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Architecture + Urban Design

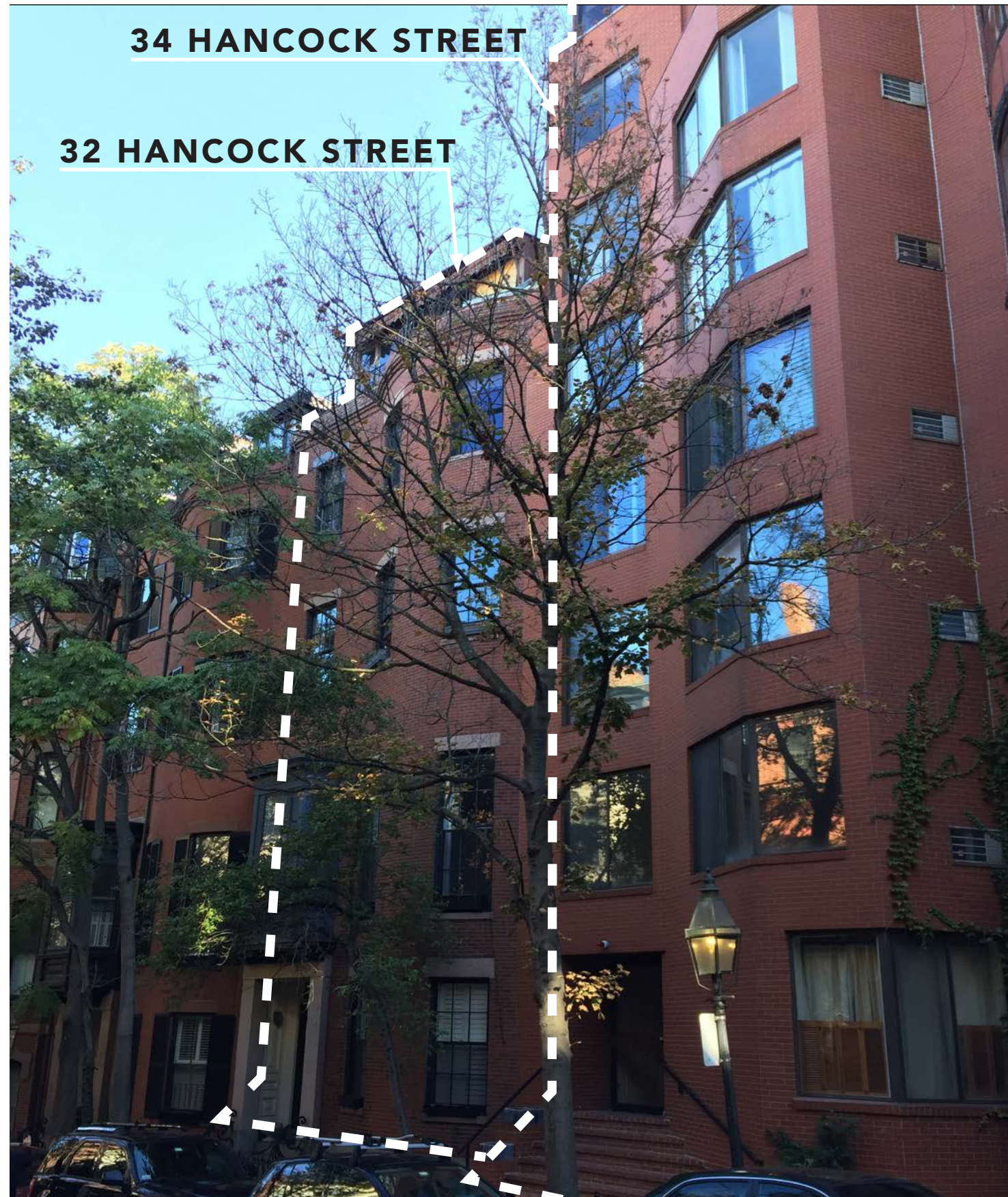
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# **32-34 Hancock Street Condominiums**

