

SACK-LEVINE RESIDENCE

101 KILSYTH ROAD
BRIGHTON, MA 02135

PERMIT SET - 2017

ARCHITECT:
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CLIENT/OWNER:
JAMIE SACK & KEN LEVINE
101 Kilsyth Road
Brighton, MA 02135
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CONTRACTOR:
NA FIANNA CONSTRUCTION
21 NEWTON STREET
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Tel: (617)372-3427
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SURVEYOR:
SUMMIT SURVEYING INC.
4 S. Pond Street
Newburyport, MA 01950
Tel: (617) 834-6073
Email: www.summitsurveyinginc.com
Contact: Chuck Brennan

DRAWING INDEX:

- T1.0 PROJECT INFORMATION & ZONING
- A1.0 DEMOLITION PLANS
- A2.0 RENOVATION PLANS
- A3.0 EXTERIOR ELEVATIONS
- A4.0 GROUND FLOOR LIGHTING PLAN
- A5.0 SCHEDULES
- A6.0 INTERIOR ELEVATIONS
- S1.0 FRAMING PLANS

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE OF MASSACHUSETTS, THE BRIGHTON BUILDING DEPARTMENT AND OTHER MUNICIPAL AGENCIES HAVING JURISDICTION.
 2. ALL WORK SHALL BE IN COMPLIANCE WITH THE APPLICABLE BUILDING CODES INCLUDING THE 2010 RESIDENTIAL CODE OF MASSACHUSETTS STATE AND ALL APPLICABLE SUB CODES AND RELATED REGULATIONS.
 3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE WORK BEFORE WORK COMMENCES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
 5. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR CORRECTNESS OR FITNESS OF NEW CONSTRUCTION, AND NOTIFY THE ARCHITECT IF ANY DESIGN FEATURES CONFLICT WITH ACTUAL FIELD CONDITIONS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES AND DEVIATIONS FROM APPROVED PLANS.
 7. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH REQUIREMENTS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT OR BOARD OF DIRECTORS.
 8. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO WILL ARRANGE FOR INSPECTIONS AND REQUIRED SIGN-OFFS.
 9. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND SAFETY PROCEDURES DURING PROGRESS OF THE WORK.
 10. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE DUE TO CONSTRUCTION ACTIVITY AND SHALL MAKE REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
 11. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL WIRING, PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. PIPES AND LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.
 12. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK, SHALL BE INCLUDED AS IF THEY ARE PART OF THE SCOPE OF THE WORK.
 13. UPON COMPLETION, THE CONTRACTOR SHALL ARRANGE FOR REQUIRED INSPECTIONS AND SIGN-OFFS.
 14. CONTRACTOR SHALL PROVIDE ARCHITECT WITH SHOP DRAWINGS OF CABINETRY AND SUBMITTALS FOR APPROVAL OF ALL PRODUCTS NOT SPECIFIED IN THE DRAWINGS AND CHOSEN BY THE CONTRACTOR.
 15. CONTRACTOR SHALL ASSURE THAT ALL EMPLOYEES AND SUB-CONTRACTORS ARE PROPERLY INSURED AND EDUCATED ON SAFETY PROCEDURES ON A WORKSITE.
- STRUCTURAL NOTES**
1. CONTRACTOR SHALL CALL FOR A SITE MEETING AT THE COMPLETION OF DEMOLITION SO ARCHITECT MAY REVIEW EXISTING FRAMING AS IT PERTAINS TO DESIGNED STRUCTURE.

ZONING ANALYSIS

PROPERTY DATA:

Address: 101-103 Kilsyth Road
Brighton, MA 02135
Parcel ID: 2102076000
District Designation: 3F-6.000
Occupancy: Two-Family Residence
Year Built:

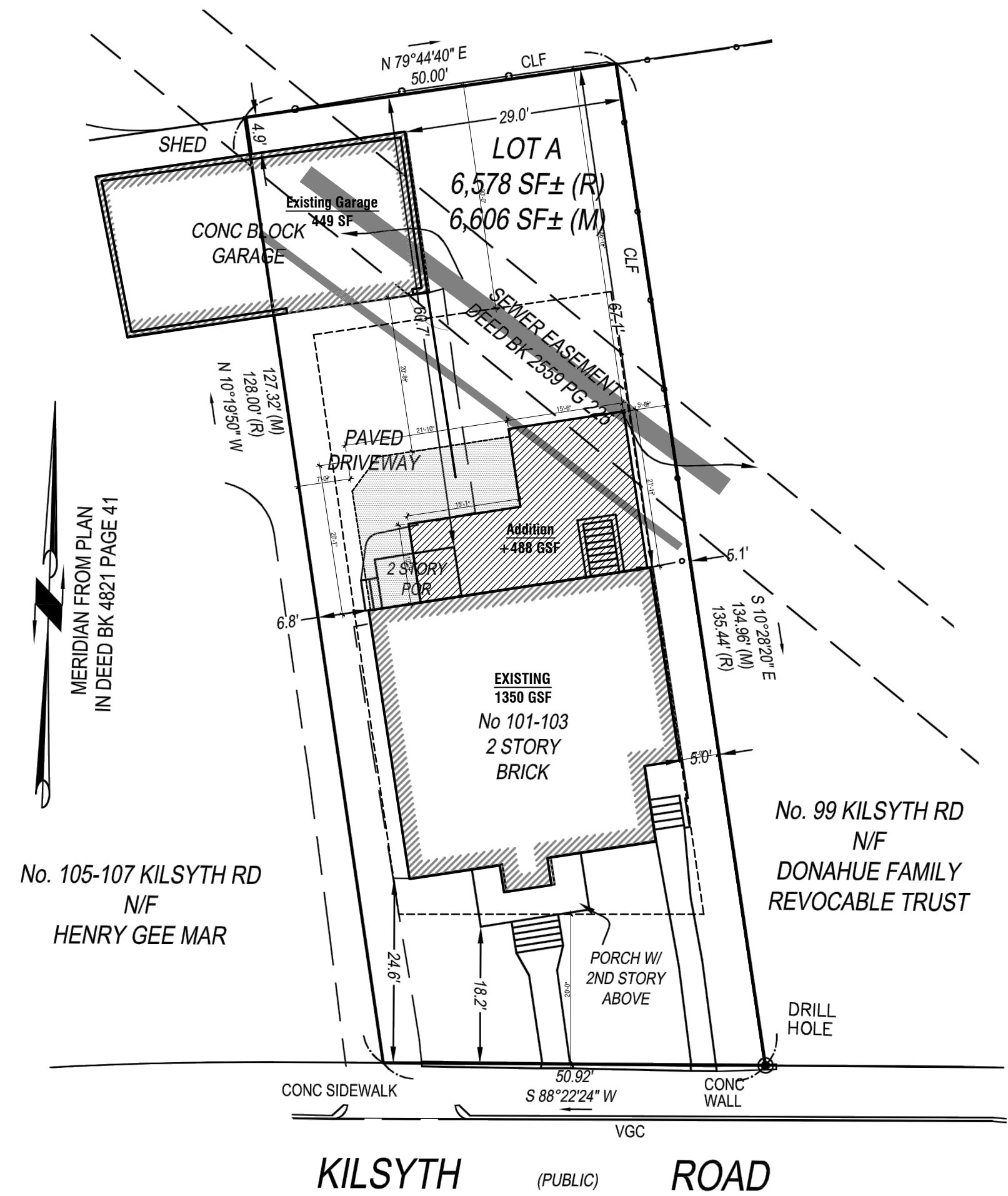
DIMENSIONAL REQUIREMENTS:

Lot size - Minimum:	6,000 S.F.	
Lot size - Actual:	6,606 S.F.	[EXIST. CONFORMING]
Frontage - Minimum:	55 FT.	
Frontage - Actual:	51 FT.	[EXIST. NON-CONFORMING]
Height - Maximum:	35 FT.	
Height - Actual:	+/- 27 FT.	[EXIST. CONFORMING]
Front Setback - Minimum:	20 FT.	
Front Setback - Actual:	18.2 FT.	[EXIST. NON-CONFORMING]
Side Setback Left - Minimum:	5 FT.*	
Side Setback Left - Actual:	6.8 FT.	[EXIST. NON-CONFORMING]
Side Setback Right - Minimum:	5 FT.*	
Side Setback Right - Actual:	5.0 FT.	[EXIST. CONFORMING]
Rear Setback - Minimum:	30 FT.	
Rear Setback - Actual:	46 FT.	[PROPOSED CONFORMING]
Building Coverage - Maximum:	NO REQ'T	
Building Coverage - Proposed:	N/A	N/A
Open Space, Usable - Min.:	1,600 S.F.	[PROPOSED CONFORMING]
Open Space - Proposed:	4,817 S.F.	

DIMENSIONAL INFORMATION:

Lot Size: 6,606 S.F.
Cont. Frontage: 51 ft.
F.A.R. - Maximum: 0.8
Building Area - Current: 2,576 S.F.
First Floor: 1166 S.F.
Second Floor: 1276 S.F.
Third Floor: 134 S.F.
F.A.R. - Current: 0.39
Finished Area - Proposed: 3,022 S.F. (446 S.F. Addition)
F.A.R. - Proposed: 0.46

* Side Yards must be at least 5'-0" and aggregate side yard shall not be > 15'-0"



Plot Plan
Scale: 1/16" = 1'-0"



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Date Issued February 22, 2017

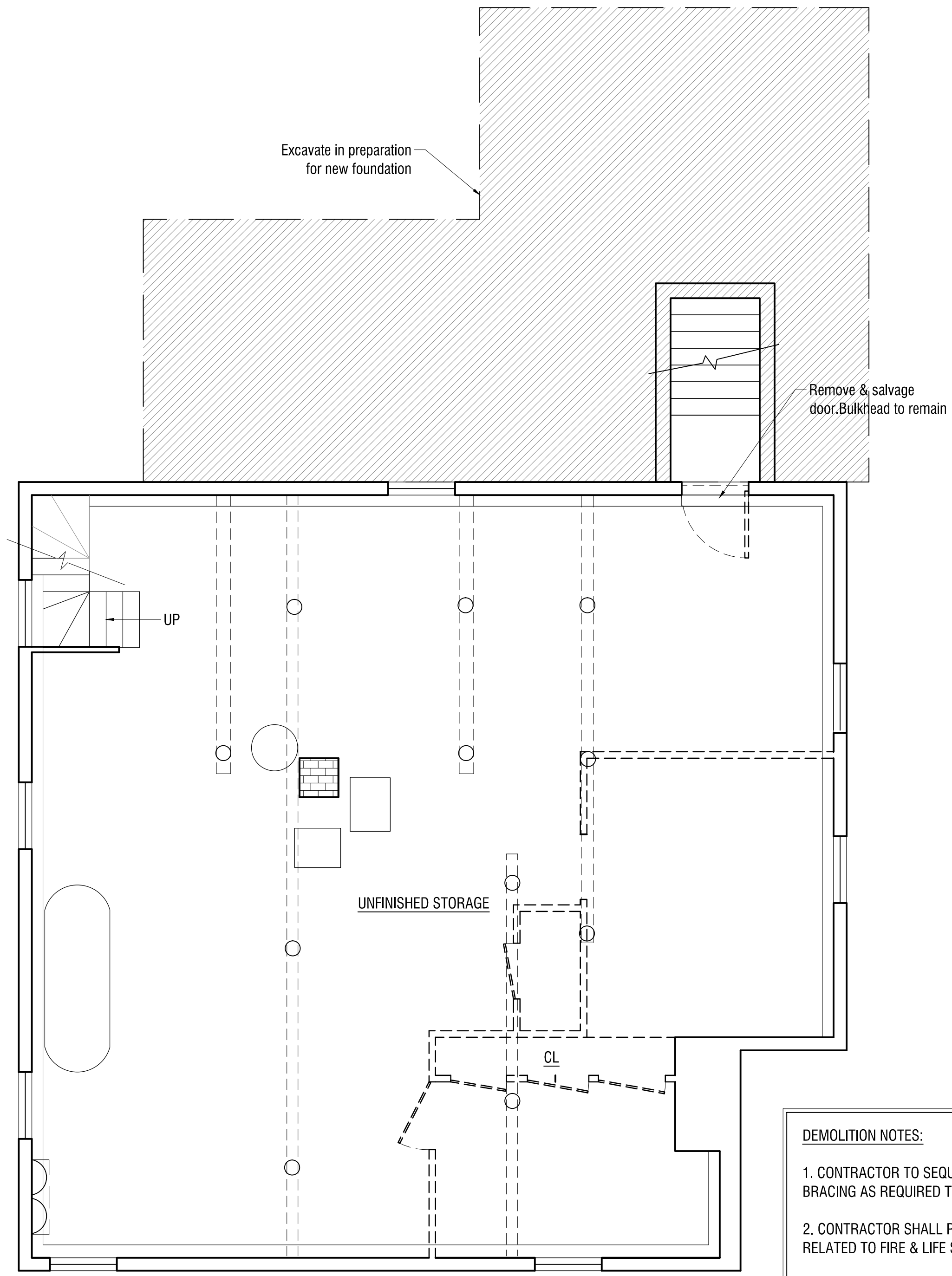
Drawing Scale

TITLE SHEET

T1.0

10.30.16 DEMOLITION SET
06.30.16 PRICING SET

1/8" = 1'
 0 5 10
 1/4" = 1'
 0 2 4 8 12 16 20
 1/2" = 1'
 0 1 2 3 4 5 6 7 8 9 10 11 12
 1-1/2" = 1'
 0 1 2 3 4 5 6 7 8 9 10 11 12
 3" = 1'
 0 1 2 3 4 5 6 7 8 9 10 11 12



PLAN KEY:

	EXISTING WALL
	NEW WALL
	REMOVED WALL

DEMOLITION NOTES:

1. CONTRACTOR TO SEQUENCE DEMOLITION FROM TOP DOWN, AS REQUIRED, & PROVIDE ALL SHORING & BRACING AS REQUIRED TO SUPPORT REMAINING STRUCTURE.
2. CONTRACTOR SHALL PROMPTLY REPORT DIRECTLY TO THE ARCHITECT ANY DISCOVERIES THAT MAY BE RELATED TO FIRE & LIFE SAFETY, INCLUDING BUT NOT LIMITED TO, ELECTRICAL & STRUCTURAL ISSUES.
3. CONTRACTOR SHALL SAVE ALL WINDOWS, DOORS, PLUMBING FIXTURES & ACCESSORIES WHERE FEASIBLE.

