

Sack-Levine Residence

101-103 Kilsyth Road
Boston, MA 02135

Architect:
Michael Kim Associates
1 Holden Street
Brookline, MA 02445
p:617.739.6925
P.I.C. Michael Kim

Owner:
Jamie Sack & Ken Levine
101-103 Kilsyth Road
Boston, MA 02135
e:sack.jamie@yahoo.com
Contact: Jamie Sack

Contractor:
Na Fianna Construction
21 Newton Street
Boston, MA 02135
p: 617.372.3427
Contact: Cyril McArdle

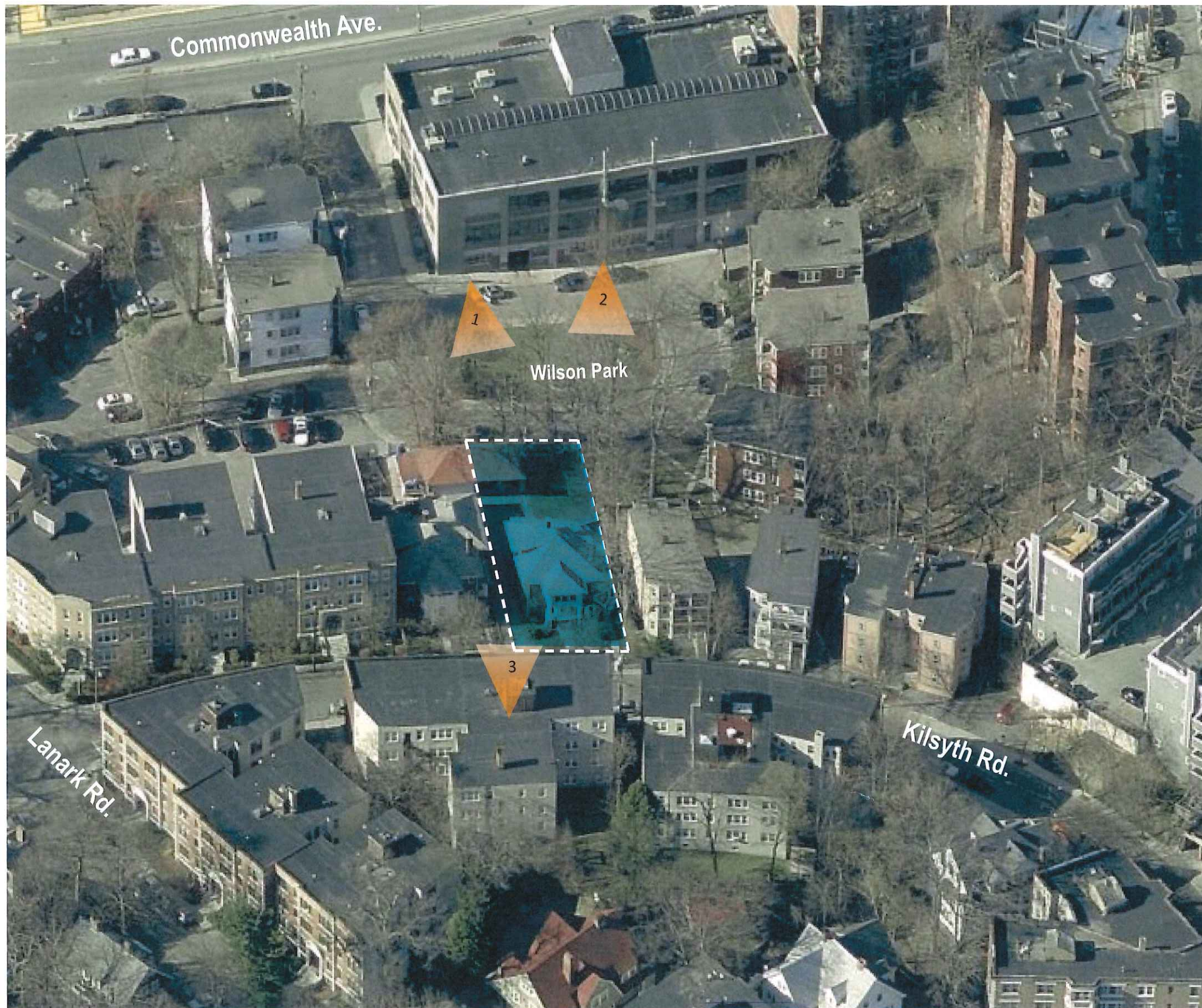
Brief Description of Project :

