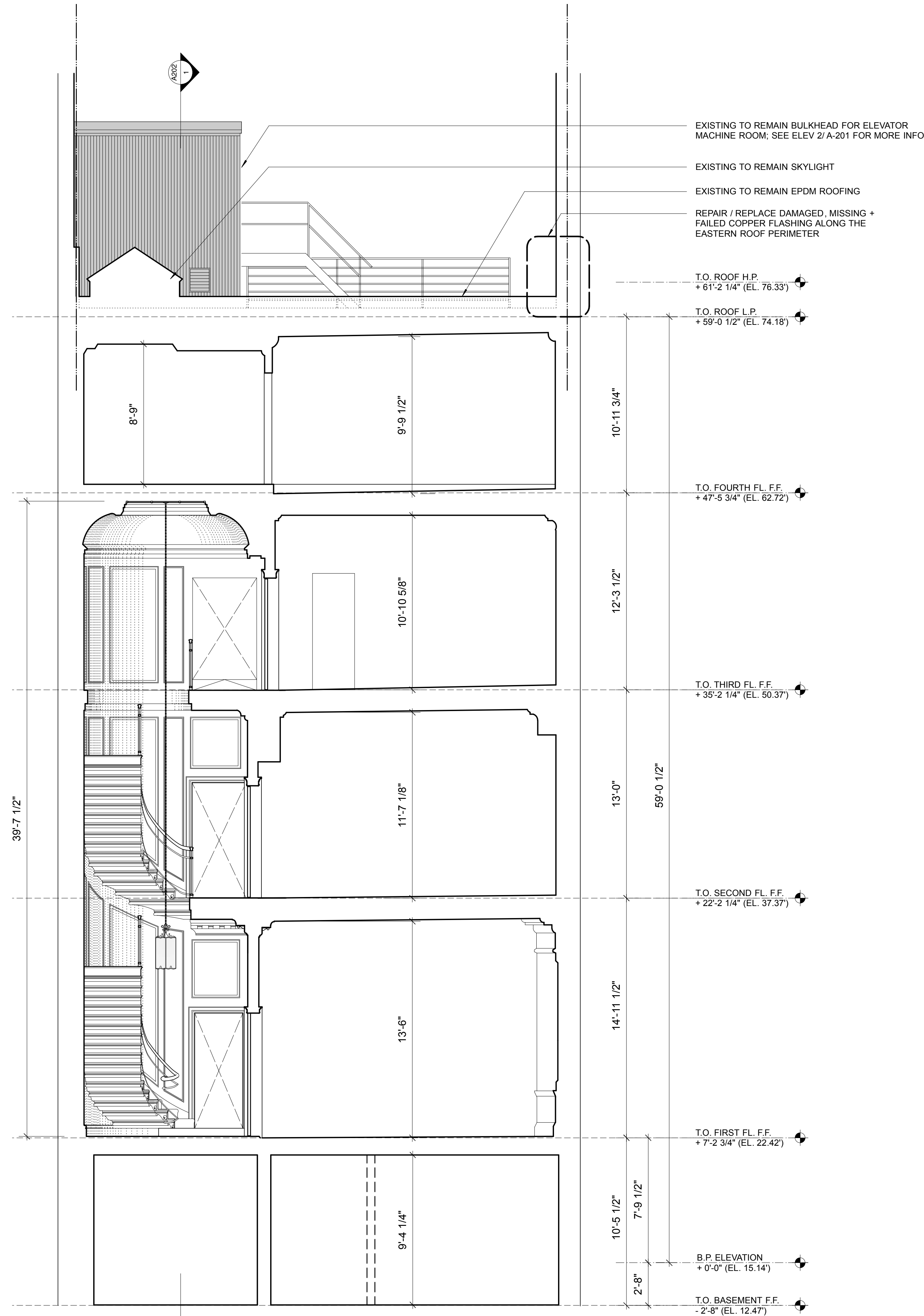
DRAWN BY: SK,AR
 DATE: 04-11-2017
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LEGEND:
 AREA OF PROPOSED WORK