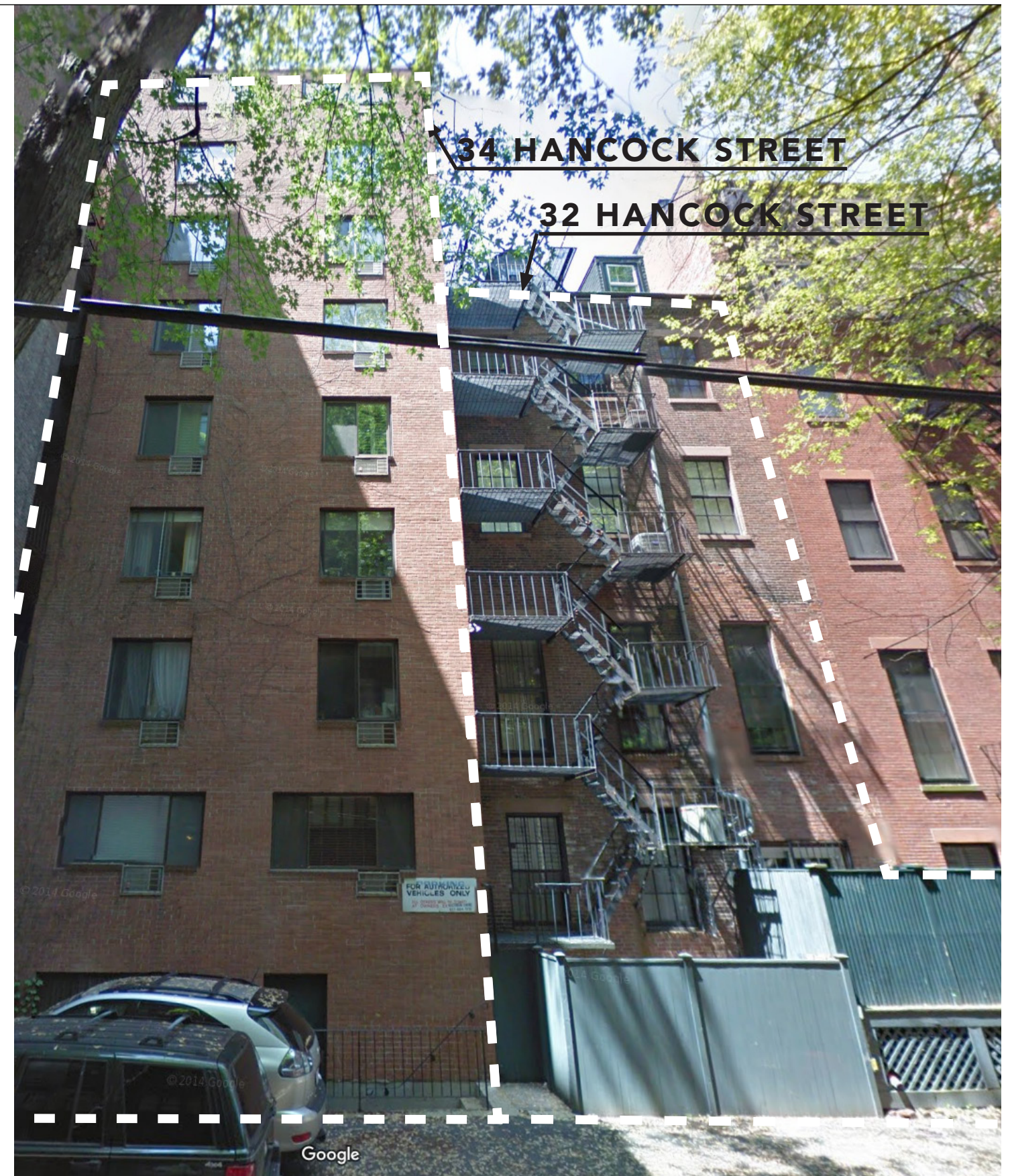
PART III - Appendix B: Supplemental Information for  
Boston Landmarks Commission / Beacon Hill  
Architectural Commission  
Application for Certification of Appropriateness