- Single story rear addition
- Rear Porch Demolition

Presentation Index

- 1- Neighborhood Context & Lot Coverage
- 2-Renovation /Addition Specifics





Neighborhood Context

 Site



1 Street View from Wilson Park-Spring



2 Rear yard Foliage - Spring & Summer

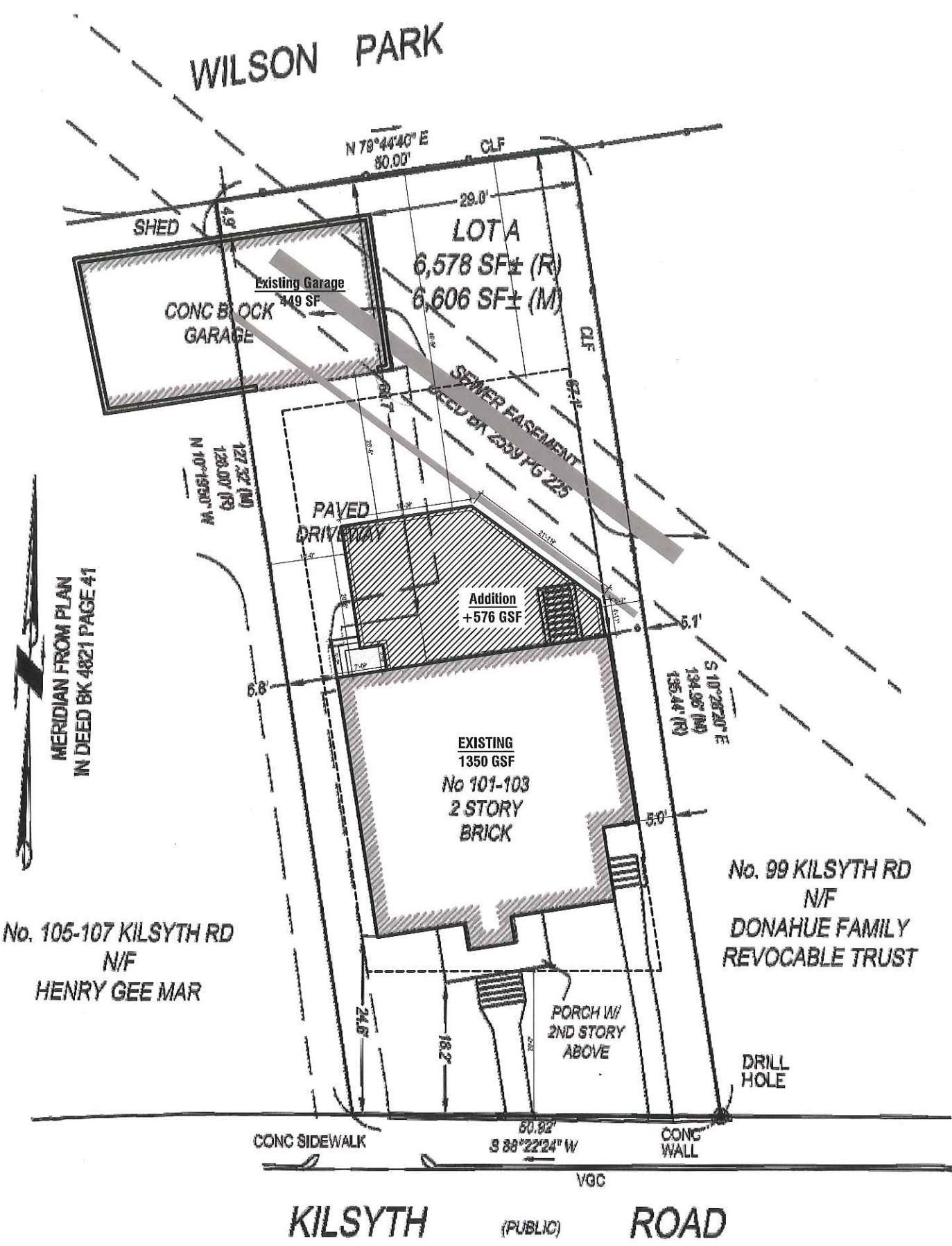


3 Front Facade, Spring 101-103 Kilsyth on right



Model View from Wilson Park





Zoning Analysis

Dimensional Data:

Lot Size:	6,606 SF
Frontage:	51 FT
F.A.R. max:	0.8
Building Area:	2,576 SF
First Floor:	1166 SF
Second Floor:	1276 SF
Third Floor:	134 SF
F.A.R. Existing:	0.39
Finished Area, Propd.	3,112 SF (536 SF Add.)
F.A.R. Porposed:	0.47

Dimensional Requirements:

Lot Size-min.:	6,000 SF	
Lot Size-actual:	6,606 SF	CONFORMING
Frontage-min:	55 FT	
Frontage-actual:	51 FT	NON-CONFORMING
Height-max.:	35 FT	
Height-actual:	+/- 27 FT	CONFORMING
Front Setback-min.:	20 FT	
Front Setback-actual:	18.2 FT	NON-CONFORMING
Side Setback L-min.:	5 FT*	
Side Setback L-actual:	6.8 FT	NON-CONFORMING
Side Setback R-min.:	5 FT*	
Side Setback R-actual:	5.1 FT	CONFORMING
Rear Setback-min.:	30 FT	
Rear Setback-actual:	46.8 FT	PROPOSED CONFORMING
Open Space, usable-min.:	1,600 SF	
Open Space, proposed:	4,230 SF	PROPOSED CONFORMING

* Side yards must be at lease 5'-0" and aggregate side yards shall not be >15'-0"