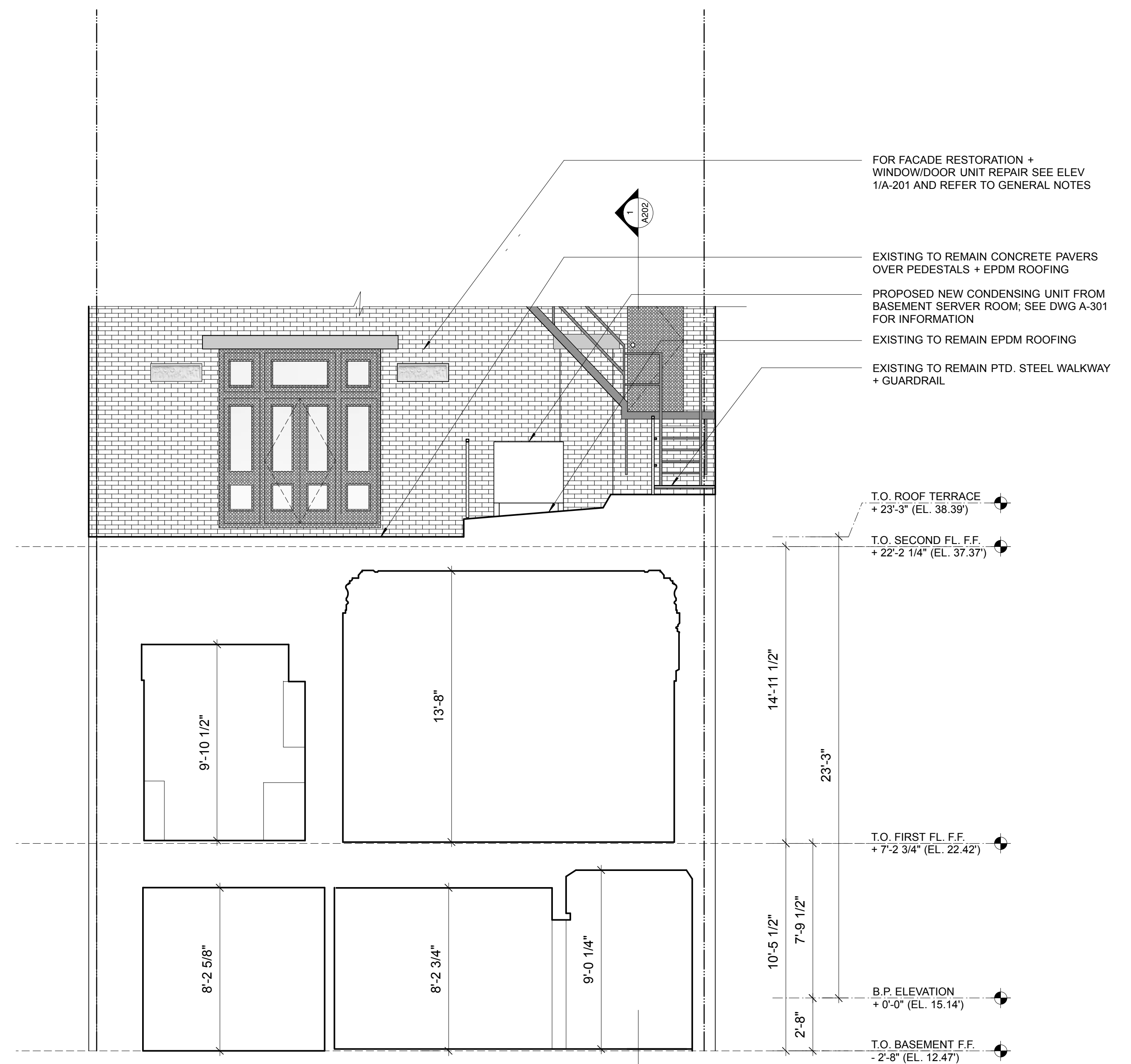
GENERAL NOTES:
 SEE SHEET A-201



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2 EXISTING BUILDING SECTION
 SCALE: 1/4"=1'-0"



1 EXISTING BUILDING SECTION
 SCALE: 1/4"=1'-0"

Issue / Revisions

05-01-2017	BACKGROUNDS
06-06-2017	PROGRESS PRINT
06-16-2017	ELC APPLICATION

Phase
SCHEMATIC DESIGN

Project
GOETHE-INSTITUT BOSTON
 170 BEACON STREET
 BOSTON MA 02116

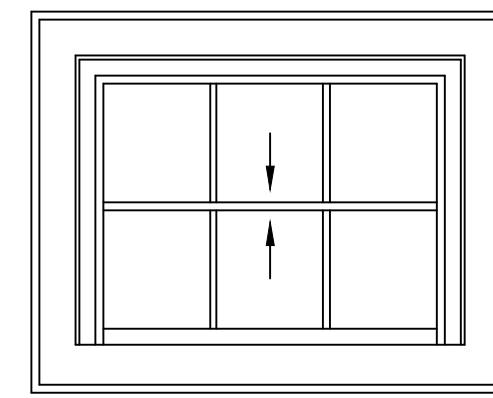
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BUILDING SECTIONS

Drawing Number

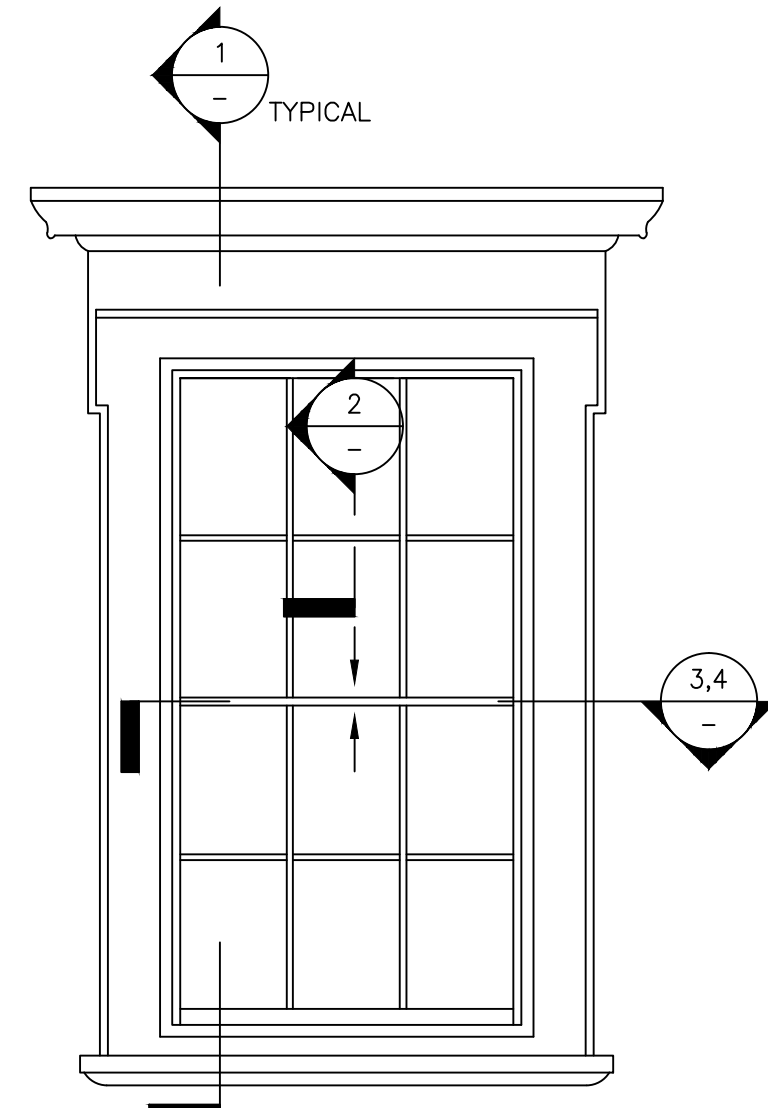
A-203.00
 DRAWN BY: SK,AR
 DATE: 04-11-2017
 SCALE: 1/4" = 1'-0"