1 Basement Demolition Plan
 1/4" = 1'-0" PROJECT NORTH



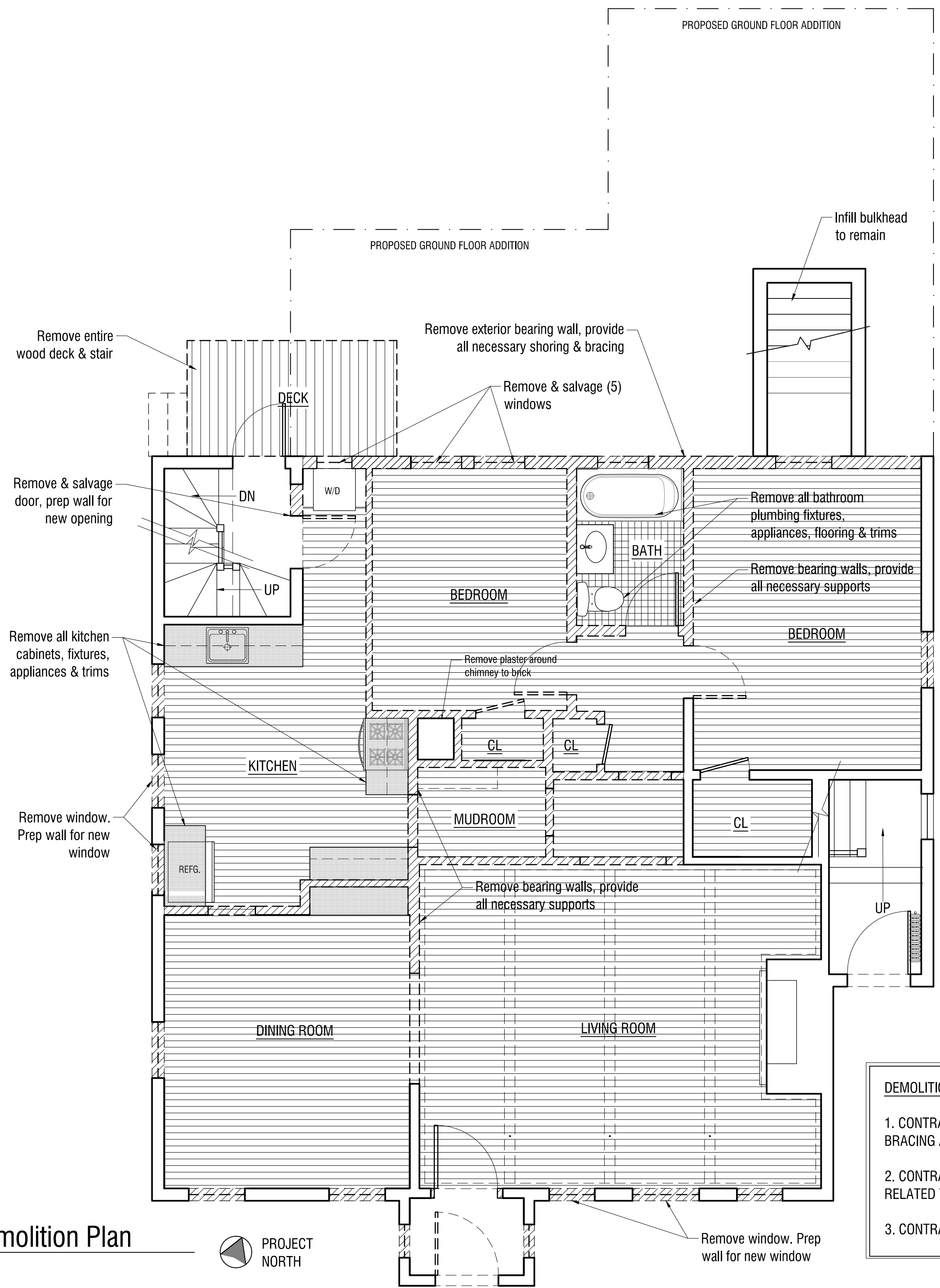
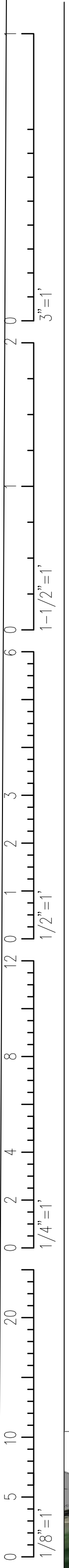
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#	DATE	DESCRIPTION
2	----	----
1	----	----
REVISIONS		

Date Issued	2.22.2017
Drawing Scale	AS NOTED
Basement Demolition Plan	

A1.0



PLAN KEY:

	EXISTING WALL
	NEW WALL
	REMOVED WALL

- DEMOLITION NOTES:**
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 3. CONTRACTOR SHALL SAVE ALL WINDOWS, DOORS, PLUMBING FIXTURES & ACCESSORIES WHERE FEASIBLE.

1 Ground Floor Demolition Plan
1/4" = 1'-0"



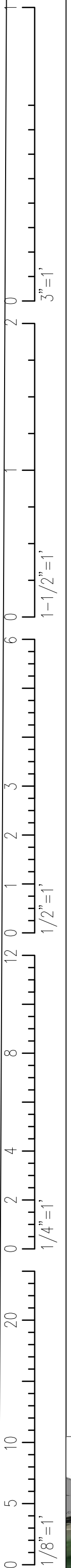
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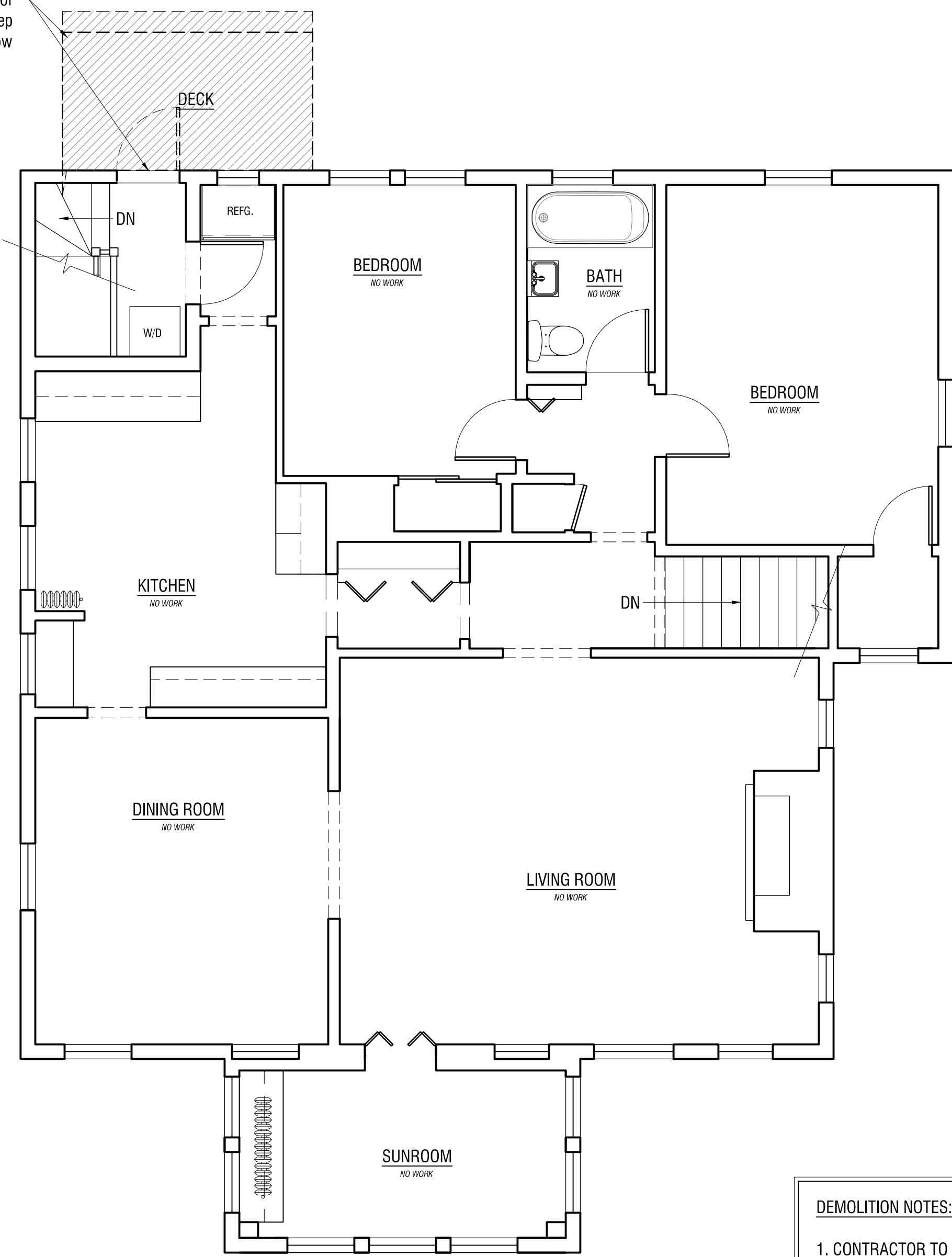
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Date Issued	2.22.2017
Drawing Scale	AS NOTED
Ground Floor Demolition Plan	

A1.1



Remove entire deck, roof above and door. Prep wall for new window



PLAN KEY:

	EXISTING WALL
	NEW WALL
	REMOVED WALL

DEMOLITION NOTES:

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3. CONTRACTOR SHALL SAVE ALL WINDOWS, DOORS, PLUMBING FIXTURES & ACCESSORIES WHERE FEASIBLE.