Boston, MA

27 APRIL 2017



Existing Front From Hancock Street



Existing Rear From Ridgeway Lane



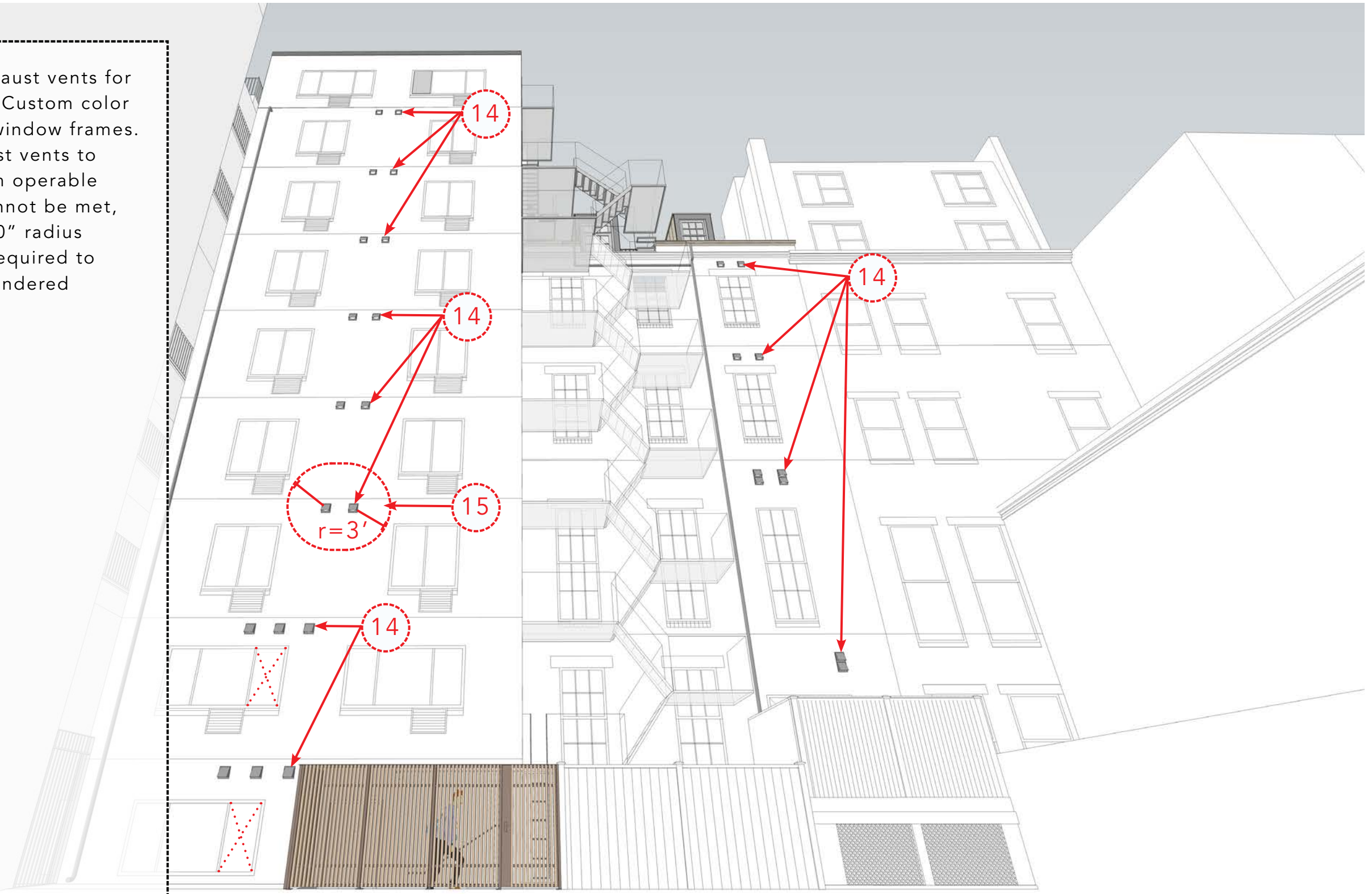
Overall Rear Exterior From Ridgeway Lane



3/32" = 1'  
Rear Elevation

Window rendered inoperable due to vent clearance requirements

- 14. Painted sheet metal exhaust vents for kitchens and bathrooms. Custom color to match painted metal window frames.
- 15. Kitchen and bath exhaust vents to be minimum 3' away from operable windows. If clearance cannot be met, any windows within a 3'-0" radius of the vent openings is required to be secured closed and rendered inoperable