Window	Type	Interior Width	Interior Height	Operation
SB001	A	4' 2-1/2"	3' 9-1/2"	Double Hung
S101	C	4'	8' 5-1/2"	Double Hung
S102	C	4'	8' 5-1/2"	Double Hung
S201	C	4'	8' 5-1/2"	Double Hung
S202	C	4'	8' 5-1/2"	Double Hung
S203	C	4'	8' 5-1/2"	Double Hung
S301	B	3' 8"	6' 11"	Double Hung
S302	B	3' 8"	6' 11"	Double Hung
S303	B	3' 8"	6' 11"	Double Hung
S401	A	3' 8"	3' 2-3/4"	Double Hung
S402	A	3' 8"	3' 2-3/4"	Double Hung
S403	A	3' 8"	3' 2-3/4"	Double Hung
NB001	D	TBD	TBD	Double Hung
NB002	D	TBD	TBD	Double Hung
NB003	D	TBD	TBD	Double Hung
NB004	D	4' 3"	5' 4"	Double Hung
N101	D	6' 4"	7' 7"	Double Hung
N102	D	6' 4"	7' 7"	Double Hung
N103	D	2' 2"	7' 7"	Double Hung
N104	D	3' 3"	7' 7"	Double Hung
N105	D	2' 2"	7' 7"	Double Hung
ND201	door unit	8' 2-1/2"	9'	Inswing, Double with Screen Doors Fixed Side/Transom
N301	D	3' 3"	6' 3-1/2"	Double Hung
N302	D	2' 5-1/2"	6' 3-1/2"	Double Hung
N303	D	2' 5-1/2"	6' 3-1/2"	Double Hung
N304	D	3' 3"	6' 3-1/2"	Double Hung
N401	D	3' 3"	5' 5"	Double Hung
ND402	door unit	6'	7' 1"	Inswing
N403	D	3' 3"	5' 5"	Double Hung
E101	D	3' 5-1/2"	7' 6-1/2"	Double Hung