1 Second Floor Demolition Plan
1/4" = 1'-0"



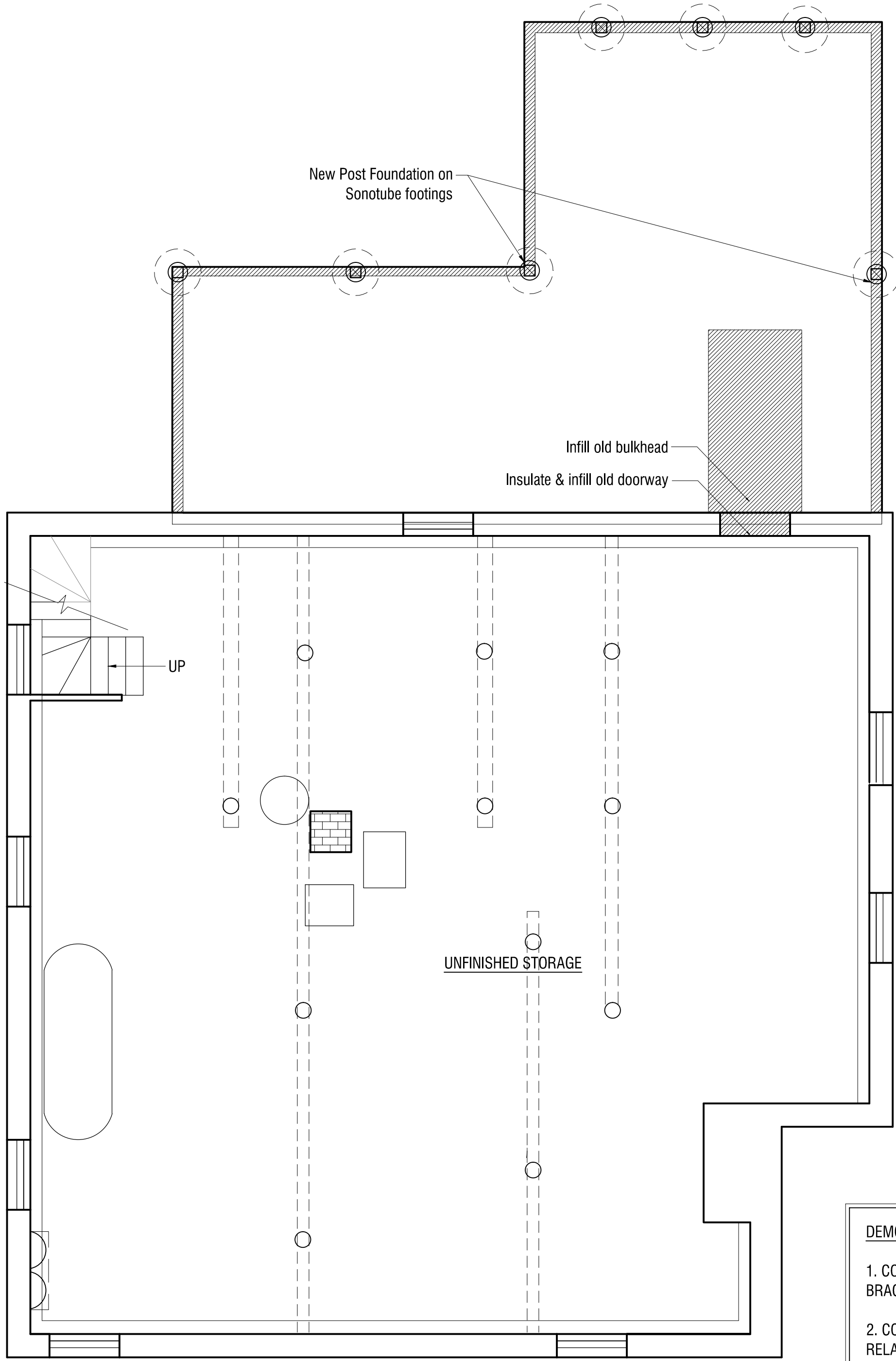
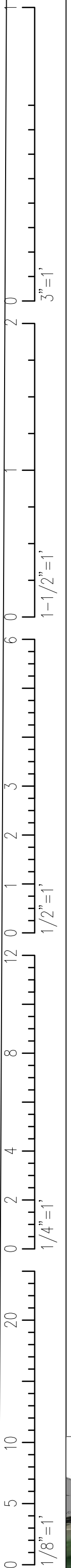
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#	DATE	DESCRIPTION
2	----	----
1	----	----
REVISIONS		

Date Issued	2.22.2017
Drawing Scale	AS NOTED
Second Floor Demolition Plan	

A1.2



PLAN KEY:

	EXISTING WALL
	NEW WALL
	REMOVED WALL

DEMOLITION NOTES:

1. CONTRACTOR TO SEQUENCE DEMOLITION FROM TOP DOWN, AS REQUIRED, & PROVIDE ALL SHORING & BRACING AS REQUIRED TO SUPPORT REMAINING STRUCTURE.
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1 Basement Renovation Plan
1/4" = 1'-0"



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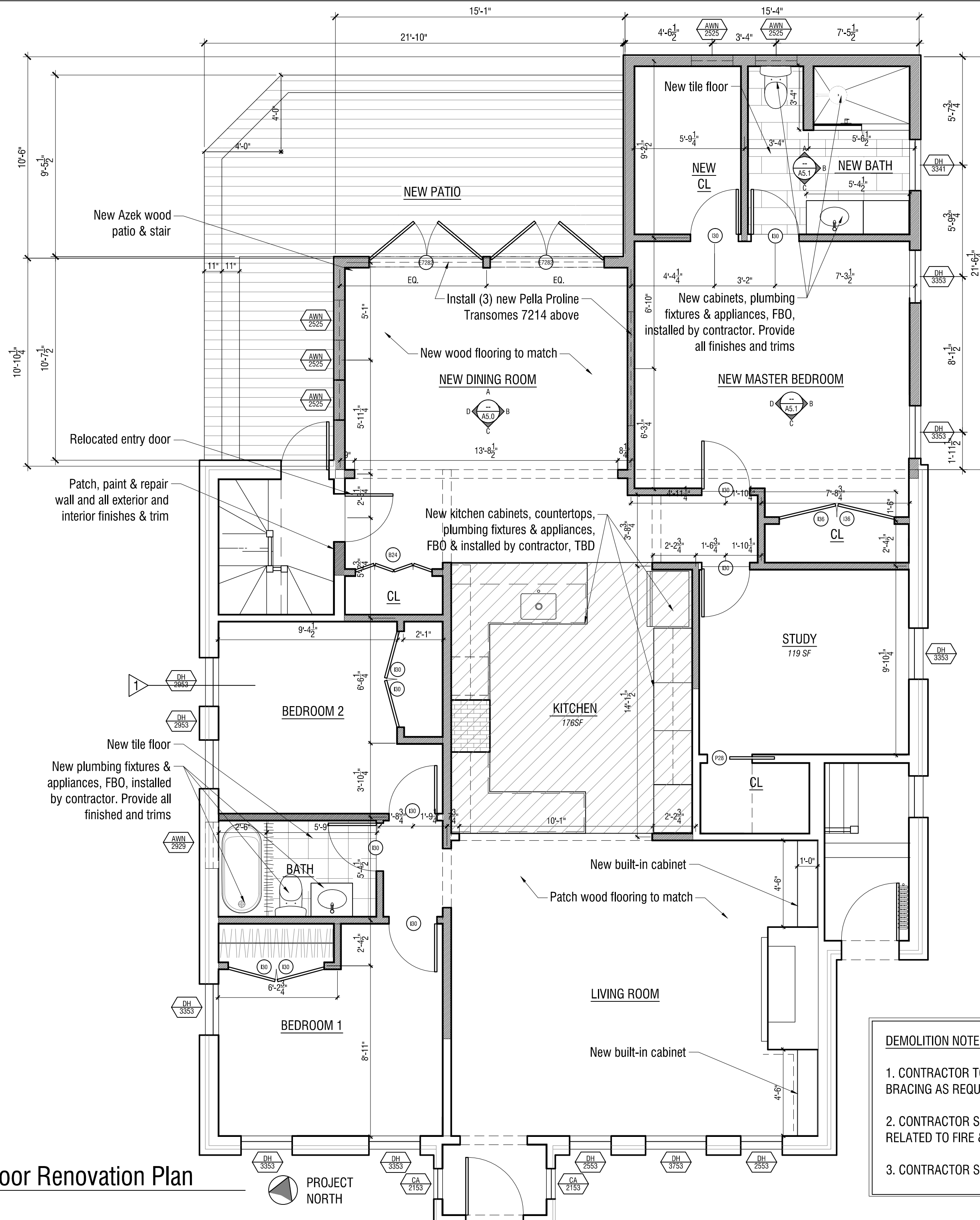
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1	----	----
REVISIONS		

Date Issued	2.22.2017
Drawing Scale	AS NOTED
Basement Renovation Plan	

A2.0

NOTE: New electric garage to match existing shared garage, See Plot Plan for location

6167



1 Ground Floor Renovation Plan
1/4" = 1'-0"



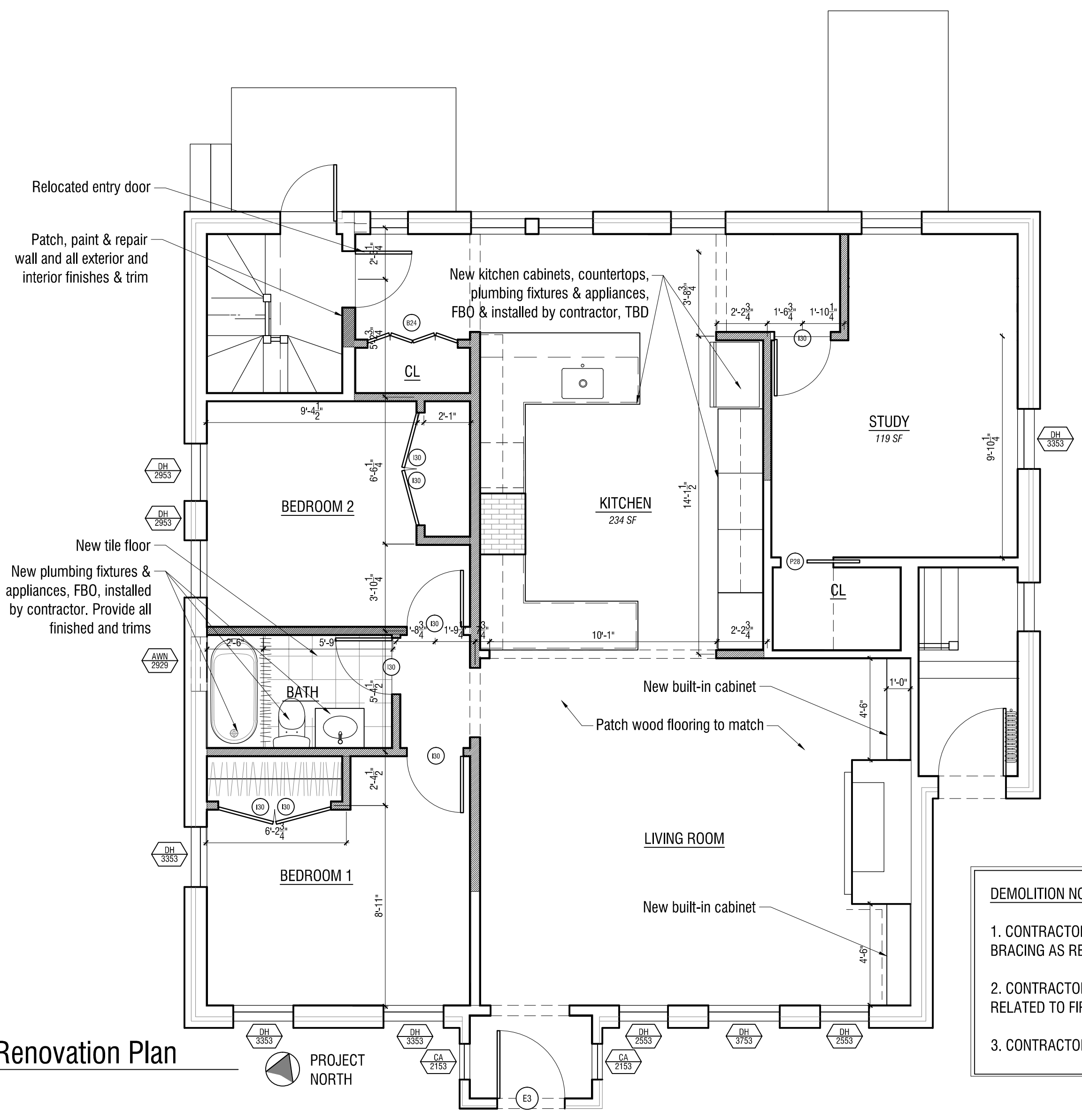
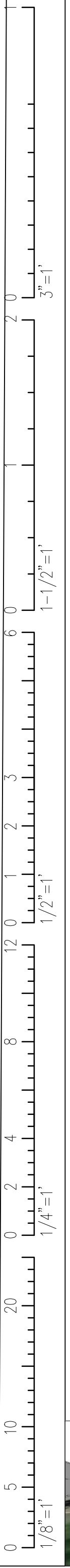
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1	----	----
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Date Issued	2.22.2017
Drawing Scale	AS NOTED
Ground Floor Renovation Plan	

A2.1



1 Ground Floor Renovation Plan
1/4" = 1'-0"



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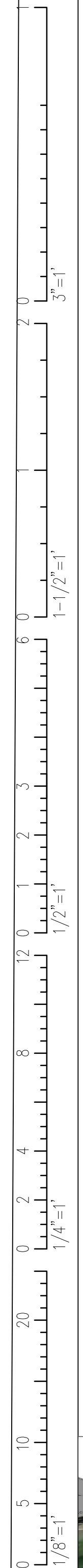
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REVISIONS		