Existing



Proposed



Existing



Proposed

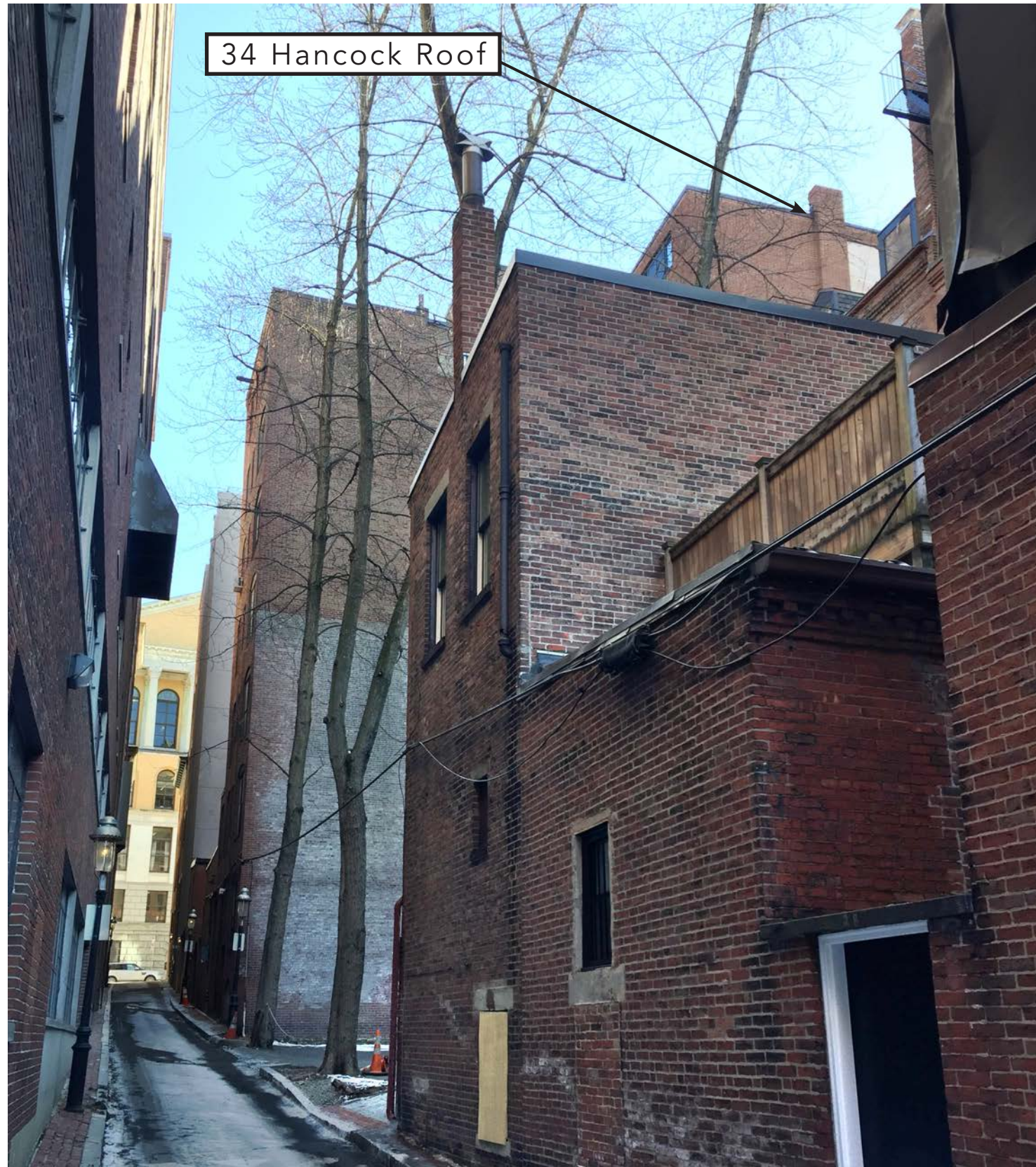