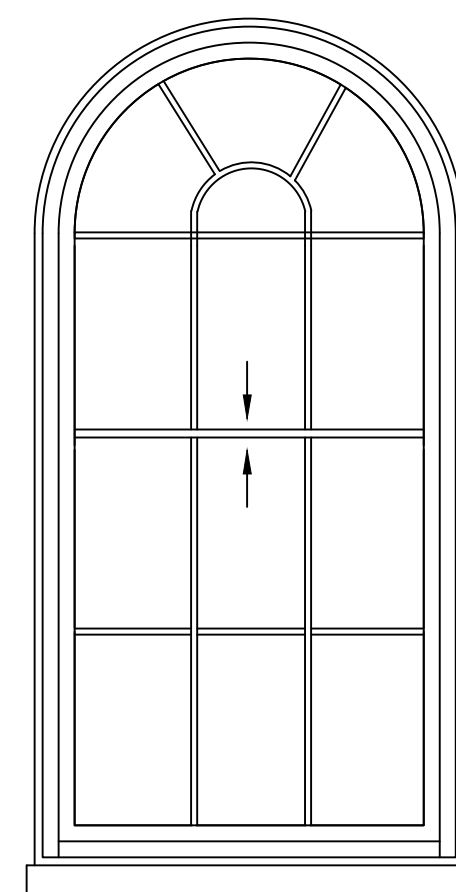
TYPE A



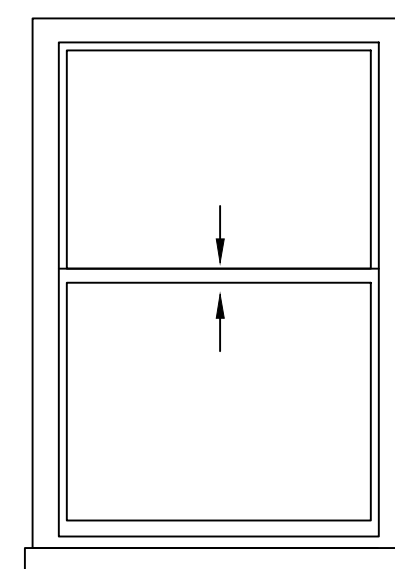
TYPE B



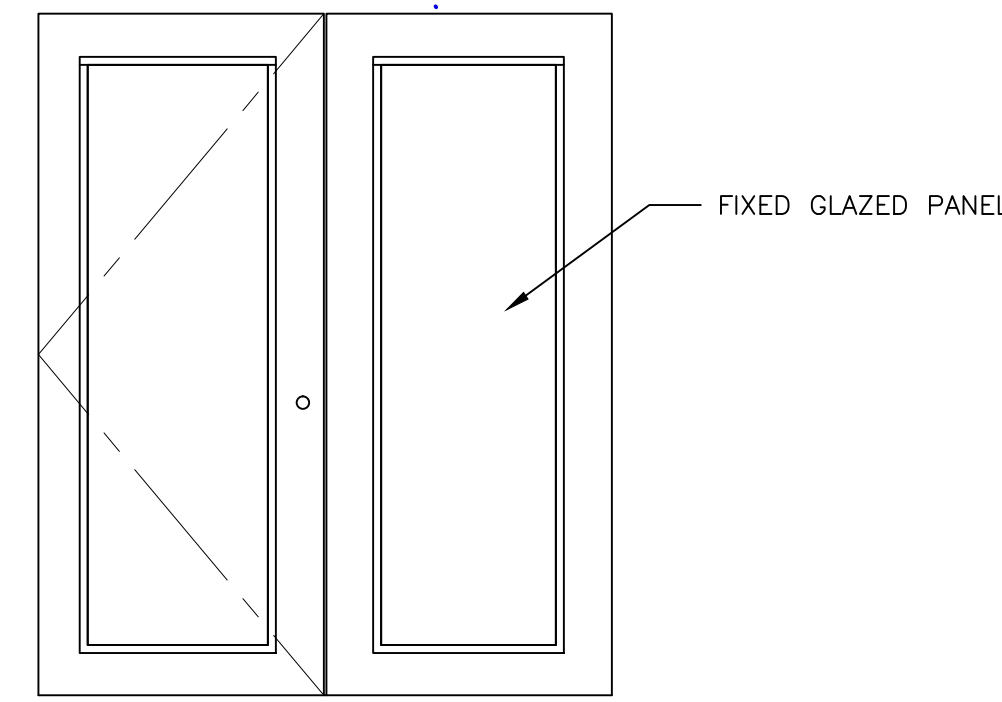
TYPE C



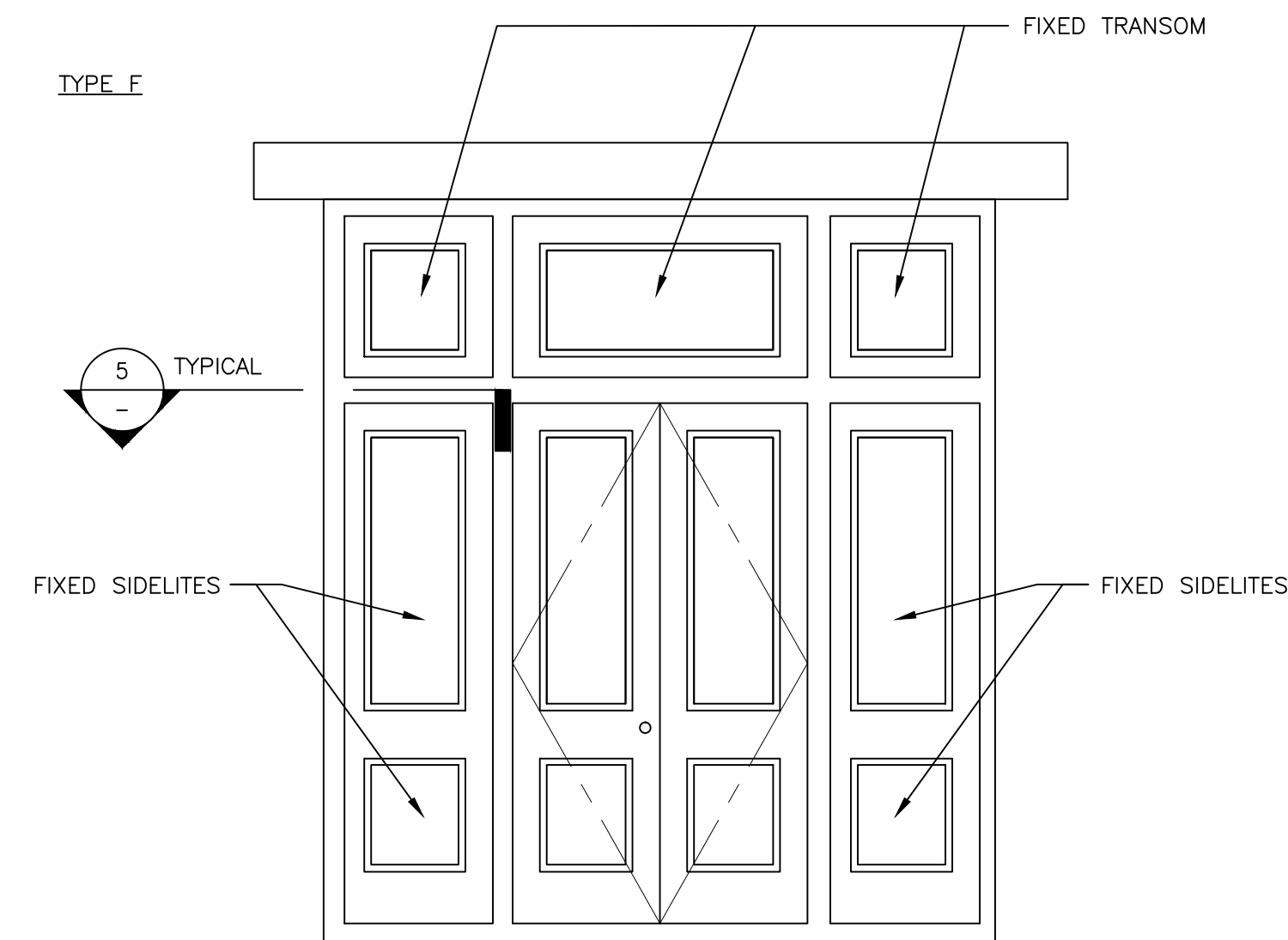
TYPE D (SIZE VARIES)