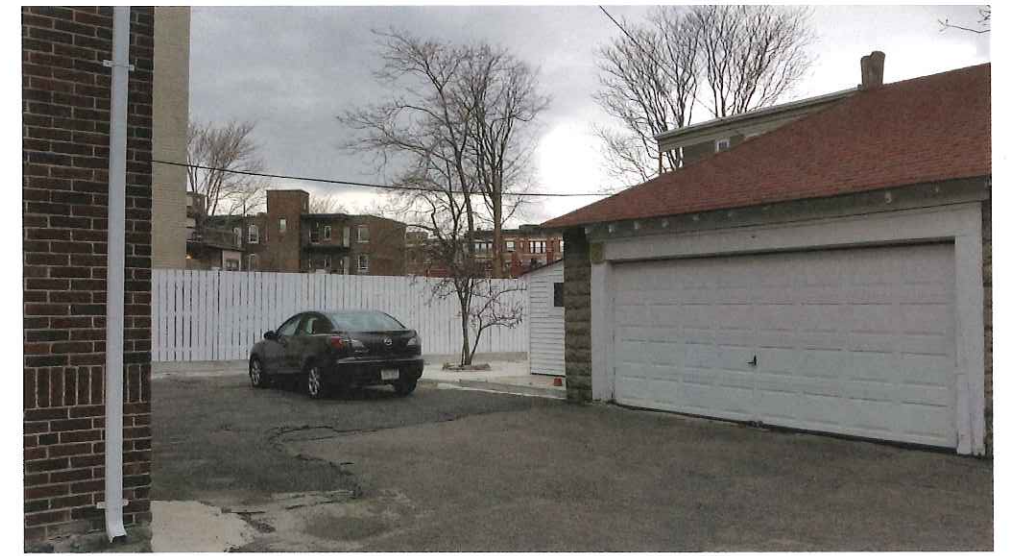
Neighbor's House, Rear corner perspective