Existing

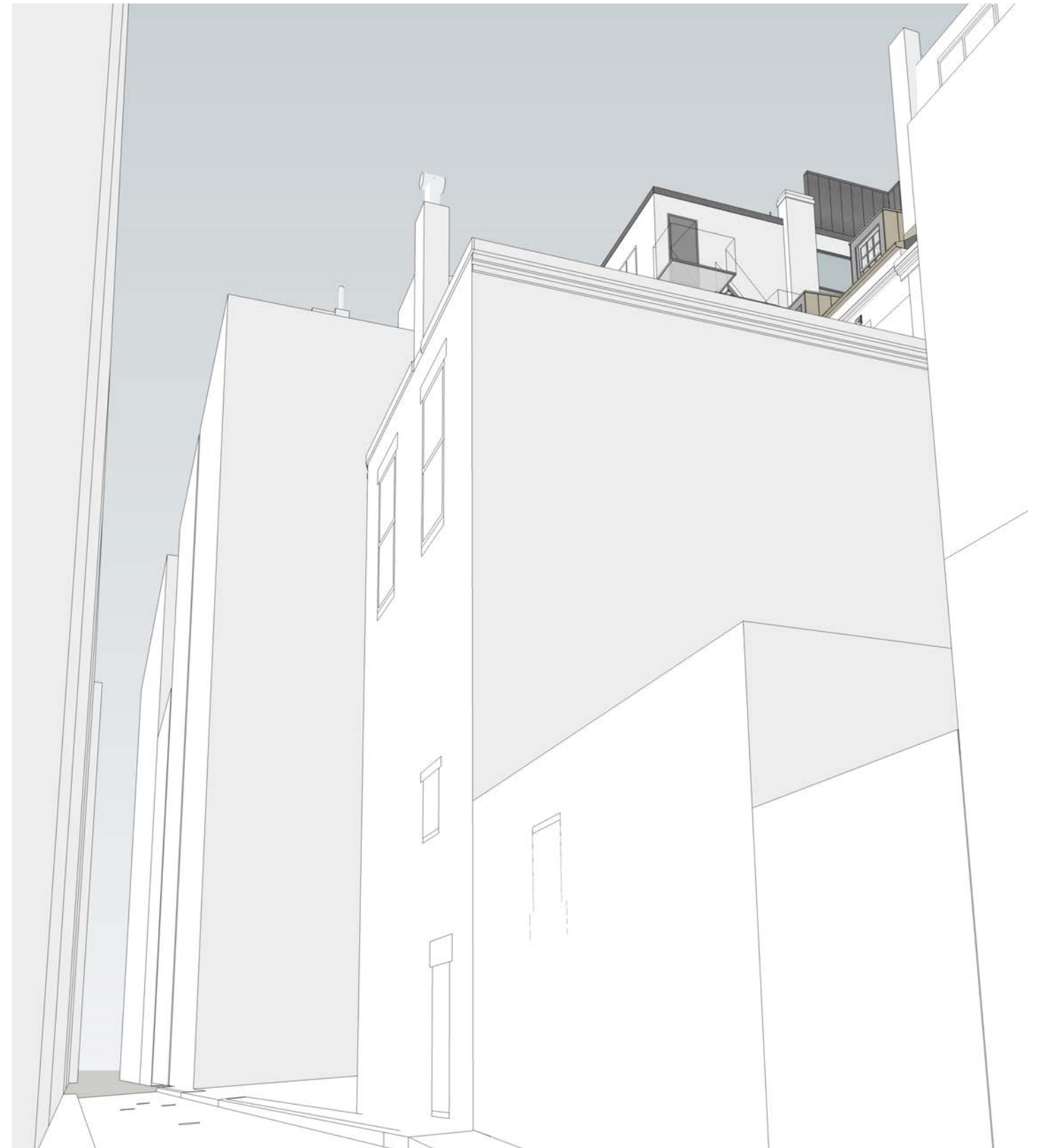


Proposed