Date Issued	2.22.2017
Drawing Scale	AS NOTED
Ground Floor Renovation Plan	

A2.1

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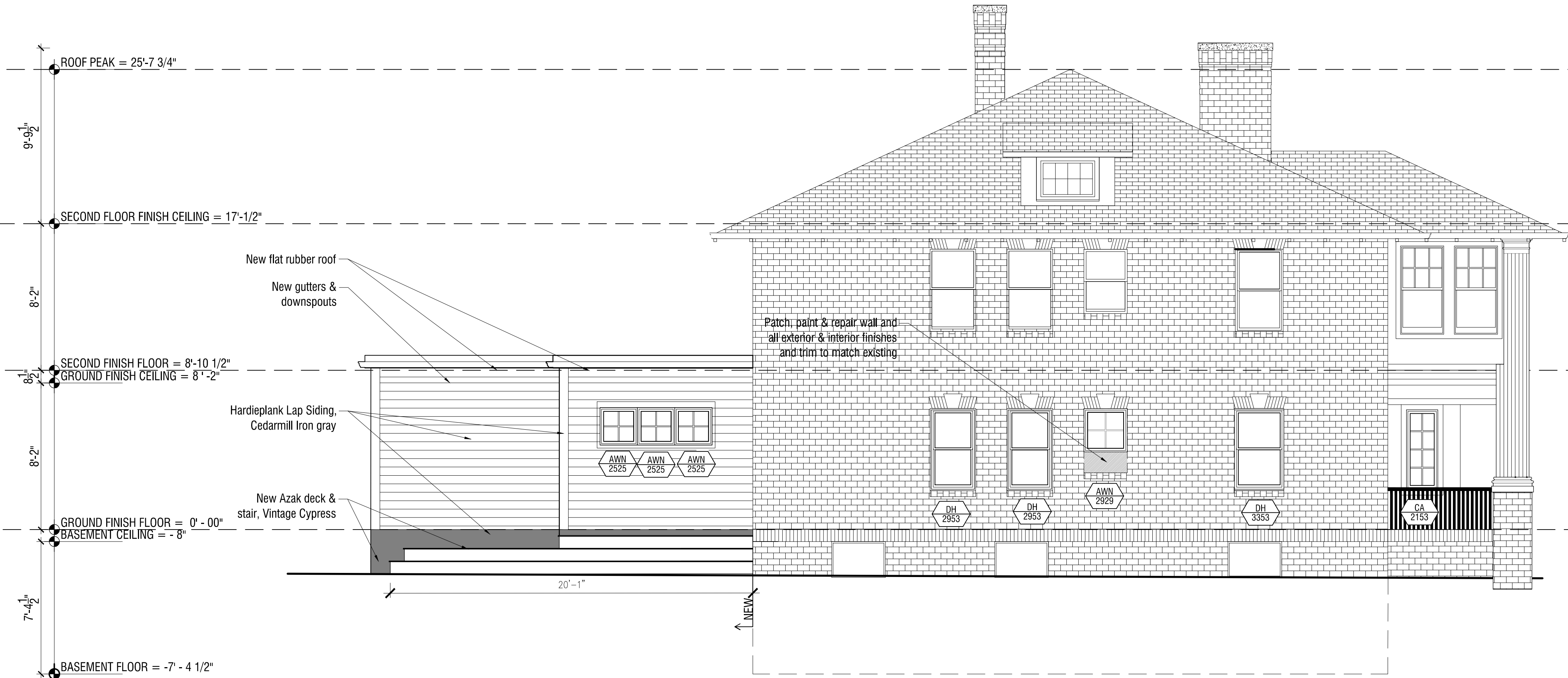
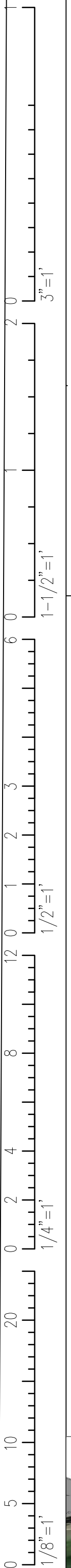
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#	DATE	DESCRIPTION
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1	----	----
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Date Issued	2.22.2017
Drawing Scale	1/4" = 1'-0"
Front/ South Elevation	

A3.0



ROOF PEAK = 25'-7 3/4"

9'-9 1/2"

SECOND FLOOR FINISH CEILING = 17'-1 1/2"

8'-2"

SECOND FINISH FLOOR = 8'-10 1/2"
GROUND FINISH CEILING = 8'-2"

1'-1/2" = 1'

8'-2"

1/2" = 1'

GROUND FINISH FLOOR = 0' - 00"
BASEMENT CEILING = - 8"

7'-4 1/2"

1/4" = 1'

BASEMENT FLOOR = -7' - 4 1/2"



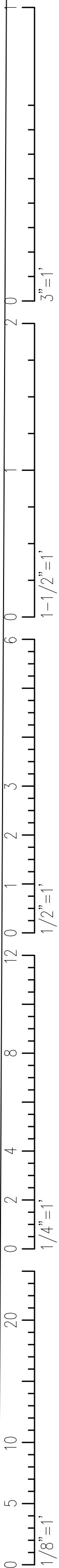
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#	DATE	DESCRIPTION
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1	----	----
REVISIONS		

Date Issued 2.22.2017
Drawing Scale 1/4" = 1'-0"
Left/West Elevation

A3.1



ROOF PEAK = 25'-7 3/4"

8'-7 1/4"

SECOND FLOOR FINISH CEILING = 17'-1 1/2"

8'-2"

SECOND FINISH FLOOR = 8'-10 1/2"
GROUND FINISH CEILING = 8'-2"

8'-2"

GROUND FINISH FLOOR = 0' - 00"
BASEMENT CEILING = -8"

7'-4 1/2"

BASEMENT FLOOR = -7' - 4 1/2"

- New flat rubber roof
- New gutters & downspouts
- Patch, paint & repair wall and all exterior & interior finishes and trim to match existing
- Hardieplank Lap Siding, Cedarmill Iron Gray
- New Azak deck & stair, Vintage Cypress

15'-6" 15'-1" 4'-11" 11"



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1	----	----
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Date Issued 02.22.2017
Drawing Scale 1/4" = 1'-0"
Rear/North Elevation

A3.2



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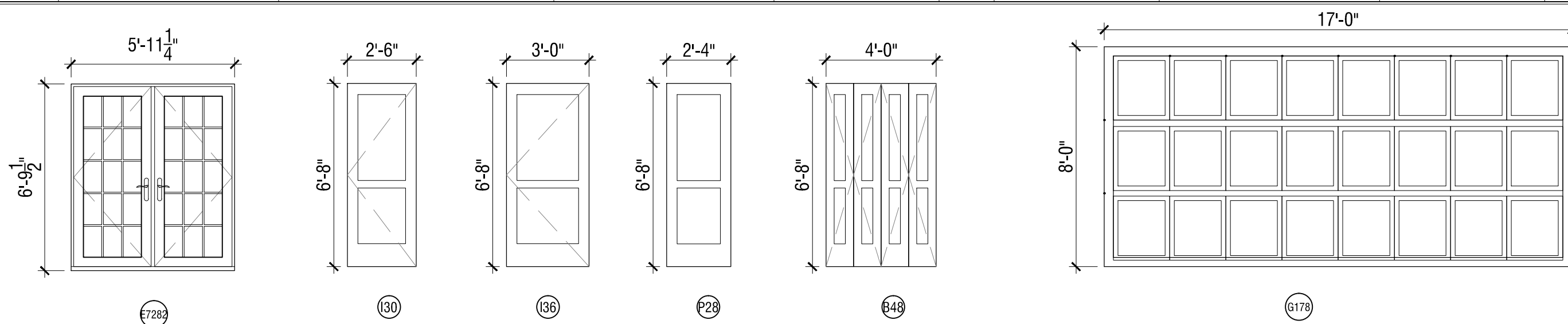
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Date Issued	02.22.2017
Drawing Scale	1/4" = 1'-0"
Right/East Elevation	

A3.3

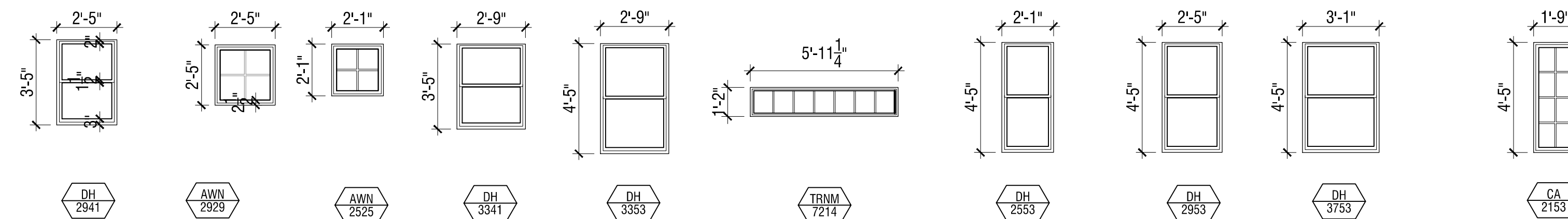
DOOR SCHEDULE

TAG:	MANUFACTURER:	MODEL:	STYLE:	TYPE:	QTY:	FRAME SIZE:	MATERIAL:	FINISH:	NOTES:
ⓔ7282	PELLA	DOUBLE PATIO 7282	CONTEMPORARY	PATIO, OUT-SWING	2	5'-11¼" x 6'-9½"	CLAD	WHITE	OR SIMILAR PRODUCT. INSTALL WITH PELLA TRANSOME
ⓔ130	SIMPSON	OVATION 87102	2-PANEL	SWING	11	2'-6" x 6'-8"	PRIMED MDF	WHITE	OR SIMILAR PRODUCT
ⓔ136	SIMPSON	OVATION 87102	2-PANEL	SWING	2	3'-0" x 6'-8"	PRIMED MDF	WHITE	OR SIMILAR PRODUCT
ⓔB48	SIMPSON	OVATION, TO MATCH 87102	DOUBLE PANEL	BIDFOLD	1	4'-8" x 6'-8"	PRIMED MDF	WHITE	OR SIMILAR PRODUCT
ⓔP28	SIMPSON	OVATION 87102	2-PANEL	POCKET	1	2'-4" x 6'-8"	PRIMED MDF	WHITE	OR SIMILAR PRODUCT
ⓔG178	CLOPAY	GARAGE	DOUBLE DOOR-CLASSIC	GARAGE	1	17'-0" x 8'-0"	STEEL	WHITE	OR SIMILAR PRODUCT, TO MATCH EXISTING



WINDOW SCHEDULE

TAG:	MANUFACTURER:	MODEL:	FRAME SIZE (W x H):	QTY:	EXTERIOR FINISH (COLOR):	INTERIOR FINISH:	NOTES:
ⓔDH 2941	PELLA	PROLINE DOUBLE-HUNG, 2941	2'-5" x 3'-5"	1	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT
ⓔAWN 2929	PELLA	AWNING, 2929	2'-5" x 2'-5"	1	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT; WOOD ¾" GRILLE
ⓔAWN 2525	PELLA	AWNING, 2525	2'-1" x 2'-1"	5	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT; WOOD ¾" GRILLE
ⓔDH 3341	PELLA	PROLINE DOUBLE-HUNG, 3341	2'-9" x 3'-5"	1	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT
ⓔDH 3353	PELLA	PROLINE DOUBLE-HUNG, 3353	2'-9" x 4'-5"	6	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT
ⓔTRNM 7214	PELLA	PROLINE TRANSOME, 7214	1'-2½" x 5'-11¼"	3	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT
ⓔDH 2553	PELLA	PROLINE DOUBLE-HUNG, 3353	2'-1" x 4'-5"	2	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT
ⓔDH 2953	PELLA	PROLINE DOUBLE-HUNG, 3353	2'-5" x 4'-5"	2	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT
ⓔDH 3753	PELLA	PROLINE DOUBLE-HUNG, 3353	3'-1" x 4'-5"	1	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT
ⓔCA 7214	PELLA	PROLINE FIXED CASEMENT 7214	1'-9" x 4'-5"	2	ALUMINUM-CLAD (WHITE)	FACTORY-PRIMED	OR SIMILAR PRODUCT



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2	----	----
1	----	----
#	DATE	DESCRIPTION

Date Issued	02.22.2017
Drawing Scale	1/4" = 1'-0"
DOOR & WINDOW SCHEDULES	

A4.0

Sack-Levine Residence

101-103 Kilsyth Road
Boston, MA 02135

Architect:

Michael Kim Associates
1 Holden Street
Brookline, MA 02445
p:617.739.6925
P.I.C. Michael Kim

Owner:

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e:sack.jamie@yahoo.com
Contact: Jamie Sack

Contractor:

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Contact: Cyril McArdle

Brief Description of Project :

- Single story rear addition
- Replacement windows and doors
- Rear Porch Demolition

Presentation Index

1- Neighborhood Context & Lot Coverage

2-Renovation /Addition Specifics



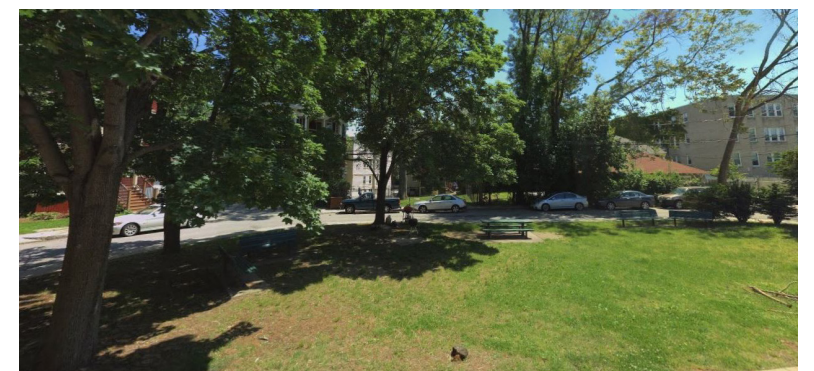


Neighborhood Context

Site



1 Street View from Wilson Park-Spring



2 Rear yard Foliage - Spring & Summer



3 Front Facade, Spring 101-103 Kilsyth on right



Model View from Wilson Park





Site Plan

Zoning Analysis

Dimensional Data:

Lot Size:	6,606 SF
Frontage:	51 FT
F.A.R. max:	0.8
Building Area:	2,576 SF
First Floor:	1166 SF
Second Floor:	1276 SF
Third Floor:	134 SF
F.A.R. Existing:	0.39
Finished Area, Propsd. Add.):	3,0244 SF (446 SF)
F.A.R. Porposed:	0.46

Dimensional Requirements:

Lot Size-min.:	6,000SF	CONFORMING
Frontage-min:	55 FT	CONFORMING
Height-max.:	35 FT	
Height-actual:	+/- 27 FT	CONFORMING
Front Setback-min.:	20 FT	
Front Setback-actual:	18.2 FT	NON-CONFORMING
Side Setback-min.:	5 FT	
Side Setback L-actual:	6.8 FT	CONFORMING
Side Setback R-min.:	5 FT*	
Side Setback R-actual:	5 FT	CONFORMING
Rear Setback-min.:	30 FT	
Rear Setback-actual:	45 FT	CONFORMING
Open Space, usable-min.:	1,600 SF	
Open Space, proposed:	4,817 SF	CONFORMING

* Side yards must be at lease 5'-0" and aggregate side yards shall not be >15'-0"





Neighbor's House, Rear corner perspective



Neighbor's Addition



View from Wilson Park



Lasndscape



Front Facade, Existing



Front Facade, Proposed

NOTE: REPLACEMENT WINDOWS to GROUND FLOOR ONLY, NO OTHER CHANGES





Left Facade, Existing



Right Facade, Existing



Left Facade, Proposed - REPLACE WINDOWS ON GROUND FLOOR, REMOVE PORCH



Right Facade, Proposed - REPLACE WINDOWS ON GROUND FLOOR



Rear Facade, Existing



Existing Photo, Rear Yard



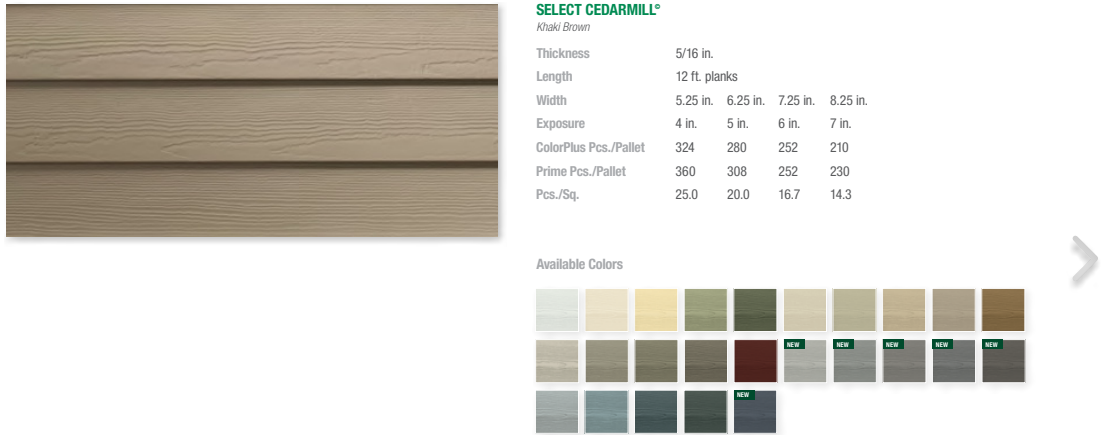
Rear Facade, Proposed - ADDITION TO ACCOMMODATE LARGE FAMILY



Addition does not remove any landscaping

Siding Trim Soffit HardieWrap® Finishing Touches


● HardiePlank® Lap Siding HardiePanel® Vertical Siding HardieShingle® Siding



SELECT CEDARMILL®
Khaki Brown

Thickness	5/16 in.			
Length	12 ft. planks			
Width	5.25 in.	6.25 in.	7.25 in.	8.25 in.
Exposure	4 in.	5 in.	6 in.	7 in.
ColorPlus Pcs./Pallet	324	280	252	210
Prime Pcs./Pallet	360	308	252	230
Pcs./Sq.	25.0	20.0	16.7	14.3

Available Colors



[View all HardiePlank Lap Siding Products](#)

JamesHardie Siding | Trim ABOUT JAMES HARDIE PRODUCTS COLOR

HardiePlank Lap SIDING



Cedarmill, Iron Gray



RUSTIC & TEXTURED

AZEK® Deck's Vintage Collection sets a new standard in aesthetics, giving you a more realistic wood appearance than competing alternative decking products. With its rustic texture, rich colors and superior durability, the Vintage Collection will bring your dream outdoor living space to life.

Enjoy the beauty and benefits of the AZEK Deck Vintage Collection:

Made with high-performance materials: Capped polymer decking protected with Alloy Armour Technology™

Engineered to last: Resistant to harsh weather, mold, mildew and moisture damage

Designed to inspire: Beautiful colors and graining that resist stains, scratches and fading

Crafted for enjoyment: Quick and easy installation with no annual sealing or staining for protection; superior heat dissipation

Protected for you: 30-year limited fade and stain and lifetime limited warranties; Building Code listings ESR-1667 and CCRR-0101

Decking dimensions

All deck boards are 1" x 5 1/2"

Dark Hickory

Square shouldered lengths: 16' | 20'

Grooved lengths: 12' | 16' | 20'

Fascia (1/2" x 11 3/4"): 12'

Cypress®

Square shouldered lengths: 16' | 20'

Grooved lengths: 12' | 16' | 20'

Fascia (1/2" x 11 3/4"): 12'

Mahogany

Square shouldered lengths: 16' | 20'

Grooved lengths: 12' | 16' | 20'

Fascia (1/2" x 11 3/4"): 12'



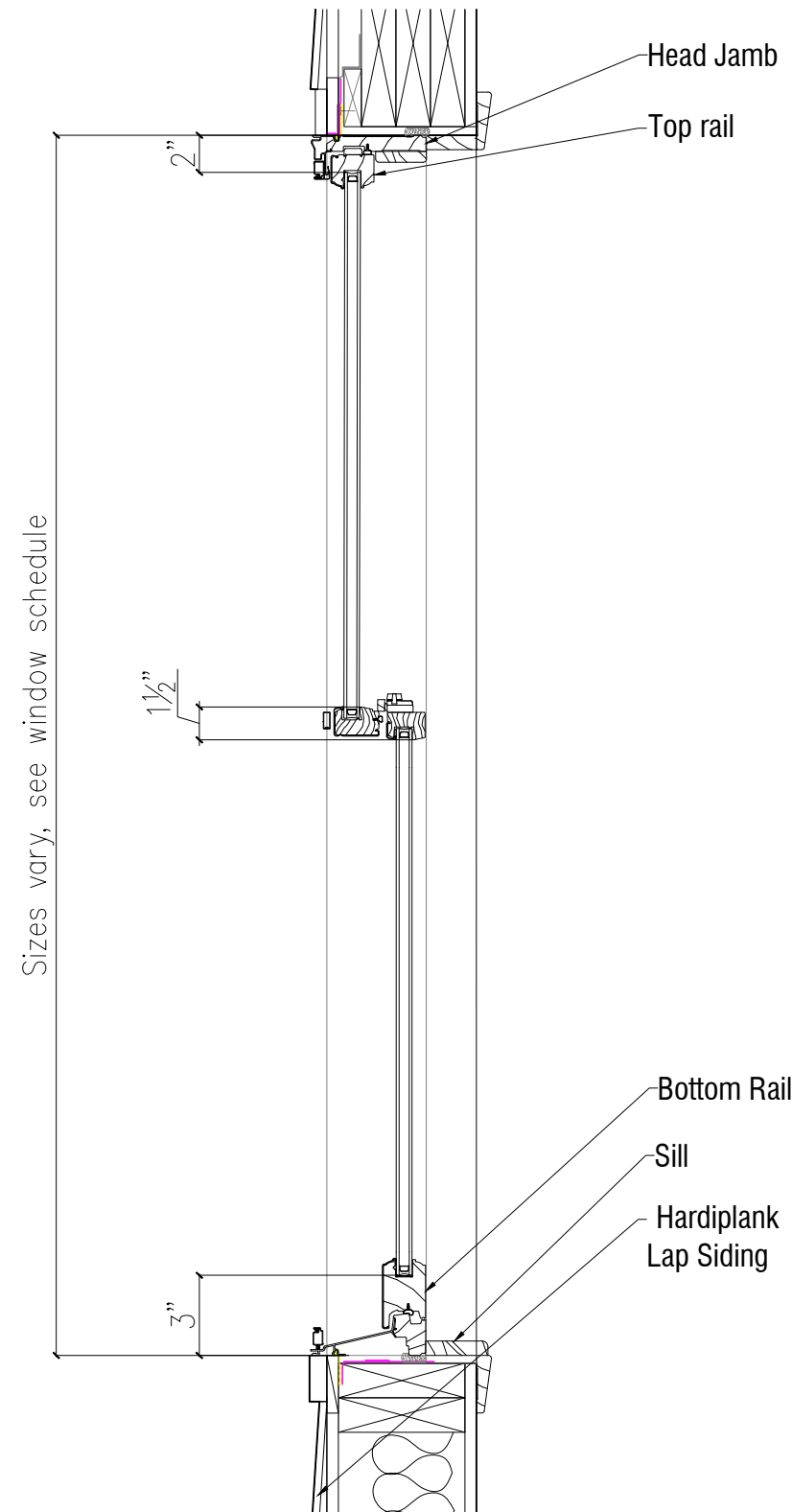
Vintage Collection 1" X 5 1/2" Square Cypress



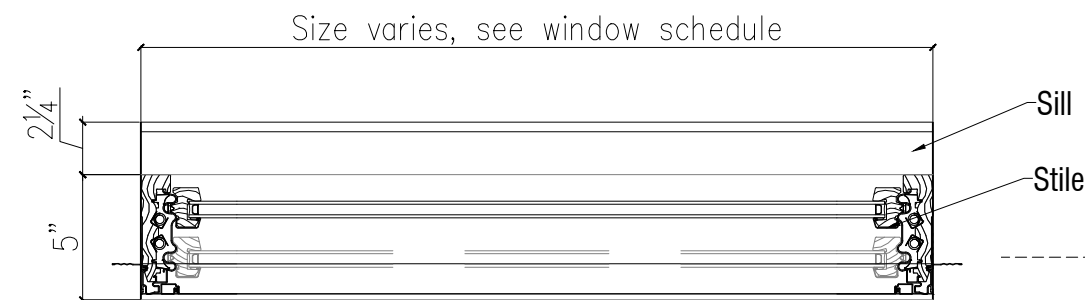
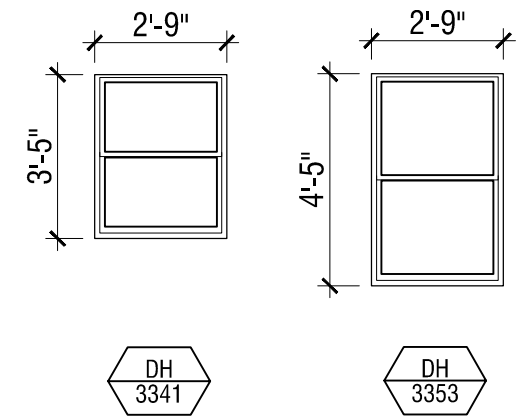
ADDITION MATERIALS

Michael Kim Associates

NEW WINDOW - Pella Proline Aluminum-Clad Double-Hung

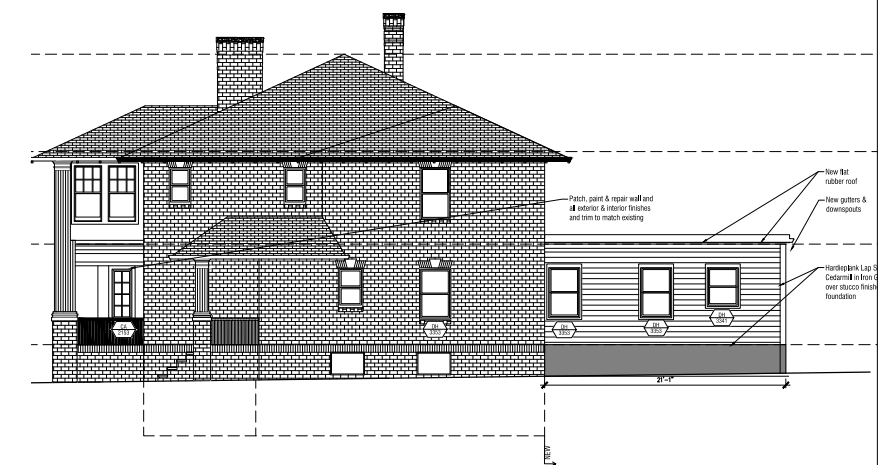


Vertical Section
Scale: 1 1/2" = 1'-0"