TYPE E

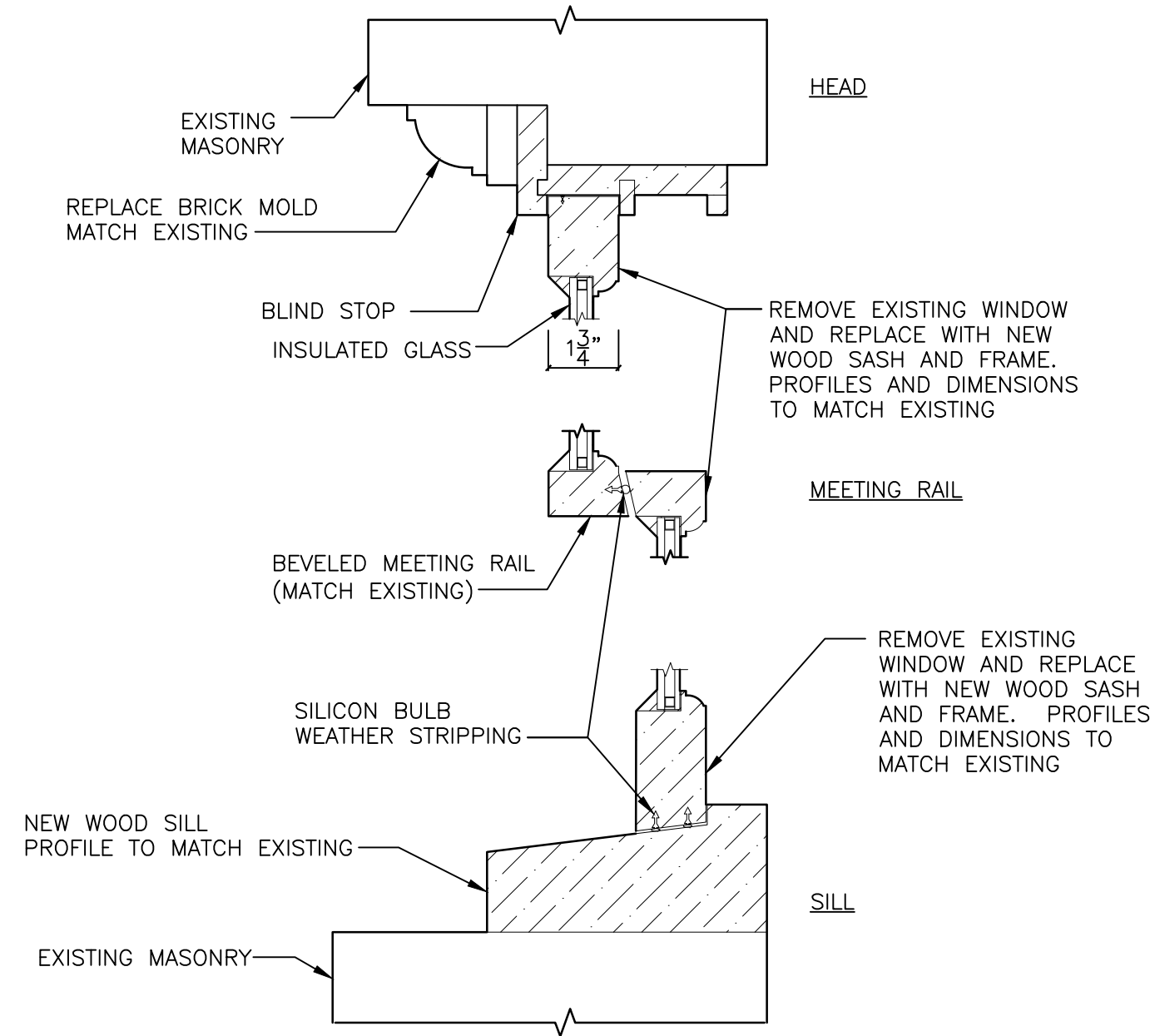


TYPE F

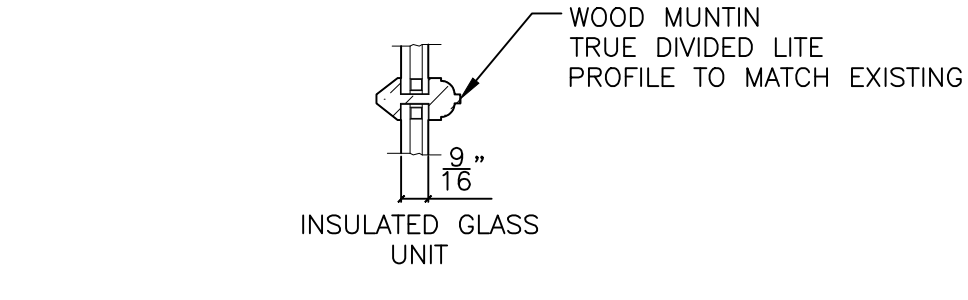


GENERAL NOTES

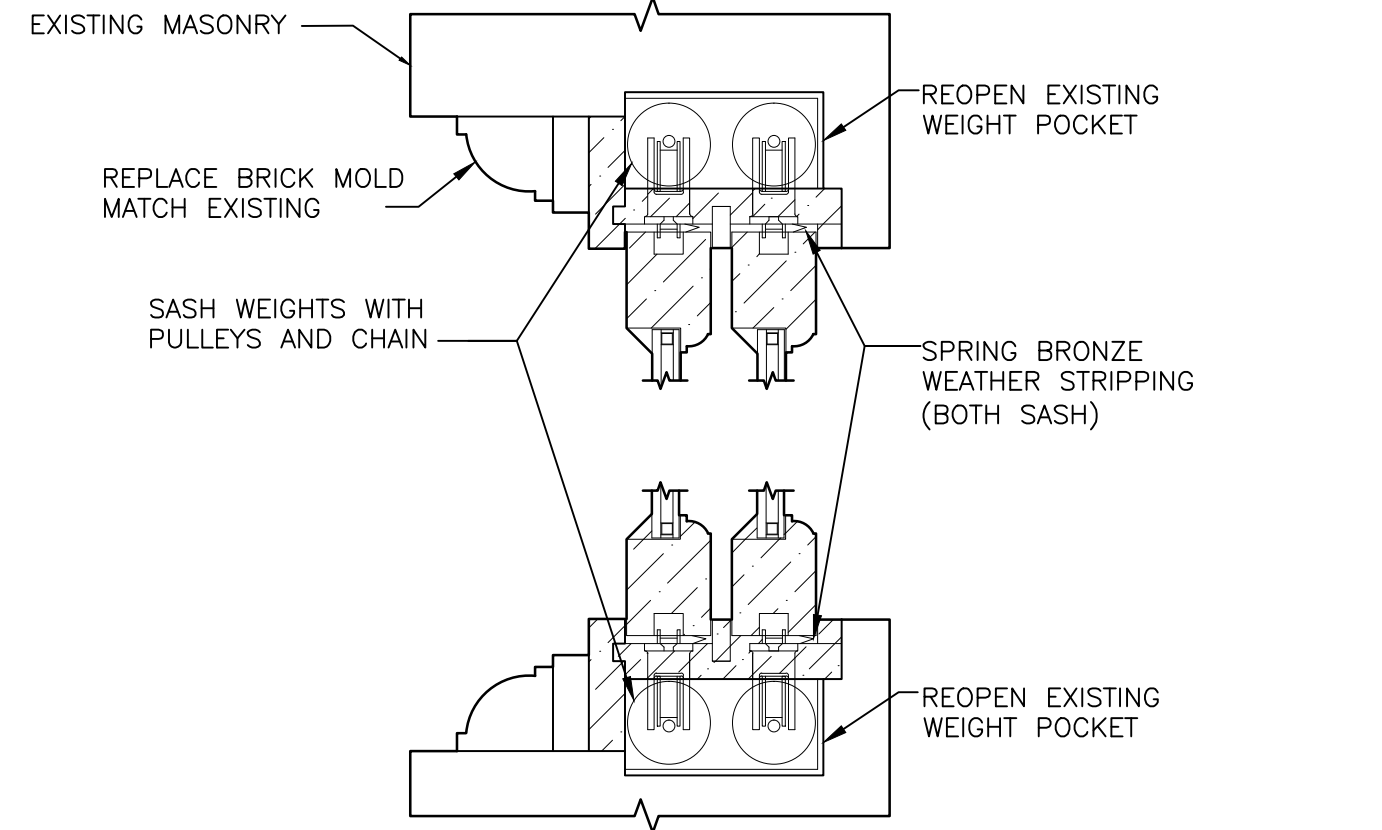
1. PLAN SHOWS DETAILING FOR OPERABLE SASH UNITS AND BRICK MOLD SECTION PROFILES.
2. TWO REPLACEMENT OPTIONS SHOWN - TRADITIONAL WEIGHTS AND CHAIN AND MODERN JAMB LINERS WITH SPRING OR SPIRAL BALANCES.
3. SASH AND MUNTIN PROFILE TO REPLICATE EXISTING WITH INSULATED GLASS UNITS.
4. REPLACEMENT SASH INCORPORATES SILICON BULB WEATHER STRIPPING AT WINDOW HEAD, SILL, MEETING RAIL; SPRING BRONZE AT JAMBS.
5. ALL EXISTING EXTERIOR TRIM TO REMAIN. REMOVE LOOSE PAINT AND REPAINT. COLOR - SOUTH ELEVATION: "CREAM" (COLOR BENJAMIN MOORE #925 "IVORY WHITE"); NORTH ELEVATION: "BLACK" (COLOR BENJAMIN MOORE #1603 "GRAPHITE").