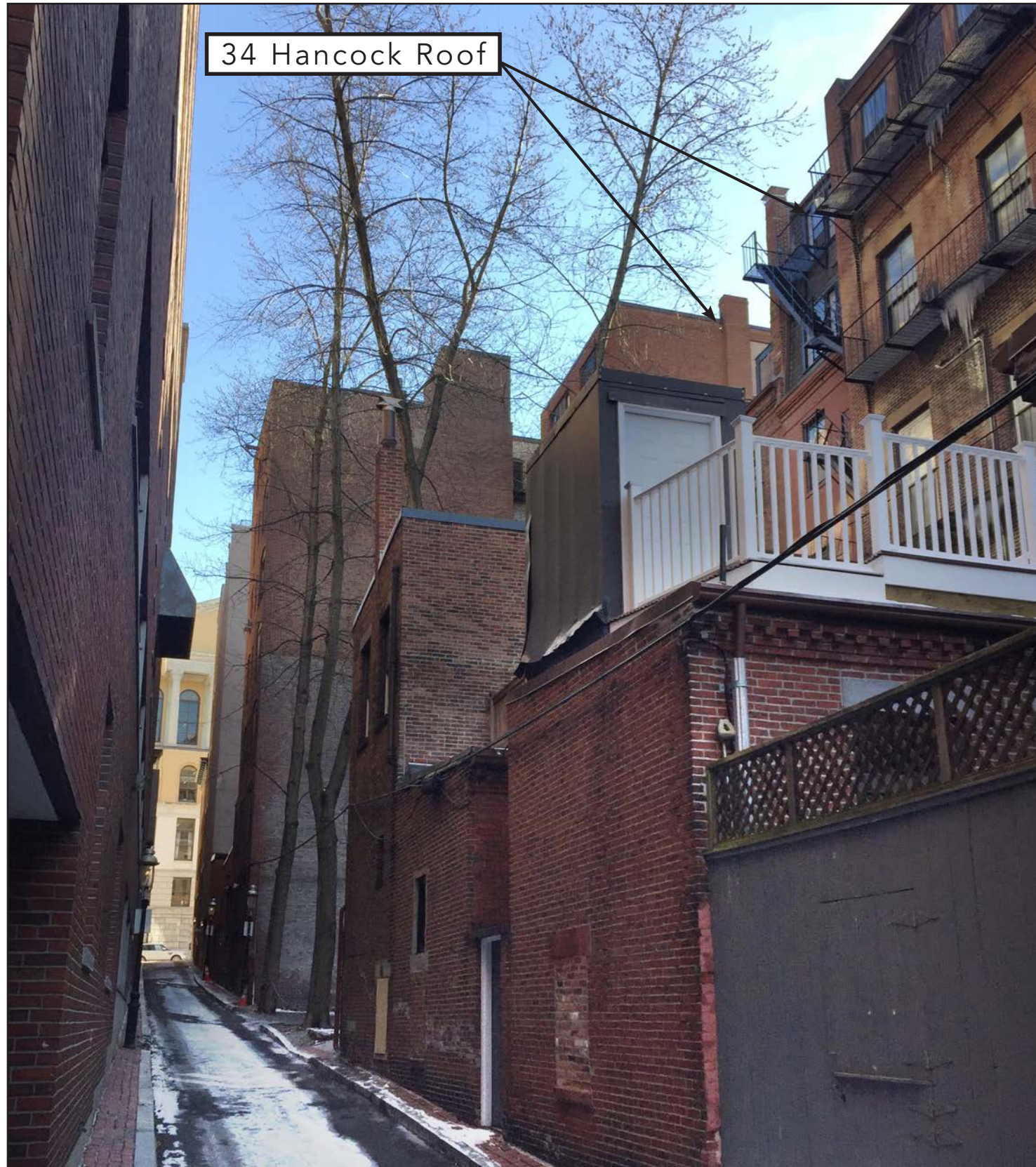




Existing



Proposed

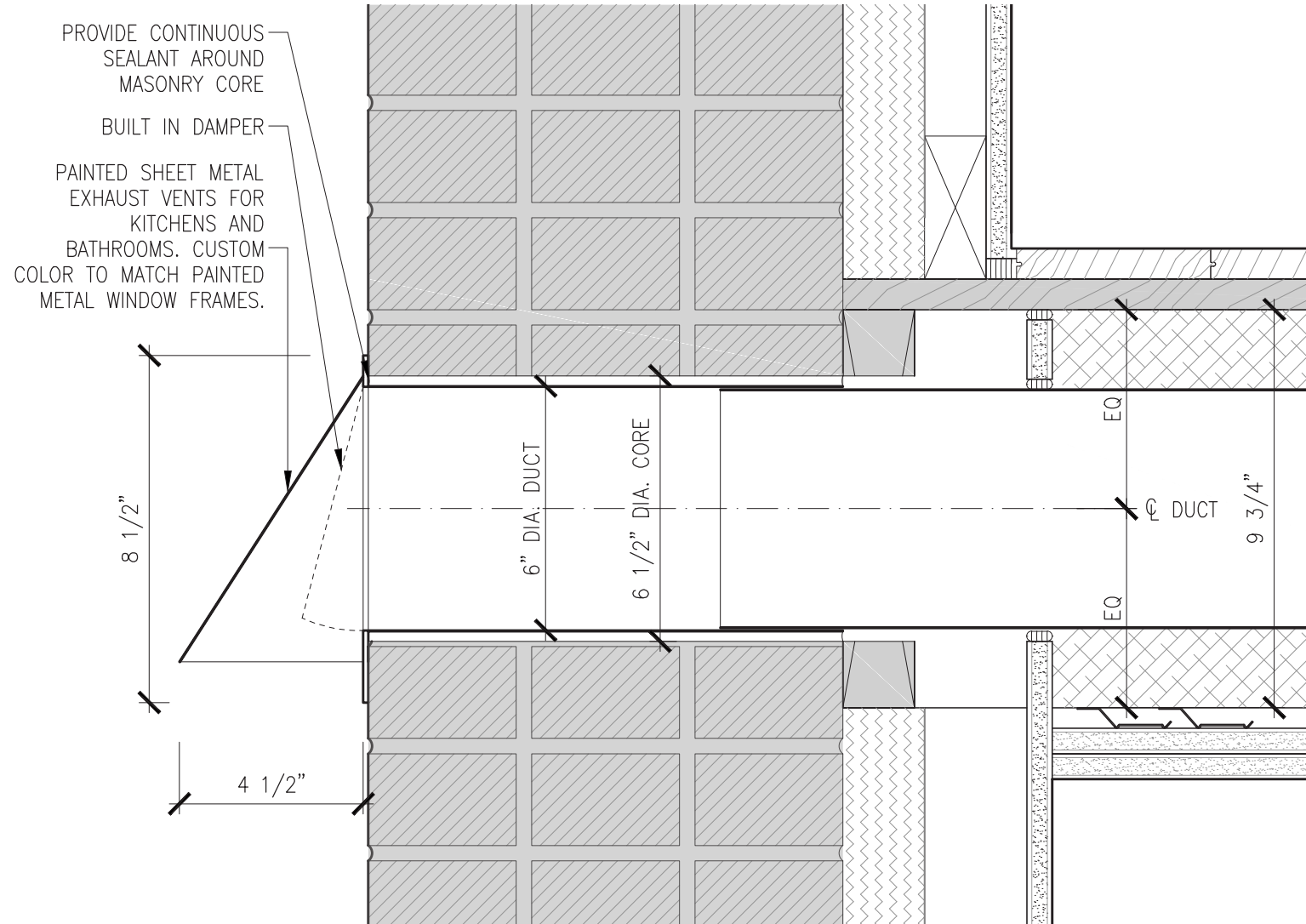