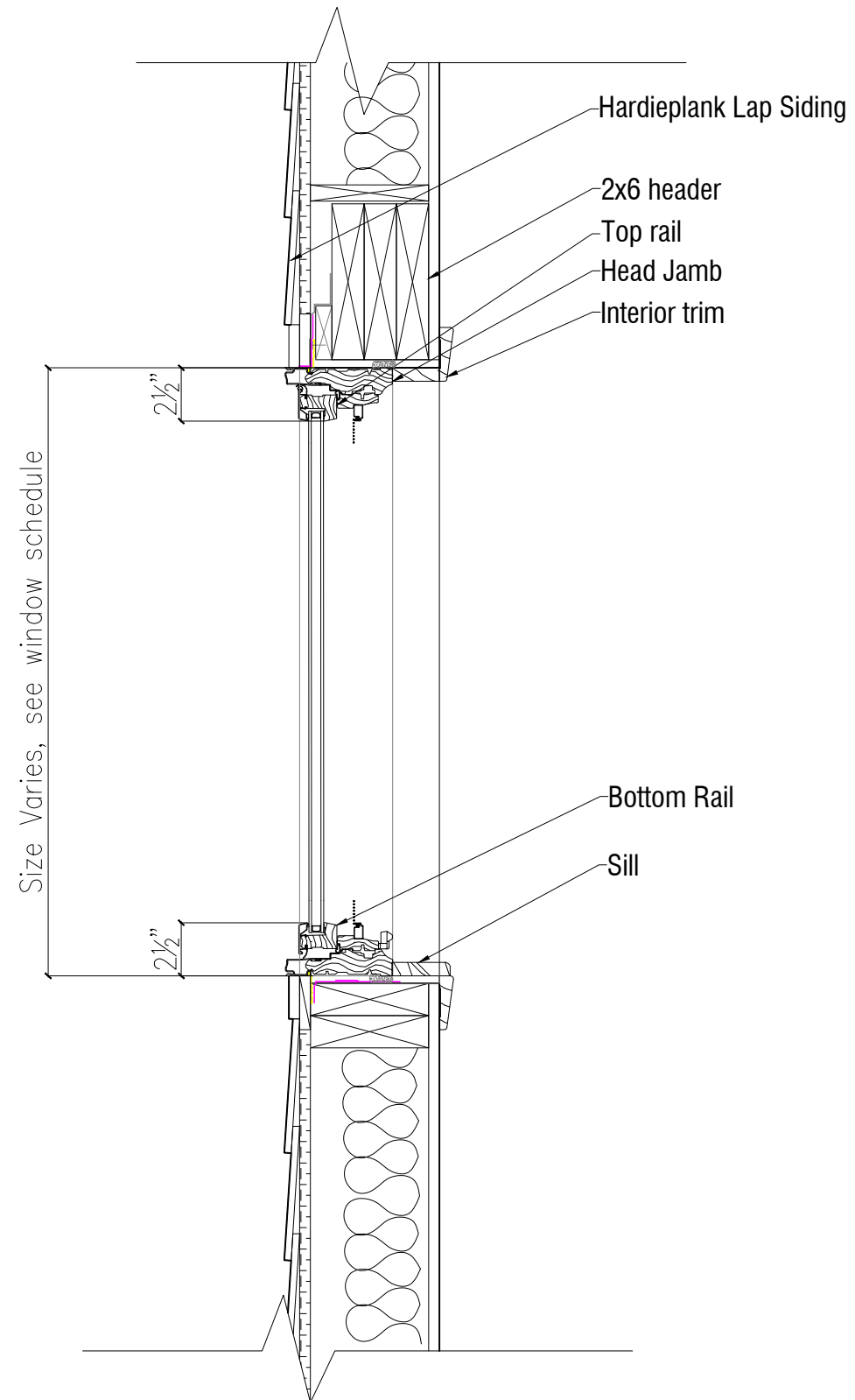


EXTERIOR

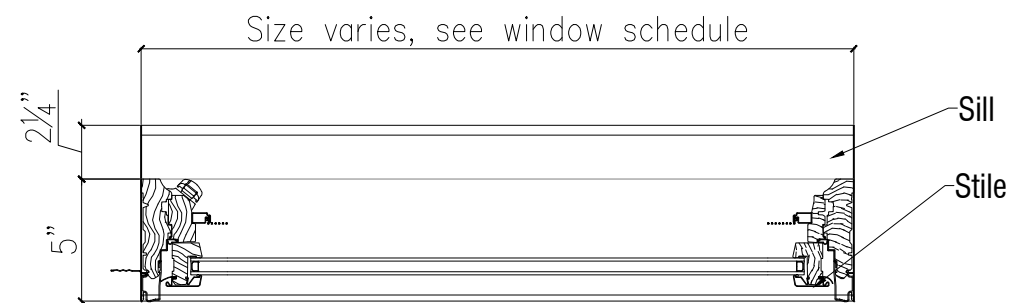
Horizontal Section
Scale: 1 1/2" = 1'-0"



ADDITION - NEW WINDOW - Pella Proline Aluminum-Clad Double-Hung

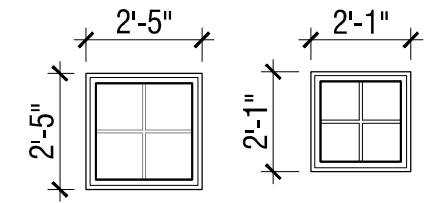


Vertical Section
 Scale: 1 1/2" = 1'-0"



EXTERIOR

Horizontal Section
 Scale: 1 1/2" = 1'-0"



ADDITION - NEW PATIO DOOR - Pella Double Patio Door

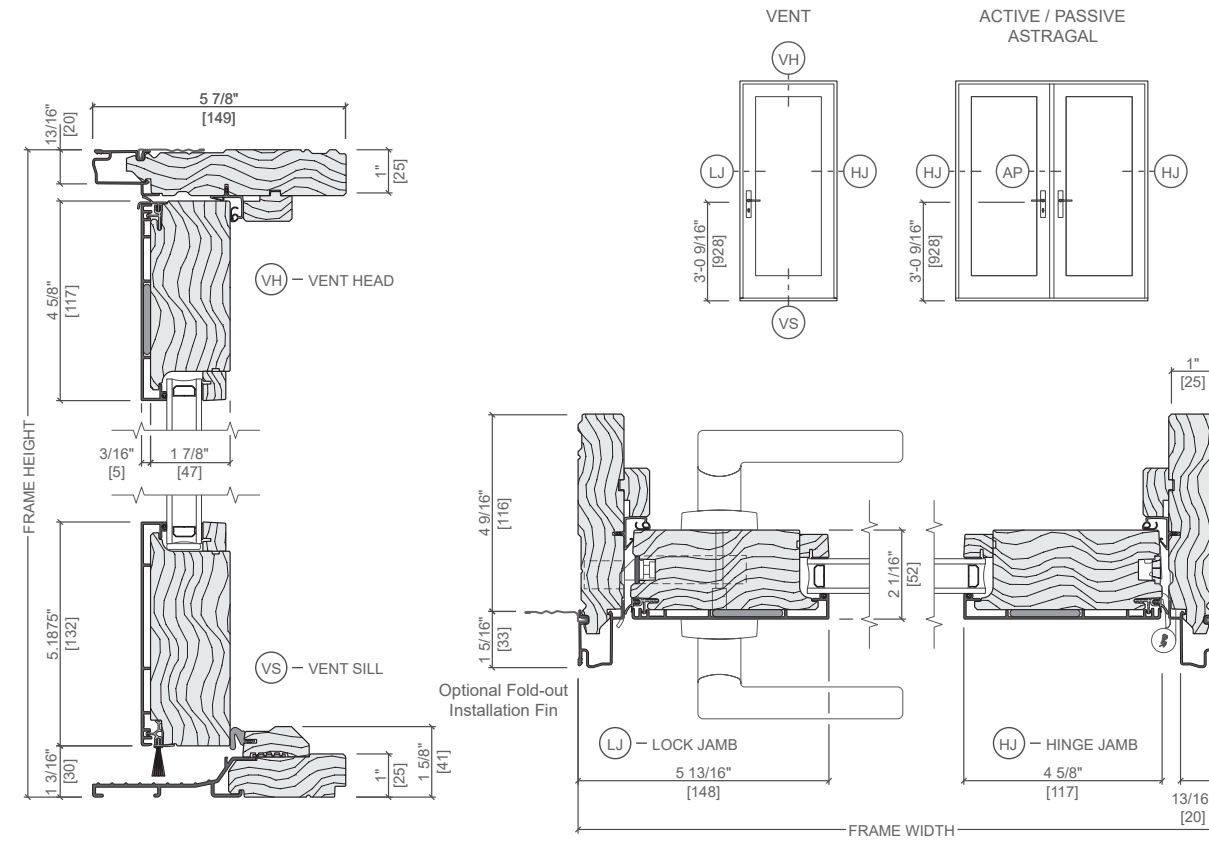
Architect Series® Contemporary



OUT-SWING DOOR

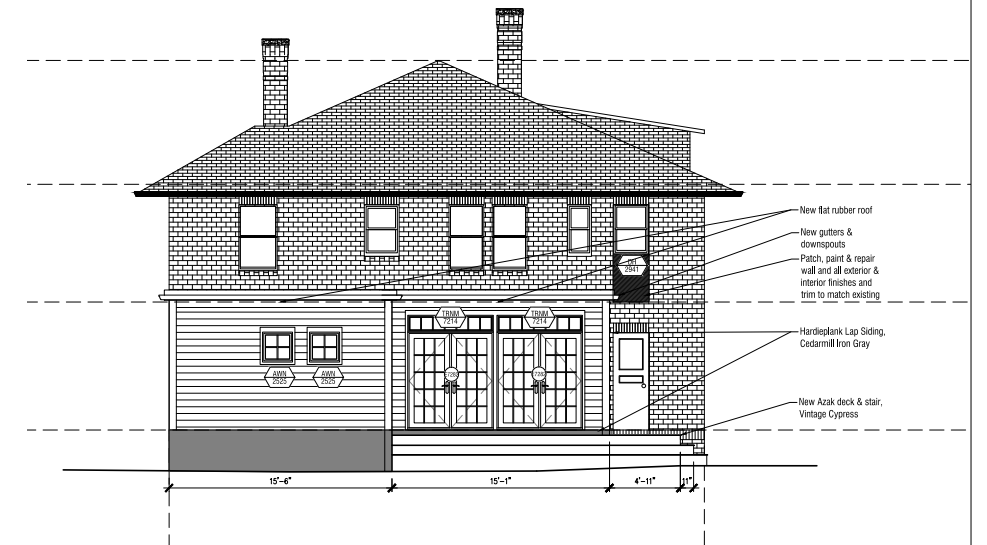
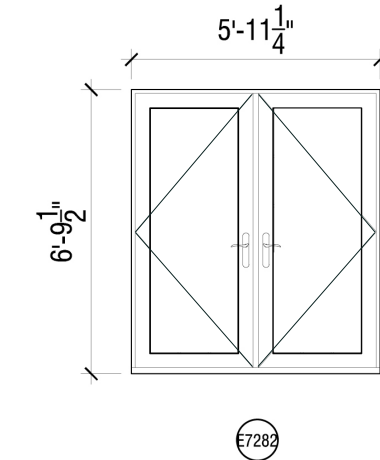
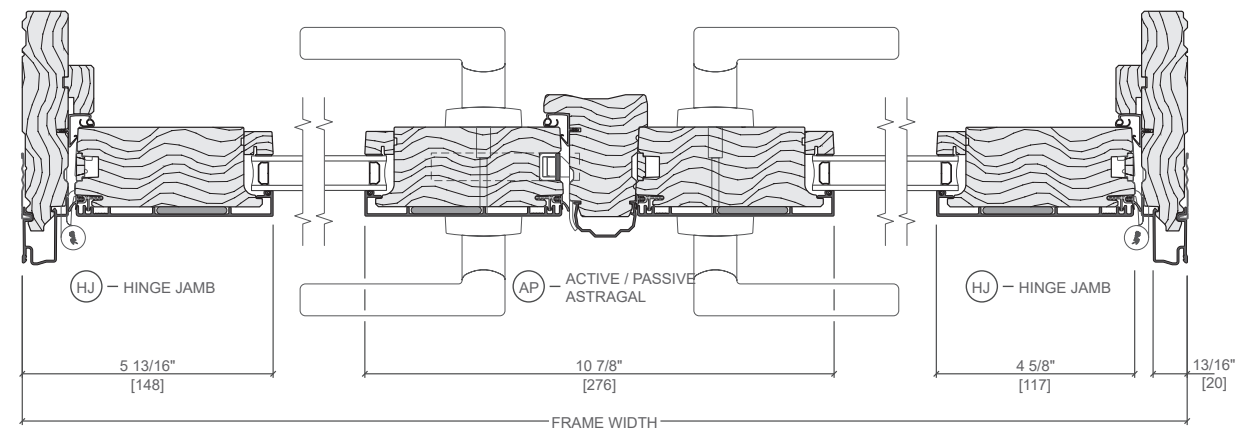
UNIT SECTIONS
Aluminum-Clad Exterior