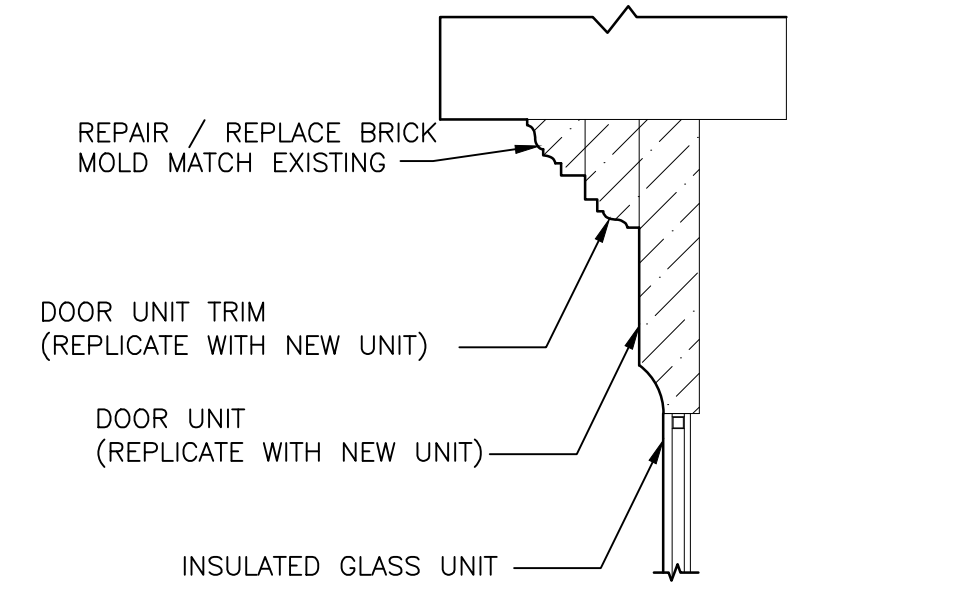
1 SASH SECTIONS (TYPICAL) SCALE: 3"=1'-0"



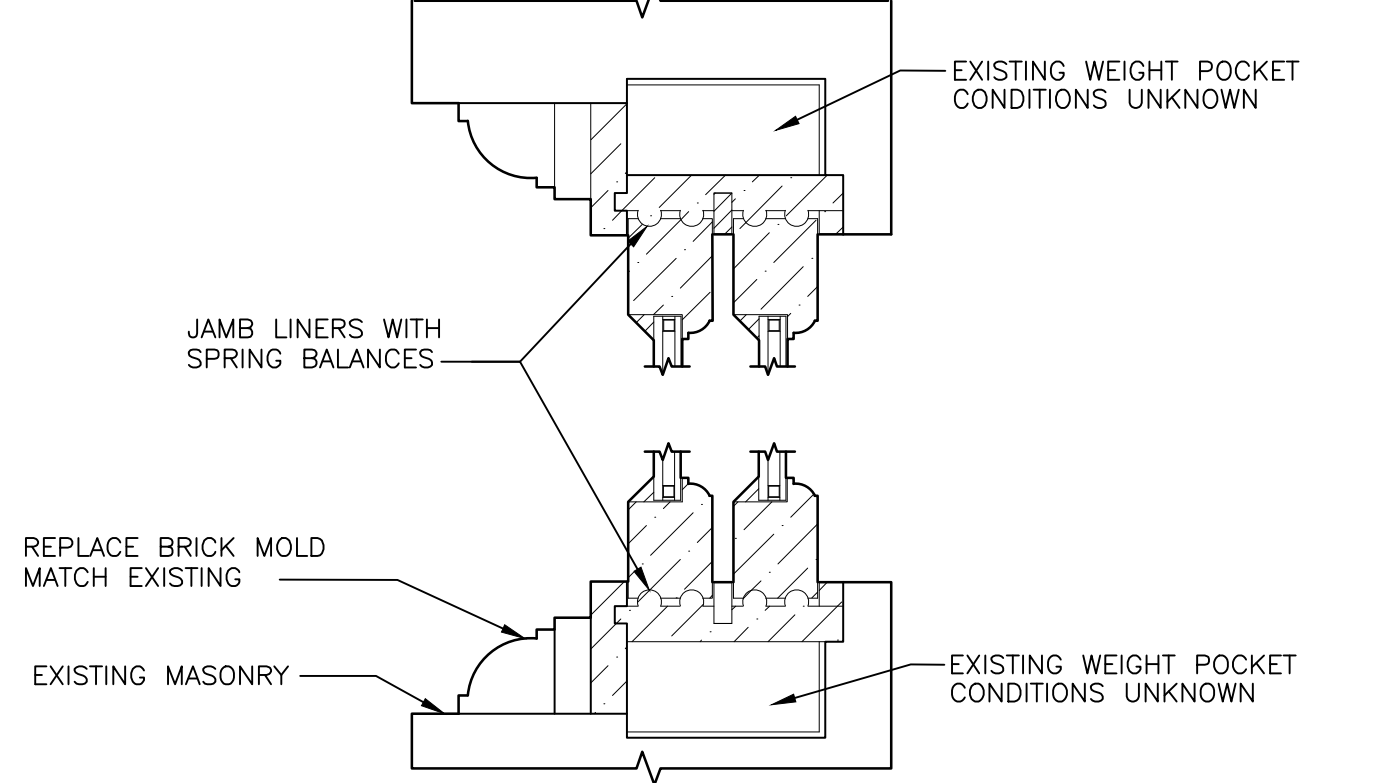
MUNTIN SECTION (MATCH EXISTING PROFILE) SCALE: 3"=1'-0"