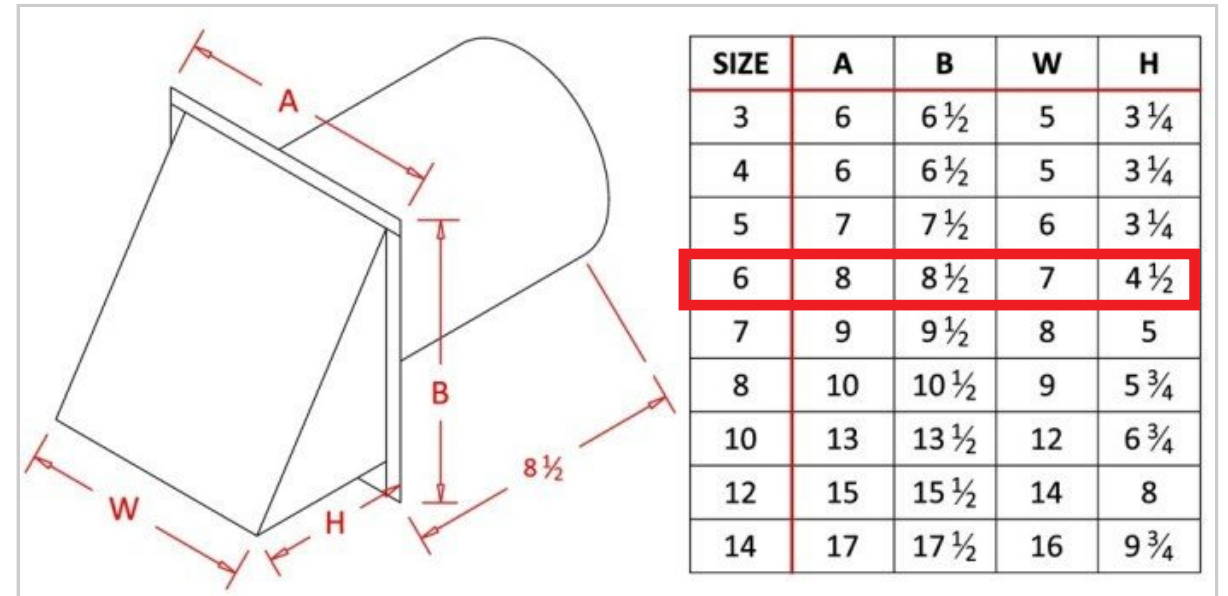
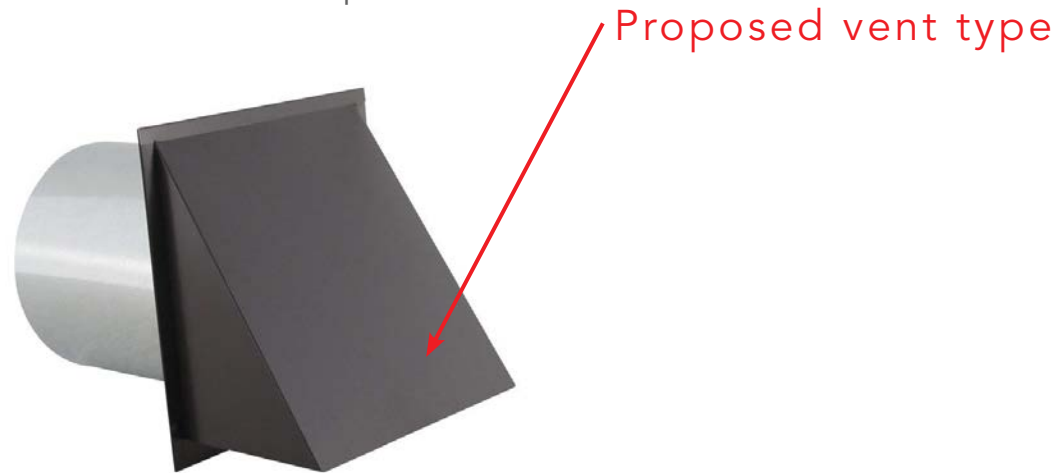