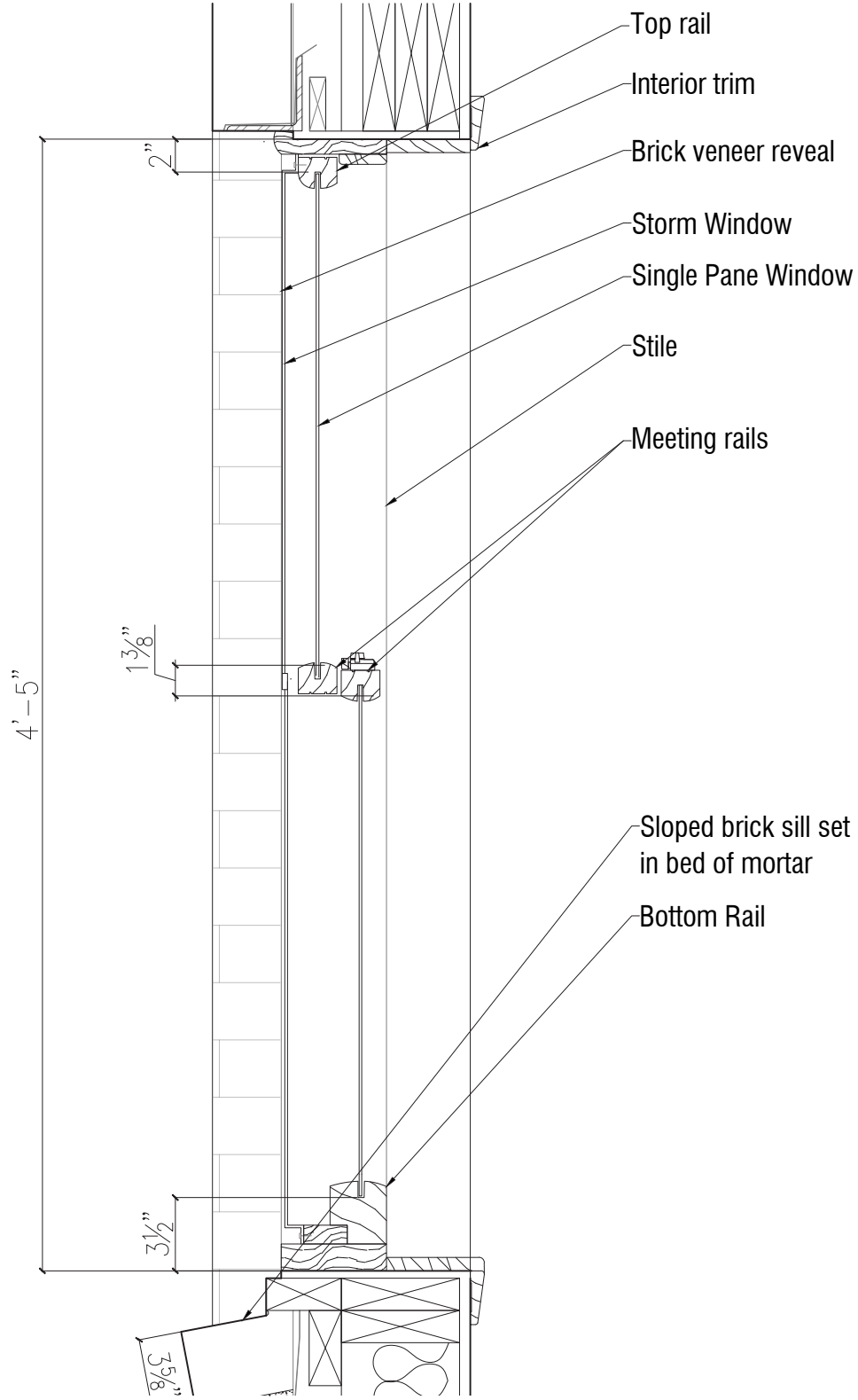


Vertical Section

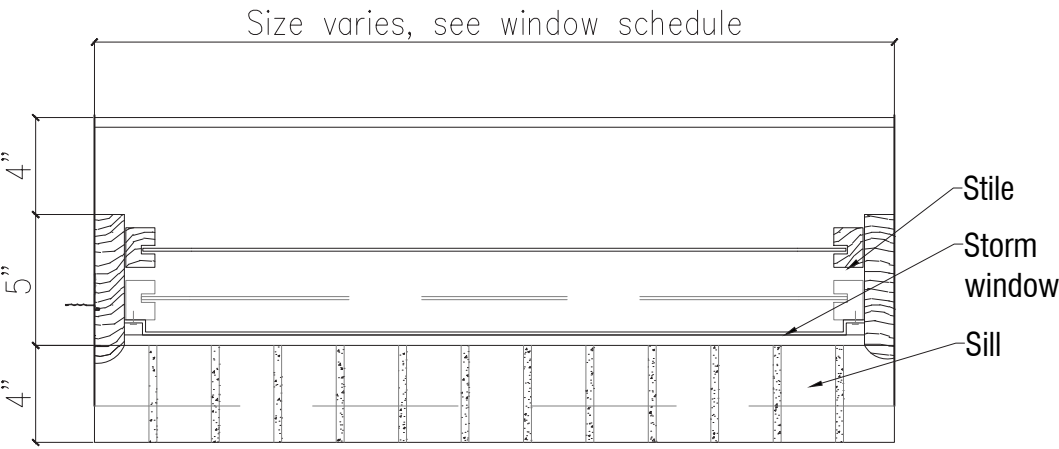
Horizontal Section



ADDITION - NEW PATIO DOOR - Pella Double Patio Door



Vertical Section
Scale: 1 1/2" = 1'-0"



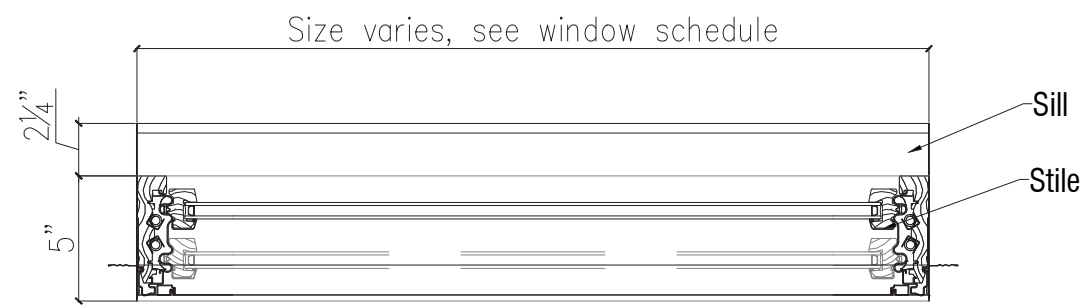
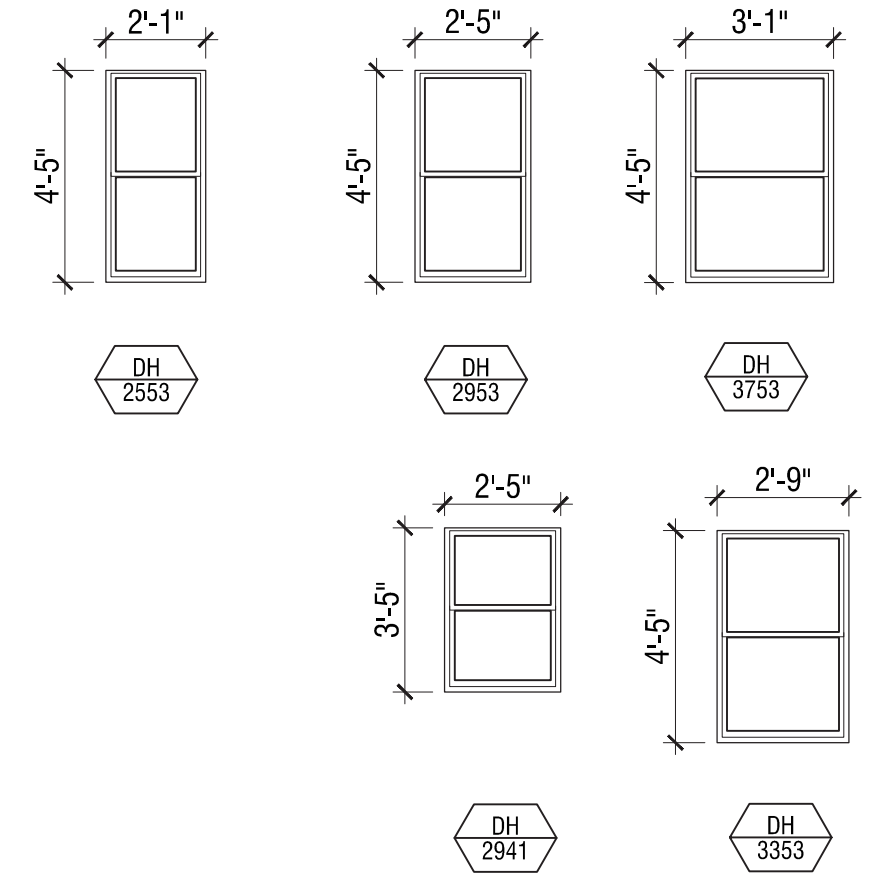
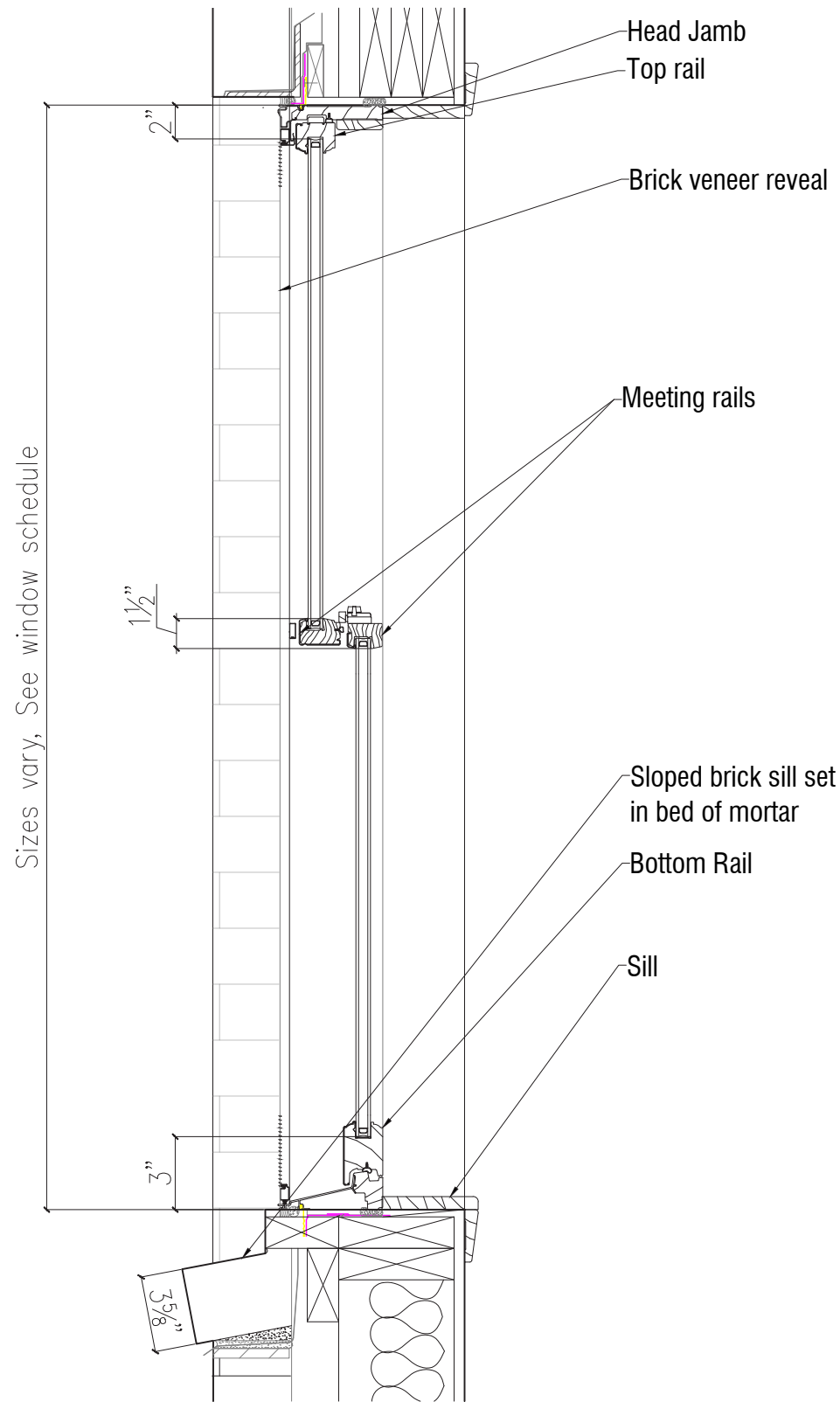
EXTERIOR

Horizontal Section
Scale: 1 1/2" = 1'-0"