Neighbor's Addition



View from Wilson Park



Lasndscape



Front Facade, Existing



Front Facade, Proposed NO CHANGES





Left Facade, Existing



Right Facade, Existing



Left Facade, Proposed - REAR ADDITION ENTRY



Right Facade, Proposed - REAR ADDITION



Rear Facade, Existing



Existing Photo, Rear Yard



Rear Facade, Proposed - ADDITION TO ACCOMMODATE LARGE FAMILY

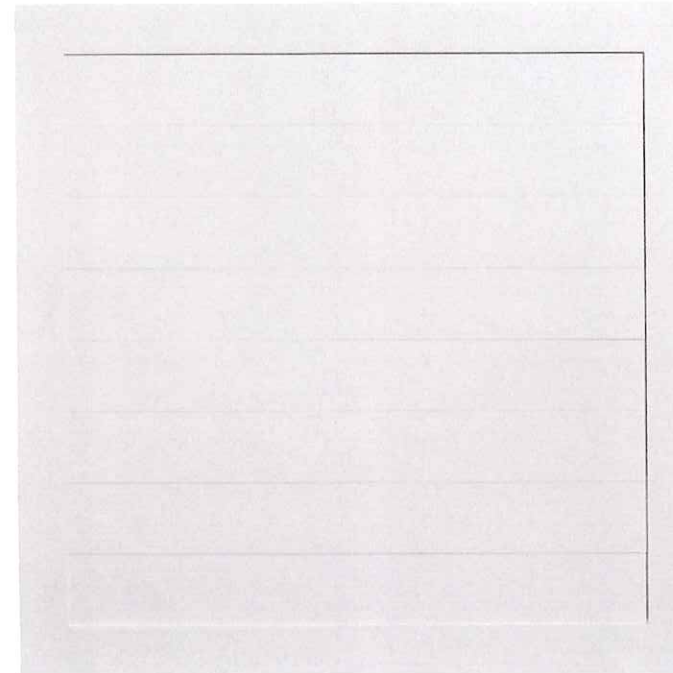


Addition does not remove any landscaping

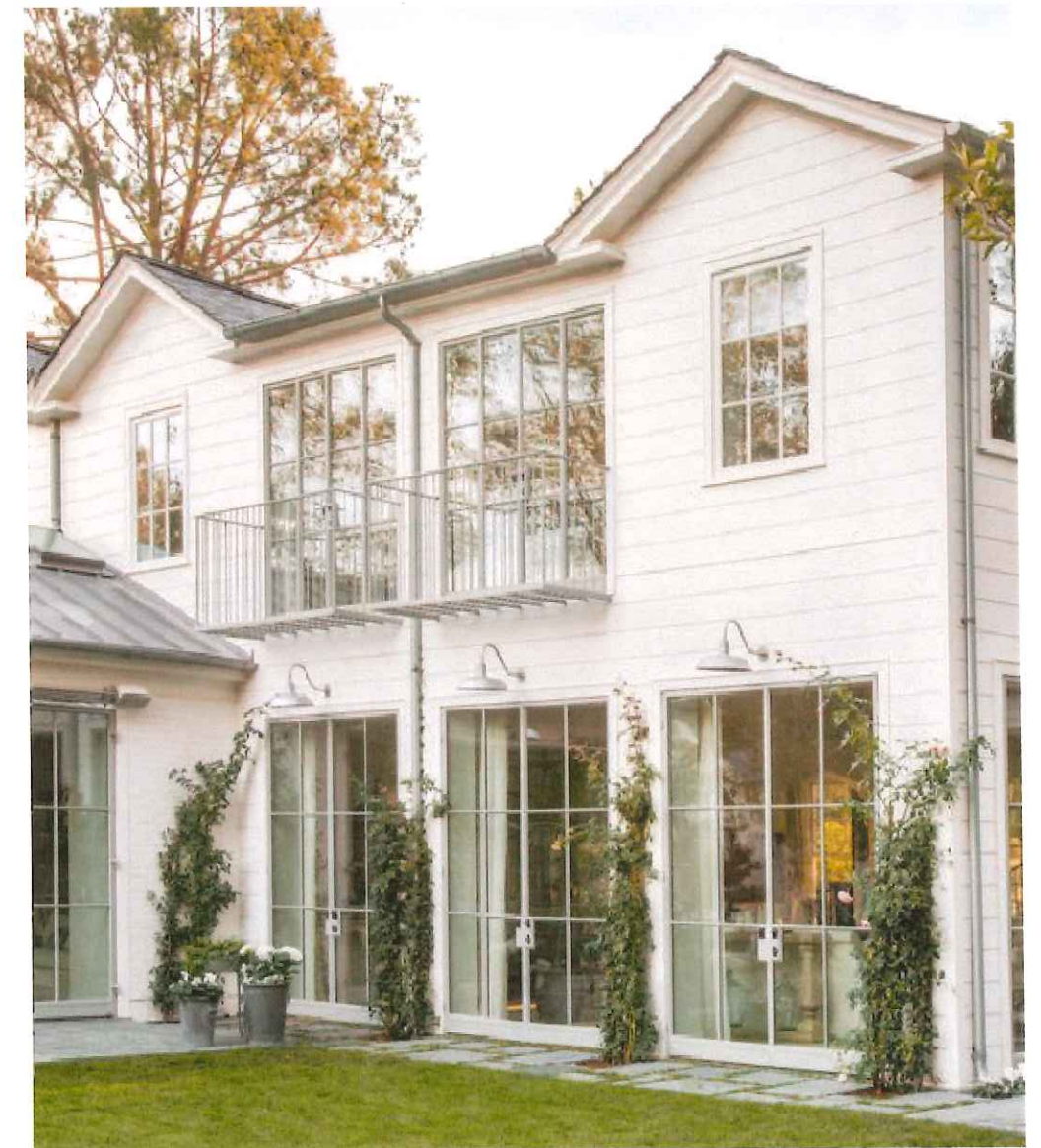
Boral TruExterior® Siding

PRODUCT DATA SHEET

	TEST METHOD	RESULTS
1. CERTIFICATES AND LISTINGS		
a. Pre-consumer Recycled Content	SCS Global Certification	Minimum 70%
b. Cal Fire (WUI)	CA SFM 12-7A-1	Listing No. 8140-2134:0105
c. Progressive Engineering	Acceptance Criteria 389	PER-13069
d. Cradle to Cradle	C2C Certified™ Product Standard	Bronze
e. Texas Department of Insurance	Thermal and moisture	EC-92
f. ICC-ES	Thermal and moisture	ESR-3597
g. FL Building Code		FL17285
2. PROPERTIES		
a. Density	ASTM C 1185	40-50 lbs/ft ³
b. Flexural Strength	ASTM C 1185	> 1600 psi
c. Coefficient of Linear Expansion	ASTM D 6341	< 1.40 E-05 in./in./°f
d. Impact Resistance	ASTM D 6110	> 50 in.
3. PERFORMANCE		
a. Fungi Rot	AWPA E10	Brown Rot - Negligible Loss White Rot - Negligible Loss
b. Termite Resistance	AWPA E1	> 9.0 (10 being best)
c. Water Absorption	ASTM D 570	< 1.5%
d. Flame Spread	ASTM E 84	< 35
e. Smoke Developed	ASTM E 84	< 450
4. MANUFACTURING TOLERANCES		
a. Width		± 1/16 inch
b. Thickness		± 1/16 inch
c. Length		+2 inches / -0 inches



White



Shiplap SIDING

RUSTIC & TEXTURED

AZEK® Deck's Vintage Collection sets a new standard in aesthetics, giving you a more realistic wood appearance than competing alternative decking products. With its rustic texture, rich colors and superior durability, the Vintage Collection will bring your dream outdoor living space to life.

Enjoy the beauty and benefits of the AZEK Deck Vintage Collection:

Made with high-performance materials: Capped polymer decking protected with Alloy Armour Technology™

Engineered to last: Resistant to harsh weather, mold, mildew and moisture damage

Designed to inspire: Beautiful colors and graining that resist stains, scratches and fading

Crafted for enjoyment: Quick and easy installation with no annual sealing or staining for protection; superior heat dissipation

Protected for you: 30-year limited fade and stain and lifetime limited warranties; Building Code listings ESR-1667 and CCRR-0101

Decking dimensions

All deck boards are 1" x 5 1/2"

Dark Hickory

Square shouldered lengths: 16' | 20'

Grooved lengths: 12' | 16' | 20'

Fascia (1/2" x 11 3/4"): 12'

Cypress®

Square shouldered lengths: 16' | 20'

Grooved lengths: 12' | 16' | 20'

Fascia (1/2" x 11 3/4"): 12'

Mahogany

Square shouldered lengths: 16' | 20'

Grooved lengths: 12' | 16' | 20'

Fascia (1/2" x 11 3/4"): 12'



Vintage Collection 1" X 5 1/2" Square Cypress



New Azak DECK

ADDITION MATERIALS

Michael Kim Associates

SACK-LEVINE RESIDENCE

101 KILSYTH ROAD
BRIGHTON, MA 02135

PERMIT SET - 2017

ARCHITECT:
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CONTACT: Cyril McArdle

SURVEYOR:
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4 S. Pond Street
Newburyport, MA 01950
Tel: (617) 834-6073
Email: www.summitsurveyinginc.com
Contact: Chuck Brennan

DRAWING INDEX:

- T1.0 PROJECT INFORMATION & ZONING
- A1.0 DEMOLITION PLANS
- A2.0 RENOVATION PLANS
- A3.0 EXTERIOR ELEVATIONS
- A4.0 GROUND FLOOR LIGHTING PLAN
- A5.0 SCHEDULES
- A6.0 INTERIOR ELEVATIONS
- S1.0 FRAMING PLANS