Existing

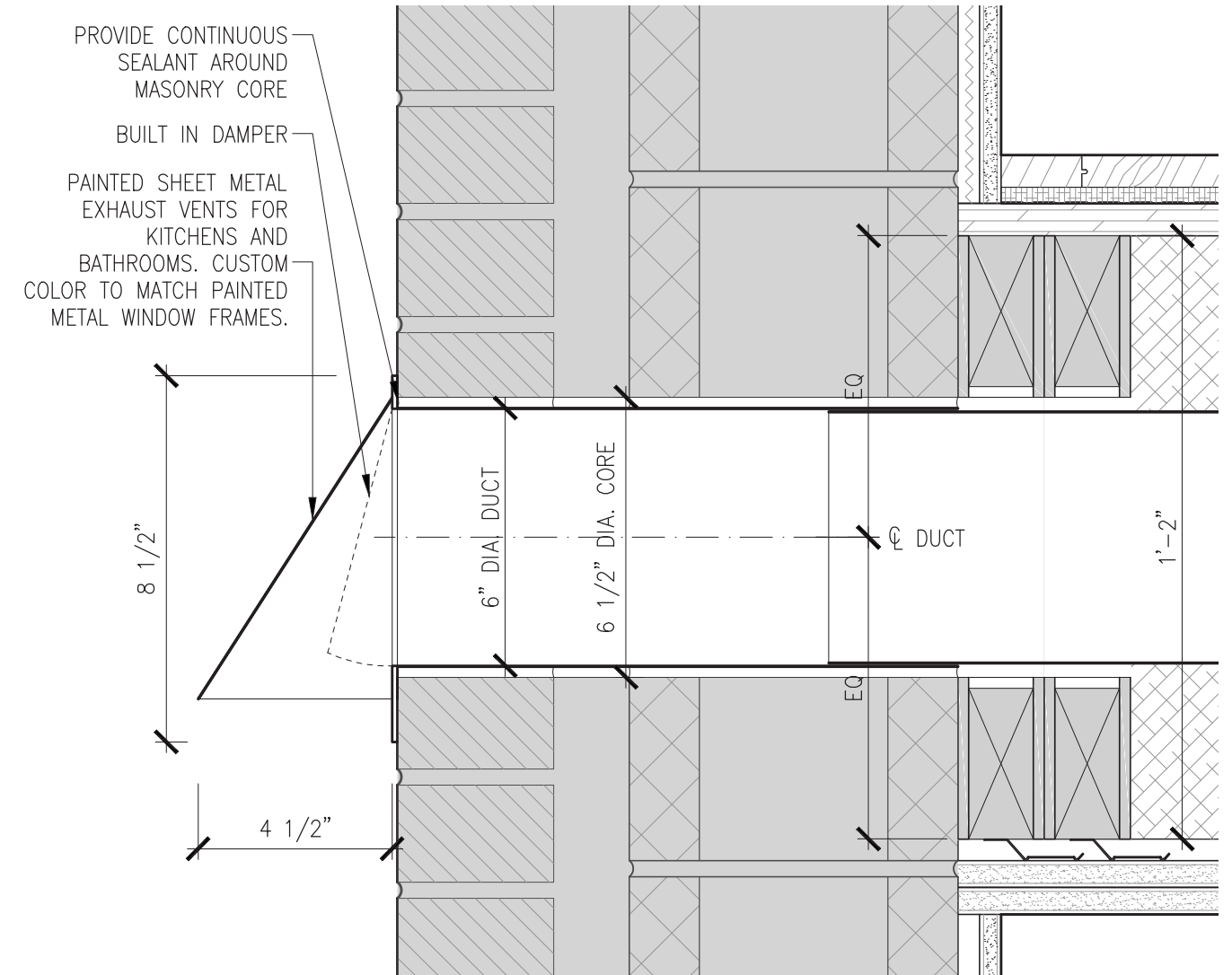


Proposed

Painted Wall Vent with Damper



TYPICAL EXTERIOR DETAIL AT 32 HANCOCK STREET



TYPICAL EXTERIOR DETAIL AT 34 HANCOCK STREET

3" = 1'

Vent Details