3 HORIZONTAL SECTION WEIGHTED SASH REPLACEMENT OPTION A SCALE: 3"=1'-0"



5 SECTION FOR DOOR UNITS SCALE: 3"=1'-0"



4 HORIZONTAL SECTION JAMB LINER W/BALANCE REPLACEMENT OPTION B SCALE: 3"=1'-0"



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Issue / Revisions

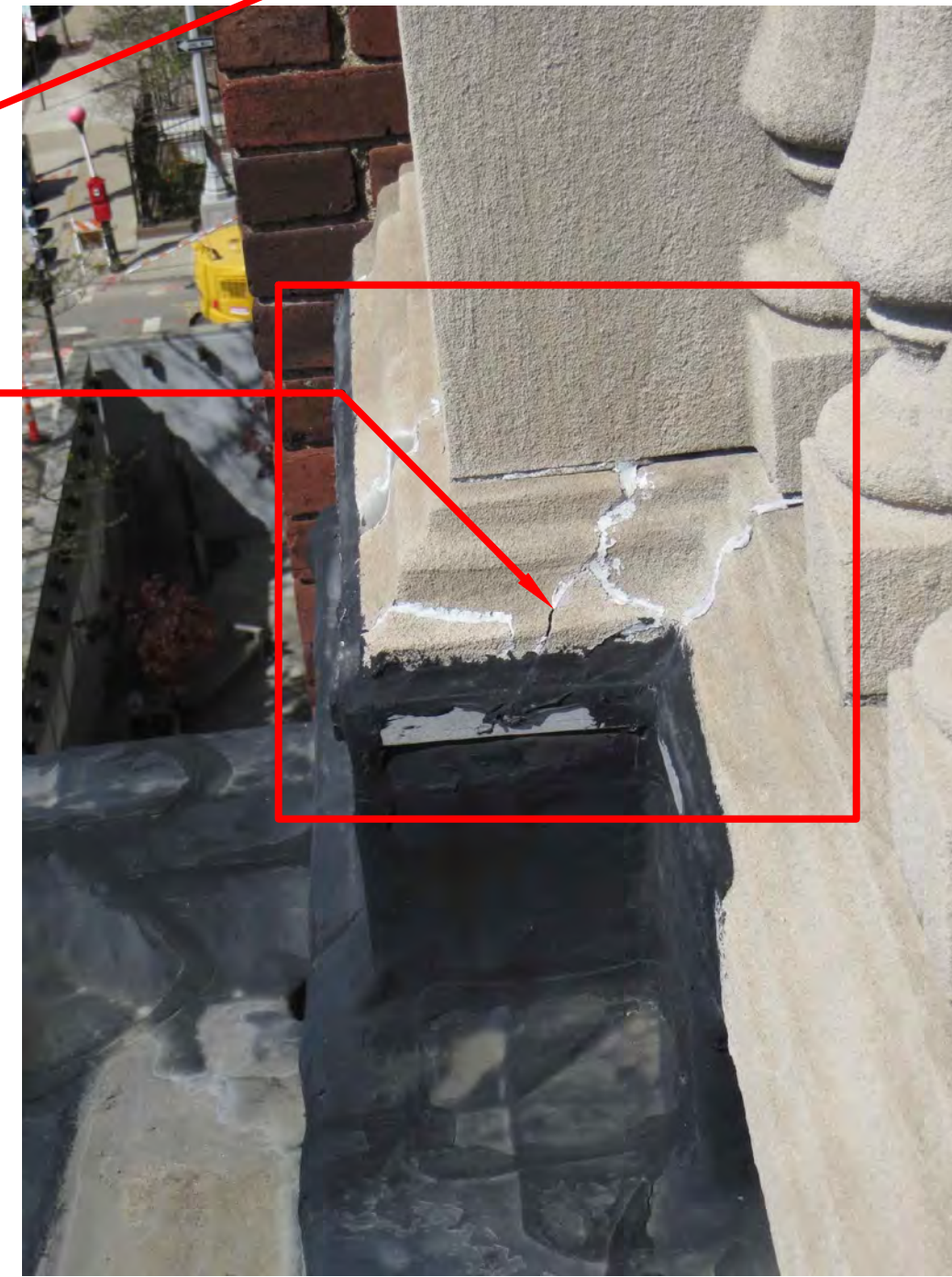
Phase
 SCHEMATIC DESIGN
 Project
 GOETHE-INSTITUT BOSTON
 170 BEACON STREET
 BOSTON MA 02116