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE OF MASSACHUSETTS, THE BRIGHTON BUILDING DEPARTMENT AND OTHER MUNICIPAL AGENCIES HAVING JURISDICTION.
 2. ALL WORK SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES INCLUDING THE 2010 RESIDENTIAL CODE OF MASSACHUSETTS STATE AND ALL APPLICABLE SUB CODES AND RELATED REGULATIONS.
 3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE WORK BEFORE WORK COMMENCES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
 5. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CORRECTNESS OR FITNESS OF NEW CONSTRUCTION, AND NOTIFY THE ARCHITECT IF ANY DESIGN FEATURES CONFLICT WITH ACTUAL FIELD CONDITIONS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES AND DEVIATIONS FROM APPROVED PLANS.
 7. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH REQUIREMENTS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
 8. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO WILL ARRANGE FOR INSPECTIONS AND REQUIRED SIGN-OFFS.
 9. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND SAFETY PROCEDURES DURING PROGRESS OF THE WORK.
 10. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE DUE TO CONSTRUCTION ACTIVITY AND SHALL MAKE REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
 11. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL WIRING, PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. PIPES AND LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.
 12. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY ARE PART OF THE SCOPE OF THE WORK.
 13. UPON COMPLETION, THE CONTRACTOR SHALL ARRANGE FOR REQUIRED INSPECTIONS AND SIGN-OFFS.
 14. CONTRACTOR SHALL PROVIDE ARCHITECT WITH SHOP DRAWINGS OF CABINETS AND SUBMITTALS FOR APPROVAL OF ALL PRODUCTS NOT SPECIFIED IN THE DRAWINGS AND CHOSEN BY THE CONTRACTOR.
 15. CONTRACTOR SHALL ASSURE THAT ALL EMPLOYEES AND SUB-CONTRACTORS ARE PROPERLY INSURED AND EDUCATED ON SAFETY PROCEDURES ON A WORKSITE.
- STRUCTURAL NOTES**
1. CONTRACTOR SHALL CALL FOR A SITE MEETING AT THE COMPLETION OF DEMOLITION SO ARCHITECT MAY REVIEW EXISTING FRAMING AS IT PERTAINS TO DESIGNED STRUCTURE.

ZONING ANALYSIS

PROPERTY DATA:

Address: 101-103 Kilsyth Road
Brighton, MA 02135
2102076000
Parcel ID: 2102076000
District Designation: 3F-6,000
Occupancy: Two-Family Residence
Year Built:

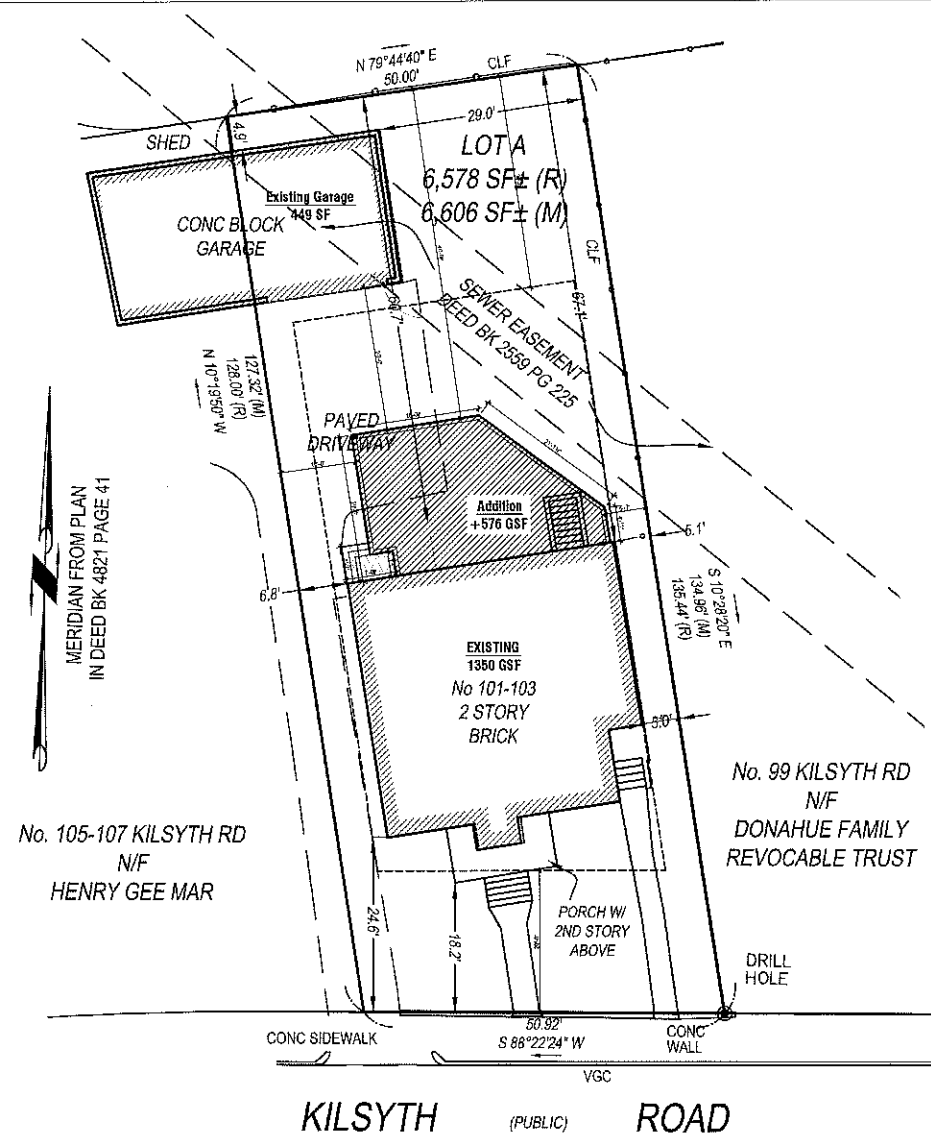
DIMENSIONAL REQUIREMENTS:

Lot size - Minimum:	6,000 S.F.	
Lot size - Actual:	6,606 S.F.	[EXIST. CONFORMING]
Frontage - Minimum:	55 FT.	
Frontage - Actual:	51 FT.	[EXIST. NON-CONFORMING]
Height - Maximum:	35 FT.	
Height - Actual:	+/- 27 FT.	[EXIST. CONFORMING]
Front Setback - Minimum:	20 FT.	
Front Setback - Actual:	18.2 FT.	[EXIST. NON-CONFORMING]
Side Setback Left - Minimum:	5 FT.*	
Side Setback Left - Actual:	6.8 FT.	[EXIST. NON-CONFORMING]
Side Setback Right - Minimum:	5 FT.*	
Side Setback Right - Actual:	5.1 FT.	[EXIST. CONFORMING]
Rear Setback - Minimum:	30 FT.	
Rear Setback - Actual:	46.8 FT.	[PROPOSED CONFORMING]
Building Coverage - Maximum:	NO REQ'T	
Building Coverage - Proposed:	N/A	N/A
Open Space, Usable - Min.:	1,600 S.F.	[PROPOSED CONFORMING]
Open Space - Proposed:	4,230 S.F.	

* Side Yards must be at least 5'-0" and aggregate side yard shall not be > 15'-0"

DIMENSIONAL INFORMATION:

Lot Size: 6,606 S.F.
Cont. Frontage: 51 ft.
F.A.R. - Maximum: 0.8
Building Area - Current: 2,576 S.F.
First Floor: 1166 S.F.
Second Floor: 1276 S.F.
Third Floor: 134 S.F.
F.A.R. - Current: 0.39
Finished Area - Proposed: 3,112 S.F. (536 S.F. Addition)
F.A.R. - Proposed: 0.47



Plot Plan
Scale: 1/16" = 1'-0"



SACK & LEVINE RESIDENCE

101-103 KILSYTH ROAD
BRIGHTON, MA

michaelkim | associates

1 Holden Street #3, Brookline, MA 02445 T 617.739.6925
mkim@mkimarchitecture.com www.mkimassoc.com

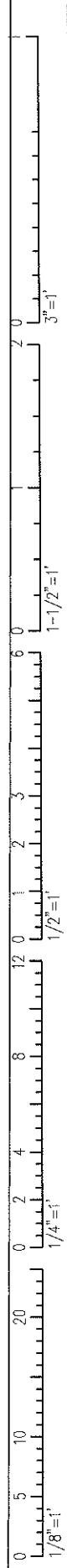
Date Issued May 16, 2017

Drawing Scale

TITLE SHEET

T1.0

10.30.16 DEMOLITION SET
06.30.16 PRICING SET



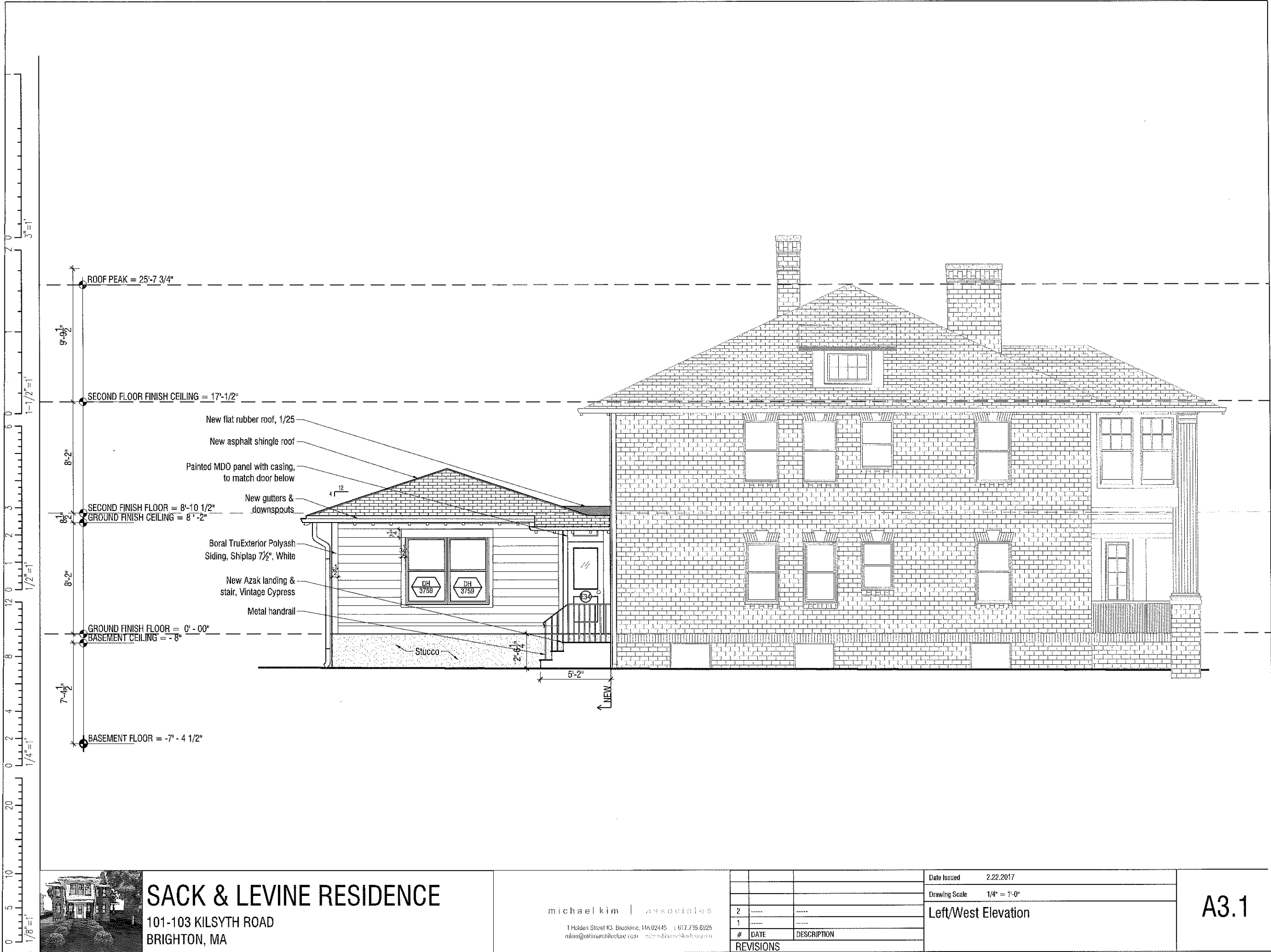
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 1 Hidden Street #3, Brookline, MA 02445 | 617.739.6925
 mkim@nikimarchitecture.com | www.studiohousebrookline.com