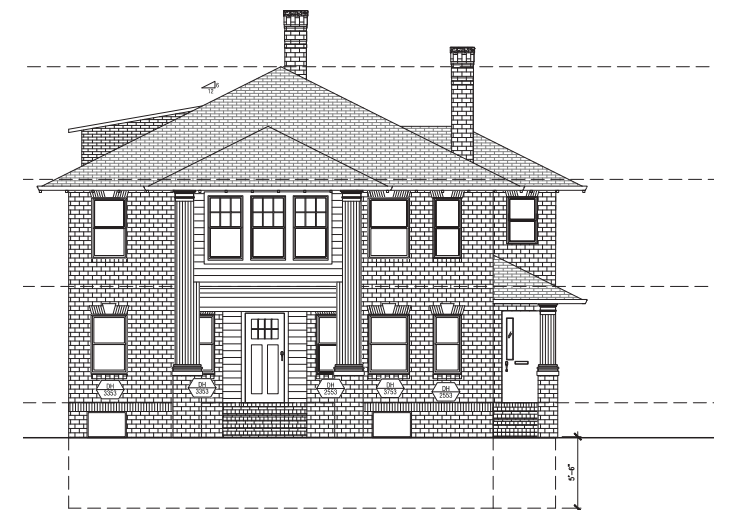


- Existing windows are broken and decayed beyond repair:
- Windows are inoperable.
 - Broken Windows
 - Splintering Sills
 - Not economically feasible to restore single pane windows
 - Replacement with double pane windows will remove storm window

REPLACEMENT WINDOW - Pella Proline Aluminum-Clad, Double- Hung

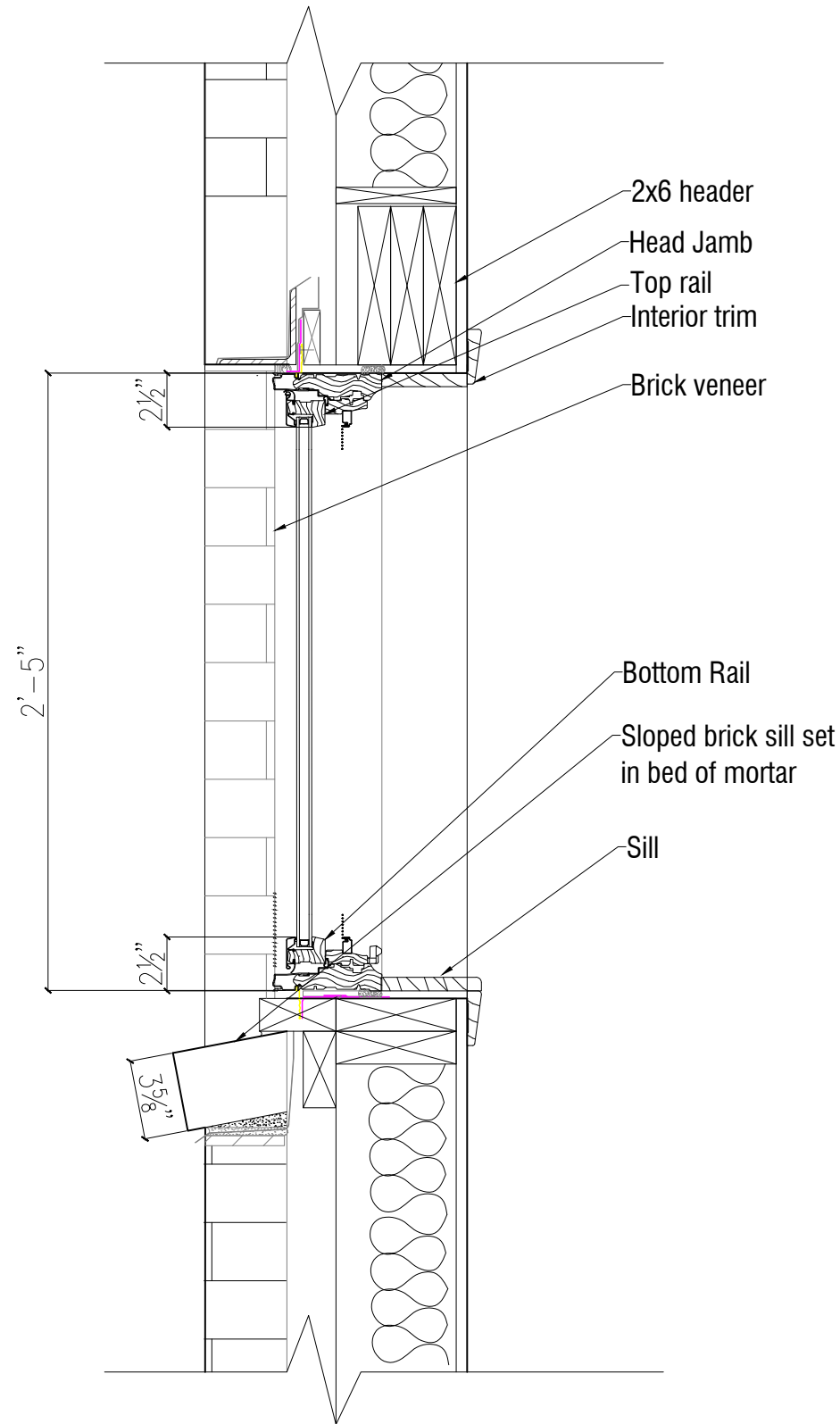


EXTERIOR

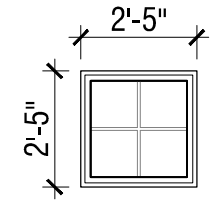


REPLACEMENT WINDOW - Pella Proline Double- Hung

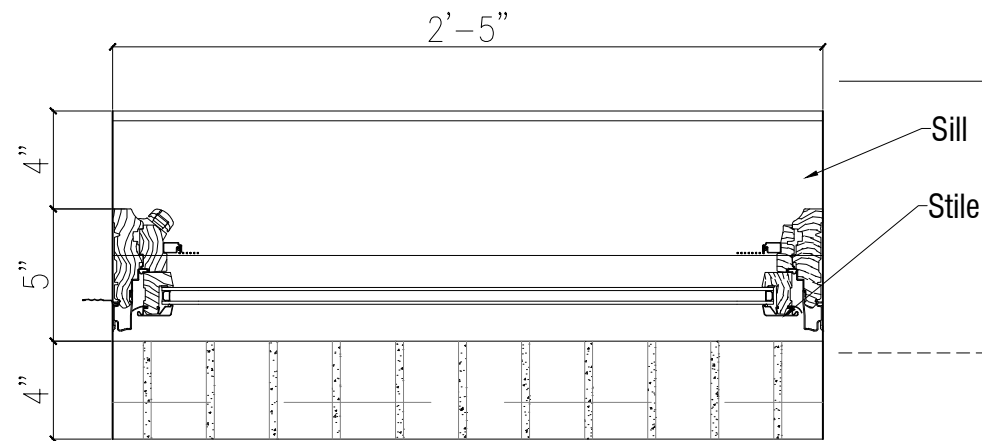
REPLACEMENT WINDOW - Pella Proline Aluminum-Clad Awning



Vertical Section
 Scale: 1 1/2" = 1'-0"

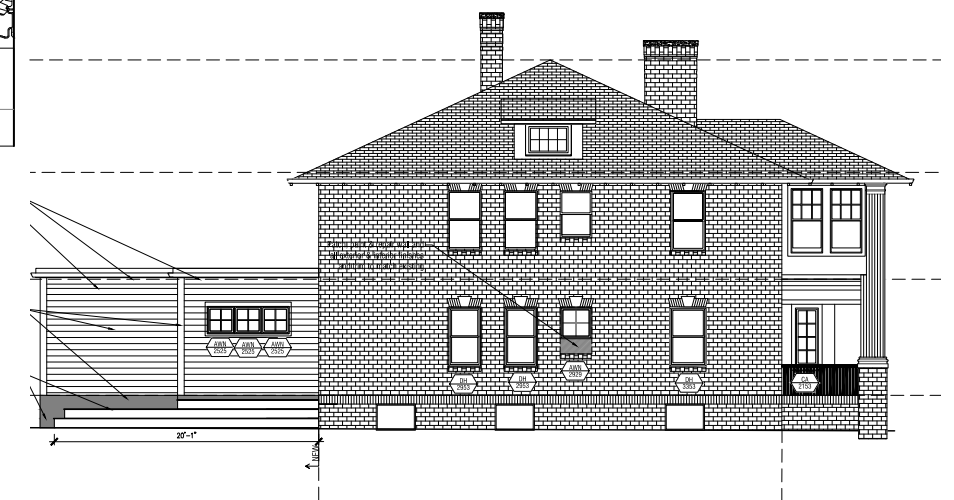


AWN
 2929



EXTERIOR

Horizontal Section
 Scale: 1 1/2" = 1'-0"



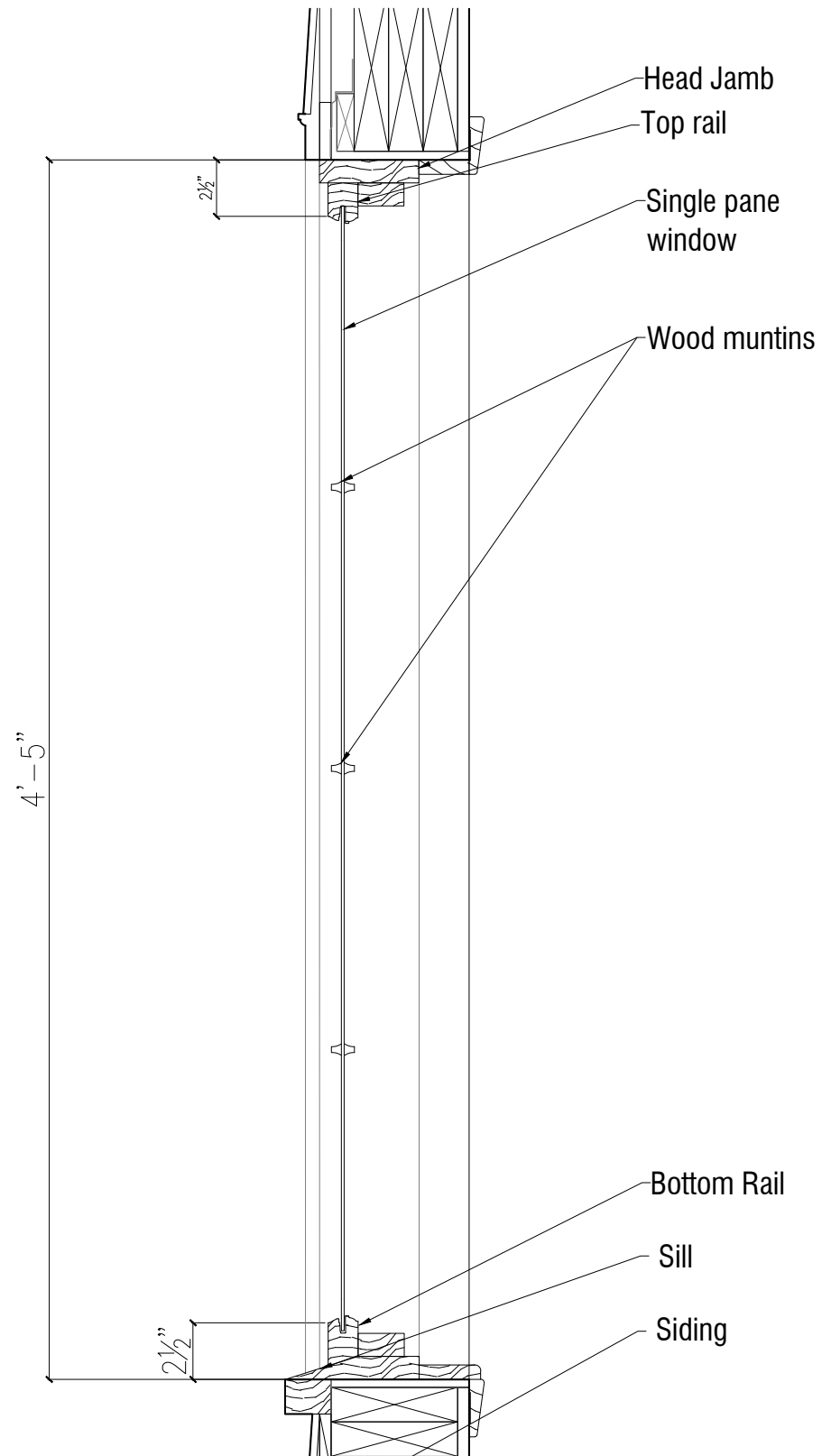
REPLACEMENT WINDOW - Pella Proline Aluminum-Clad Awning



Windows are broken and decayed beyond repair:

- Wood is rotting
- Not economically feasible to restore single pane windows

EXISTING WINDOW - Single Pane, 8 lite- Wood Casement



EXISTING WINDOW - Single Pane, 8 lite - Wood Casement



- Not located on a facade facing a public way