Drawing Title
 WINDOW DETAILS
 Drawing Number

A-212.00
 DRAWN BY: CC
 DATE: 06-12-2017
 SCALE: AS NOTED



CRACK ALONG CORNICE LENGTH

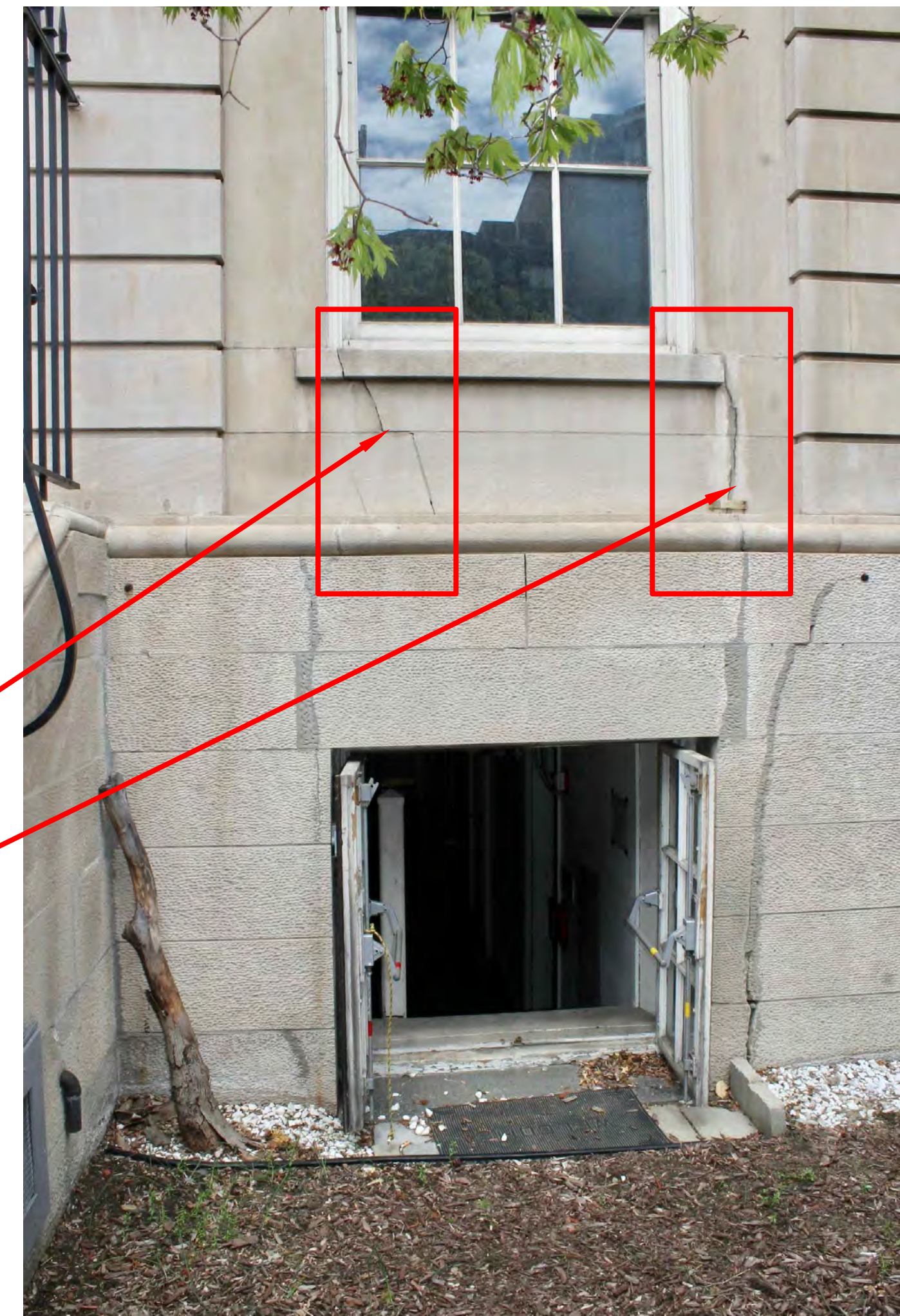
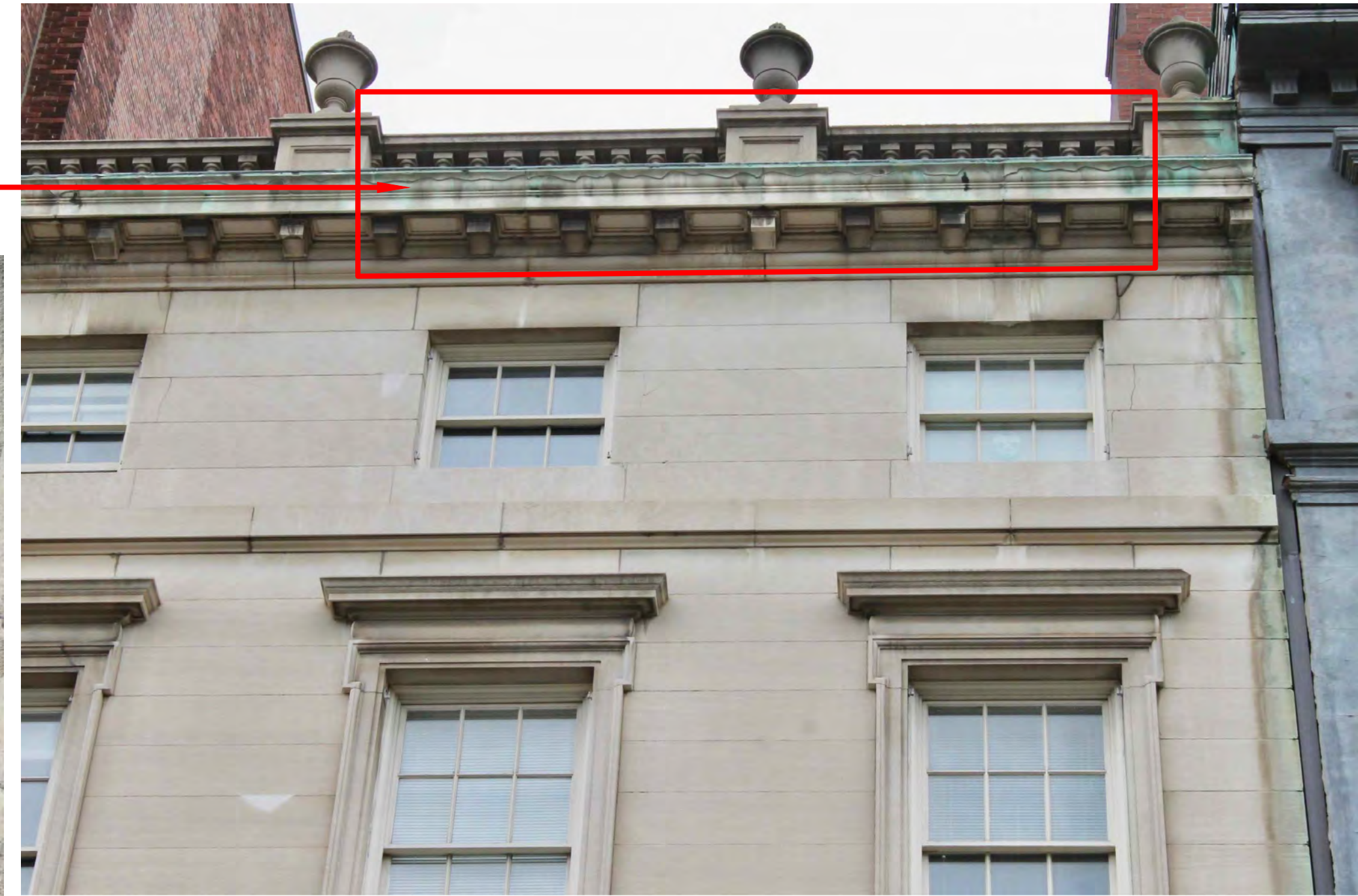


CRACKS IN BALUSTRADE PIERS (TYPICAL)



DAMAGED LIMESTONE SILL

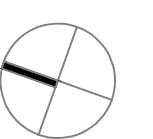
CRACKED LIMESTONE DUE TO FOUNDATION SETTLING



Issue / Revisions

Phase
SCHEMATIC DESIGN

Project
GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116



Drawing Title
PHOTO SHEET - 1

Drawing Number

A-213.00

DRAWN BY: CC
DATE: 06-12-2017
SCALE: AS NOTED

EXISTING CONDITIONS



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DAMAGED LIMESTONE STEP WITH IRON GATE



DAMAGED FRONT GATE LATCH



WOOD WINDOW (c. 1989) TO BE REPLACED IN-KIND



2ND FLOOR DOOR UNIT TO TERRACE – REPAIR ONLY



REAR ELEVATION

Issue / Revisions _____

Phase _____
SCHEMATIC DESIGN

Project _____
GOETHE-INSTITUT BOSTON
170 BEACON STREET
BOSTON MA 02116



Drawing Title _____
PHOTO SHEET – 2

Drawing Number _____

A-214.00
DRAWN BY: CC
DATE: 06-12-2017
SCALE: AS NOTED