#	DATE	DESCRIPTION
2	----	----
1	----	----
REVISIONS		

Date Issued 2.22.2017
 Drawing Scale 1/4" = 1'-0"
 Front/ South Elevation

A3.0



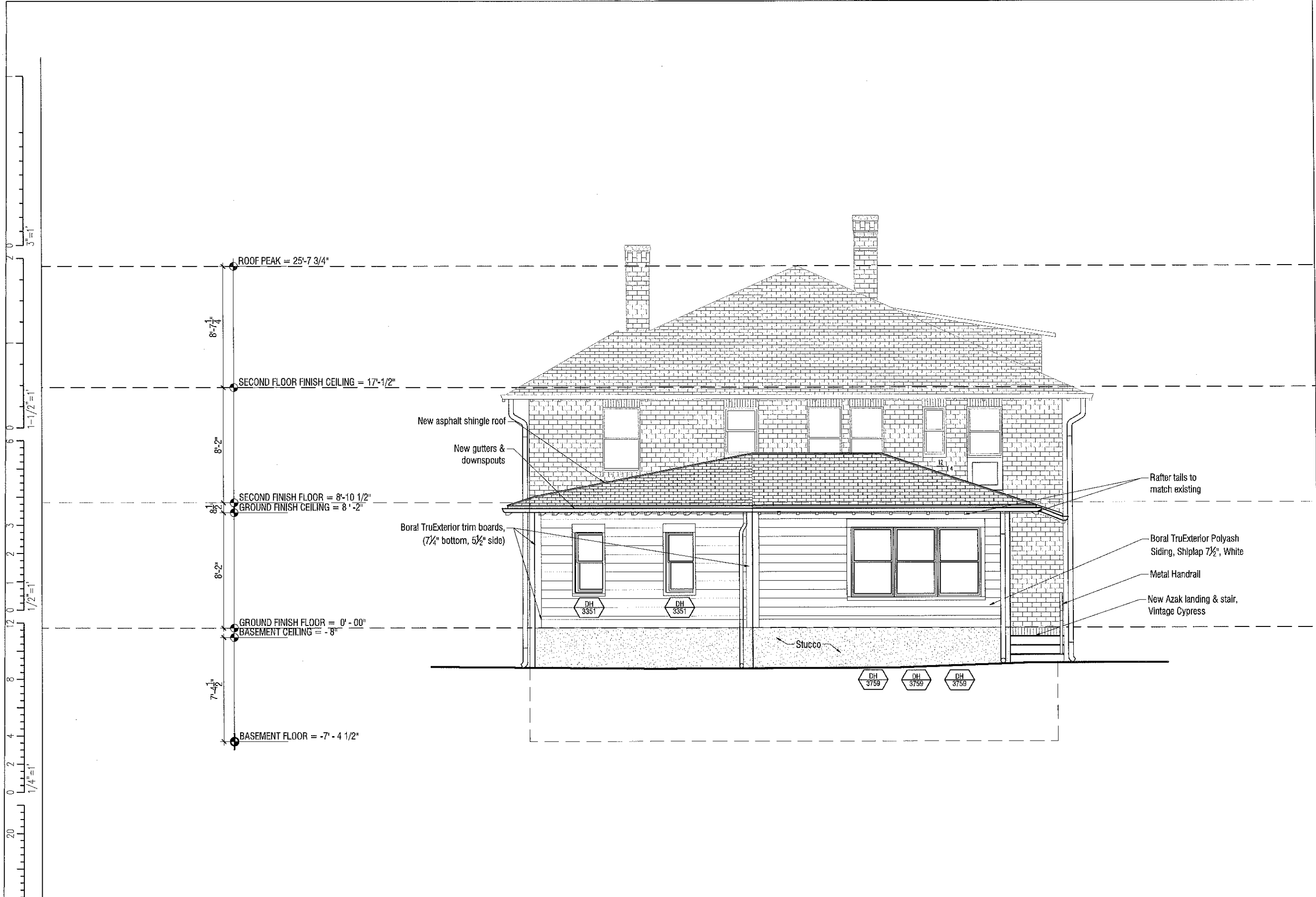
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#	DATE	DESCRIPTION
2		
1		
REVISIONS		

Date Issued	2.22.2017
Drawing Scale	1/4" = 1'-0"
Left/West Elevation	

A3.1



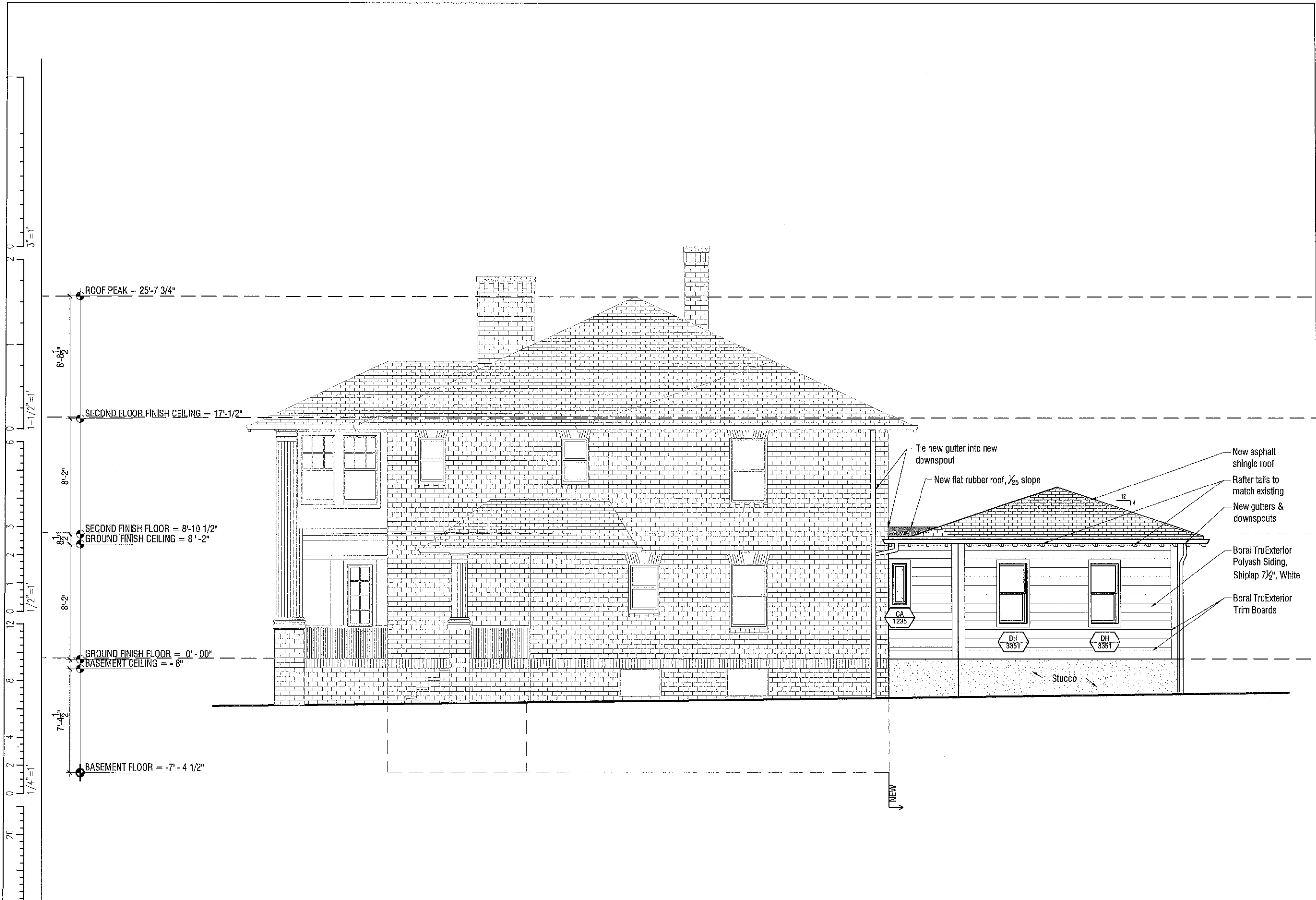
SACK & LEVINE RESIDENCE
 101-103 KILSYTH ROAD
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 mikim@robimarchitects.com | www.robimarchitects.com

#	DATE	DESCRIPTION
2	----	----
1	----	----
REVISIONS		

Date Issued 02.22.2017
 Drawing Scale 1/4" = 1'-0"
Rear/North Elevation

A3.2



SACK & LEVINE RESIDENCE
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 BRIGHTON, MA

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 mikim@michaelkimassociates.com | michaelkimassociates.com

#	DATE	DESCRIPTION
2	-----	-----
1	-----	-----

Date Issued	02.22.2017
Drawing Scale	1/4" = 1'-0"
Right/East Elevation	

A3.3